

**DEPARTMENT OF
CITY PLANNING**

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November 5, 2018

Los Angeles City Council
c/o Office of the City Clerk
City Hall, Room 395
Los Angeles, California 90012

Attention: PLUM Committee

Dear Honorable Members:

CASE NOS. CPC-2015-1922-GPA-VZC-HD-CUB-DB-SPR AND VTT-74172-1A, LOCATED AT 5929-5945 WEST SUNSET BOULEVARD AND 1512-1540 NORTH GORDON STREET; CF 08-1509-S2 / 08-1509-S3

Planning staff respectfully requests your consideration of the following technical modifications to the recommendation for Case Nos. CPC-2015-1922-GPA-VZC-HD-CUB-DB-SPR and VTT-74172-1A.

On August 9, 2018, the City Planning Commission considered an appeal of Case No. VTT-74172-1A for a Vesting Tentative Tract Map to permit the merger and re-subdivision of nine lots to create one master lot and one airspace lot, and the limited dedication and merger of Gordon Street below grade at a width of four feet and depth of 48.33 feet, approximately 0.3 feet below the finished grade of the public sidewalk; and Case No. CPC-2015-1922-GPA-VZC-HD-CUB-DB-SPR for the development of 299 residential units, including 269 market rate units, 15 affordable housing units at the Very Low Income level (5 percent of total units) and 15 units for workforce housing; approximately 46,110 square feet of commercial space comprised of 38,440 square feet of office space, approximately 3,700 square feet of ground floor restaurant space and approximately 3,970 square feet of ground floor community serving retail space (including up to a 1,475 square-foot coffee shop); and an approximately 18,962 square-foot public park on the north side of the project site along Gordon Street. In total, the project will contain approximately 324,693 square feet of floor area; and include a 22-story structure consisting of an 18-floor residential tower above a four-level above-grade podium structure. The project will provide approximately 508 parking spaces within the three levels of subterranean parking and three levels of above-grade parking that are currently developed on the project site, and no additional construction would be required to provide parking within the project to meet Los Angeles Municipal Code (LAMC) requirements, in conjunction with the approval of a Zone Change Ordinance that would allow for the reduction of clear space at structural elements in the project's parking structure and up to 66 percent of the parking stalls to be compact parking stalls.

At that meeting, the City Planning Commission denied the appeal, and approved the proposed project, including a Conditional Use Permit to allow the sale and dispensing of a full-line of alcoholic beverages for on-site consumption within the proposed 3,700 square-foot ground floor restaurant; an On-Menu Incentive for a 20 percent decrease in the total required amount of usable open space, in conjunction with Parking Option One; and a Site Plan Review for a project which creates, or results in an increase of, 50 or more dwelling units; and recommended that the City Council approve a Resolution for a General Plan Amendment to the 1988 Hollywood Community Plan to re-designate the portion of the project site located at 1528-1540 North Gordon Street (Lots 17, 18, and 19 of Bagnoli Tract No. Two), from High Medium Residential to Regional Center Commercial, a draft Ordinance effectuating a Vesting Zone Change and Height District Change from (T)(Q)C2-2D-SN to (T)(Q)C2-2D-SN, and (T)(Q)R4-1VL to (T)(Q)C2 2D, subject to conditions that would permit a total allowable floor area for the entire project site of approximately 324,693 square feet, 299 dwelling units, and building height of approximately 250 feet (22 stories), including Q Conditions to permit for the reduction of clear space at structural elements in the project's parking structure and to allow up to 66 percent of the parking stalls to be compact parking stalls.

On September 7, 2018, a second level appeal of Case No. VTT-74172-1A, and first level appeal of the Conditional Use Permit and Site Plan Review entitlements of the related to Case No. CPC-2015-1922-GPA-VZC-HD-CUB-DB-SPR were filed and are pending final decision by the City Council.

The following technical corrections are requested for your consideration to correct minor typographical errors, provide clarifying statements and/or revisions to adequately reflect the project as approved by the City Planning Commission, and are unrelated to the pending appeals. Deleted text is shown in ~~strikethrough~~ and added text is shown in underline.

Corrections to Letter of Determination for Case No. VTT-74172-1A

Clarification re: Description of Project in Second Paragraph, page 1

The project description should be updated to reflect that the merger and re-subdivision of the lots is being undertaken in conjunction with a larger development. See proposed additions below:

Vesting Tentative Tract Map to permit the merger and re-subdivision of nine lots to create one master lot and one airspace lot, and the limited dedication and merger of Gordon Street below grade at a width of four feet and depth of 48.33 feet, approximately 0.3 feet below the finished grade of the public sidewalk, in conjunction with a 22-story residential development consisting of an 18-story residential tower above a four-level above-grade podium structure including three levels of subterranean parking and three levels of above-grade parking and containing 299 apartment units, approximately 46,110 square feet of commercial space, and an 18,962 square-foot park.

Correction to CEQA Guidelines Citation, Action Item #1, page 1

The reference to CEQA Guidelines Section 16163 should be corrected to refer to CEQA Guidelines 15163:

[...] pursuant to CEQA Guidelines Sections 15162 and **46163**
15163.

Clarification of Findings of Fact (CEQA), pages 45, 49, 98, 112, and 164

The project descriptions referenced on the following pages should be updated to reflect the inclusion of 15 units of workforce housing:

First sentence of first full paragraph, page 45

5929 Sunset (Hollywood), LLC (the "Applicant") proposes to modify the CRA Approved Project to allow for the development of a 299 residential apartment units, including **284 269** market rate units, **and** 15 affordable housing units at the "Very Low" income level (5 percent of total units), **and 15 units for workforce housing (5 percent of total units)**, [...]

Fourth full paragraph, page 49

The Applicant proposes to modify the CRA Approved Project to allow for the development of the Modified Project which would contain 299 residential apartment units, including **284 269** market rate units, **and** 15 affordable housing units at the "Very Low" income level (5 percent of total units), **and 15 units for workforce housing (5 percent of total units)**, [...]

Third full paragraph, page 98

Like the CRA Approved Project, the Modified Project would also directly increase population growth within the region as a result of the development of 299 new residential apartment units, including **284 269** market rate units, **and** 15 affordable housing units at the "Very Low" income level (5 percent of total units), **and 15 units for workforce housing (5 percent of total units)**.

Ninth line within the fourth full paragraph, page 112

The Modified Project would provide 299 residential apartment units with 5 percent of the total units (15 units) reserved for the "Very Low" income level **and 15 units for workforce housing (5 percent of total units)**.

Fourth full paragraph, page 164

The proposed Modified Project will contain 299 residential apartment units, of which 5 percent of the total units (15 units) will be reserved for tenants at the "Very Low" income level **and 15 units for workforce housing (5 percent of total units)**, [...]

Clarification of Findings of Fact (CEQA), page 50

The discussion of Modified Project parking spaces in the first full sentence of the page should be updated to reflect Mitigation Measure K.1-1:

The Modified Project will provide 353 residential parking spaces and 75 commercial parking spaces (for a total of 428 parking spaces), **plus 7 additional parking spaces as required by Mitigation Measures MM K.1-1 and K.1-2.**

Corrections to Letter of Determination for Case No. CPC-2015-1922-GPA-VZC-HD-CUB-DB-SPR

Revision to References to Director's Designee, pages C-6, F-23, F-25 and F-26

References to the Director's Designee should be revised to reference the Zoning Administrator within Entitlement Conditions of Approval Nos. 45 & 46; and third sentence of the third full paragraph on page F-23, the third sentence of the second full paragraph on page F-25, and the second sentence of the first full paragraph on page F-26 of the Conditional Use Findings.

Clarification re: Previously Approved Project, Action Item #1, page 1

Action Item #1 should be revised to clarify that the "previously approved" project was assessed in the Sunset and Gordon Mixed-Use Project EIR:

[...] that the **previously approved** project was **previously** assessed in the Sunset and Gordon Mixed-Use Project EIR [...]

Clarification re: Proposed Project, Action Item #2, page 1

Action Item #2 should be revised to clarify that the "proposed" project versus the "previously approved" project was assessed in the Sunset and Gordon Mixed-Use Project Supplemental EIR:

[...] the **proposed** project was also assessed in the Sunset and Gordon Mixed-Use Project Supplemental EIR [...]

Clarification re: (T) Condition No. 2.a.i, page T-1

Condition No. 2.a.i should be clarified by adding the case number for the revised Vesting Tentative Map:

[...] as shown on the revised Vesting Tentative Map **(VTT-74172)** stamp dated June 20, 2018 [...]

Clarification of "D" Development Limitations, Condition No. 2

Condition No. 2 should be revised to remove the reference to the maximum height of the parking structure. As the No Automated Steel Parking Structure Alternative was approved, the height of the parking structure is no longer relevant.

2. **Height.** Building height shall be limited to approximately 250 feet. **~~The height of the parking structure shall be limited to approximately 46 feet, excluding parapet walls, light stanchions, mechanical equipment, and stair/elevator overruns.~~**

Revision of (Q) Qualified Condition No. A.1, page Q-1

Following the issuance of the Letter of Determination, the Applicant submitted a Revised Exhibit A, dated October 26, 2018, which has been reviewed and accepted by the Department of City Planning as the new Exhibit A.

1. **Site Development.** The use and development of the property shall be in substantial conformance with the Site Plans, Floor Plans, Building Elevations, Open Space Plan, and Landscape Plan (Exhibit A, dated ~~July 25, 2018~~ October 26, 2018) of the subject case file. No change to the plans will be made without prior review by the Department of City Planning, and written approval by the Director of Planning [...]

Revision of Density Bonus Condition No. 1, page C-1

Following the issuance of the Letter of Determination, the Applicant submitted a Revised Exhibit A, dated October 26, 2018, which has been reviewed and accepted by the Department of City Planning as the new Exhibit A.

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the applicant, stamped "Exhibit A" and dated ~~July 25, 2018~~ October 26, 2018 (hereafter referred to as "Exhibit A"), and attached to the subject case file. ~~A Revised Exhibit A shall be provided to reflect the project approval, including the "No Automated Parking Structure Alternative" and Conditions of Approval.~~ No change to the plans (except as conditioned) will be made without prior review by the Department of City Planning, Central Project Planning, and written approval by the Director of Planning [...]

Clarification of Density Bonus Condition of Approval No. 11, page C-2

Condition of Approval No. 11 (Commercial Bicycle Parking) should be clarified to specify the short-term and long-term bicycle parking requirements for office uses:

[...] while office uses require 1 per 1,000 square feet for short term and 1 per 5,000 square feet for long term bicycle parking, with a minimum of two bicycle parking spaces for both long- and short-term bicycle parking.

Clarification of General Plan Text Finding, page F-4

The following should be added to the end of the first full paragraph of page F-4 in order to further clarify that the project will include a Transportation Demand Management Plan to reduce transportation impacts.

The project's location in a transit rich corridor and in close proximity to employment, retail, restaurants, and entertainment will promote the use of transit and pedestrian trips in lieu of vehicular trips. Prospective residential and commercial tenants will have increased opportunities to access alternate modes of transportation, which will

contribute to the goal of reducing traffic congestion and improving air quality. **The project will include implementation of a Transportation Demand Management Plan (TDM Plan) approved by LADOT, which will further reduce the Project's vehicle trips. With implementation of the TDM Plan, the project will not result in any significant transportation impacts.**

Clarification of City Charter 555 Determination, pages F-12 and F-14

The following finding should be revised to clarify that the recommended General Plan Amendment applies only to a portion of the project.

First sentence of last paragraph, page F-13

The ~~proposed project~~ **specific parcels identified for re-designation (i.e., the portion of the project site located at 1528 through 1540 North Gordon Street (Lots 17, 18, and 19 of Bagnoli Tract No. 2))** has significant physical identity as **part of** a mixed-use project on a major transportation corridor (Sunset Boulevard) in close proximity to entertainment and job opportunities and in an area well-served by public transportation, including the Metro Red Line and several MTA Bus and LADOT DASH Lines [...]

Second sentence of first full paragraph, page F-14

As such, the proposed General Plan Amendment **to re-designate the portion of the project site located at 1528 through 1540 North Gordon Street (Lots 17, 18, and 19 of Bagnoli Tract No. 2)** will contribute to and strengthen the social, physical, and economic identity of the surrounding area.

Clarification of City Charter 556 Determination, page F-14

The fourth paragraph of City Charter Finding 556 should be updated to reflect the addition of the 15 units of workforce housing:

The Amendment, in conjunction with the requested Zone Change and Height District Change to (T)(Q)C2-2D and (T)(Q)C2-2D-SN, would allow for the development of a mixed-use project containing 299 residential apartment units, including 269 market rate units, and 15 affordable housing units at the Very Low income level (5 percent of total units), **and 15 units for workforce housing (5 percent of total units)**, approximately 46,110 square feet of commercial space, and an approximately 18,962 square-foot public park, for approximately 324,693 square feet of floor area on a site that is 72,154 square feet in size, for a Floor Area Ratio (FAR) of 4.5:1.

Revision of City Charter 558 Determination, page F-15

A minor typographical error in the ninth line of the first full paragraph on page F-15 should be corrected from "we" to "will":

[...] and 15 **we will** be for workforce housing [...]

Clarification of CEQA Findings, pages F-34, F-37, F-91, F-135

The project descriptions referenced on the following pages should be updated to reflect the inclusion of 15 units of workforce housing:

First sentence of first full paragraph, page F-34

5929 Sunset (Hollywood), LLC (the “Applicant”) proposes to modify the CRA Approved Project to allow for the development of a 299 residential apartment units, including 269 market rate units, **and 15 affordable housing units at the “Very Low” income level (5 percent of total units), and 15 units for workforce housing (5 percent of total units),** [...]

Third full paragraph, page F-37

The Applicant proposes to modify the CRA Approved Project to allow for the development of the Modified Project which would contain 299 residential apartment units, including 269 market rate units, **and 15 affordable housing units at the “Very Low” income level (5 percent of total units), and 15 units for workforce housing (5 percent of total units),** [...]

Sixth line within the first paragraph, page F-91

The Modified Project would provide 299 residential apartment units with 5 percent of the total units (15 units) reserved for the “Very Low” income level **and 5 percent of the total units (15 units) reserved for workforce housing** [...]

First sentence of third full paragraph, page F-135

The proposed Modified Project will contain 299 residential apartment units, of which 5 percent of the total units (15 units) will be reserved for tenants at the “Very Low” income level **and 5 percent of the total units (15 units) will be reserved for workforce housing,** and therefore qualifies for a Density Bonus under the Municipal Code (see LAMC Section 12.22 A.25(c)) [...]

Clarification of CEQA Findings, page F-37

The discussion of Modified Project parking spaces in the third sentence of the fourth full paragraph should be updated to reflect Mitigation Measure K.1-1:

The Modified Project will provide 353 residential parking spaces and 75 commercial parking spaces (for a total of 428 parking spaces), **plus 7 additional parking spaces as required by Mitigation Measures MM K.1-1 and K.1-2.**

In addition, the reference to the automated steel parking structure should be removed in the last line of the fourth full paragraph on page F-37:

Under this alternative, the Modified Project would provide approximately 508 parking spaces within the Modified Project's parking structure, which would have three levels below grade, three levels above-grade parking, ~~and the new automated steel parking structure.~~

Sincerely,

VINCENT P. BERTONI, AICP
Director of Planning



Mindy Nguyen
City Planner

VPB:CTL:mn

Enclosures

GBD

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GBD © 2018

SUNSET + GORDON ENTITLEMENT SET

26 OCTOBER 2018

5929 SUNSET BOULEVARD
HOLLYWOOD, CALIFORNIA

EXHIBIT "A"
Page No. 1 of 34
Case No. CPC-2018-1922

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A110	LEVEL 8-10, 13-15, 18-20 FLOOR PLAN
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A124	EMERGENCY LANDING FLOOR (ELF) PLAN
A201	EXTERIOR ELEVATIONS- EAST
A202	EXTERIOR ELEVATIONS- SOUTH
A203	EXTERIOR ELEVATIONS- WEST
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1	BUILDING COLORS + MATERIALS
2	BUILDING COLORS + MATERIALS
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L304	GROUND LEVEL SHRUB PLANTING PLAN-PARK
L305	LEVEL 04 & 05 TREE PLANTING PLAN
L306	LEVEL 04 & 05 SHRUB PLANTING PLAN

PROJECT TEAM					
OWNER 5929 SUNSET (HOLLYWOOD), LLC 4700 Wilshire Boulevard Los Angeles, CA 90010 Phone: 323/860-4900 Fax: 323/860-4901 Contact: Oliver Baker / Sophie Nitkin	ARCHITECT GBD ARCHITECTS, Incorporated 1120 NW Couch Street, Suite 300 Portland, Oregon 97209 Phone: 503/224-9656 Fax: 503/299-6273 Contact: Kevin Johnson / Matthew Bray	STRUCTURAL ENGINEER KPF Consulting Engineers 111 SW Fifth Avenue, Suite 2500 Portland, Oregon 97204 Phone: 503/227-3251 Fax: 503/227-7980 Contact: Nick Saafi / Blake Patsy	CIVIL ENGINEER KPF Consulting Engineers 6080 Center Drive, Suite 750 Los Angeles, California 90045 Phone: 310/665-1536 Fax: 310/665-9075 Contact: Tricia Johns	GEOTECHNICAL ENGINEER GEODESIGN, Incorporated 15575 SW Sequoia Parkway, Suite 100 Portland, Oregon 97224 Phone: 503/968-8787 Fax: 503/968-3068 Contact: Chris Zadoorian	LANDSCAPE ARCHITECT CONCEPTUAL DESIGN & PLANNING CO 3195-C Airport Loop Road, Studio One Costa Mesa, CA 92626 Phone: 949/399-0870 Fax: Contact: Matt Kohlengerger
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SUNSET
5929 SUNSET (HOLLYWOOD), LLC
4700 WILSHIRE BOULEVARD
LOS ANGELES, CALIFORNIA 90010

PROJECT DEVELOPER
5929 SUNSET (HOLLYWOOD), LLC

Revisions:

COVER SHEET

File name: CVRSHI_val1
Project # 20065010

VOL.1
Date: 26 OCT. 2018

CAD FILE: P:\2006\501\10 2018\08\entitle\01 Drawing\A-CVRSHI.dwg, 1000 Generated: 10/26/2018 11:11 AM

SUNSET / GORDON- PROJECT INFORMATION:

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 4700 WILSHIRE BOULEVARD
 LOS ANGELES, CALIFORNIA 90010
 TELEPHONE: 323.860.4900
 FAX: 323.860.4901
 CONTACT: OLIVER BAKER

LEGAL DESCRIPTION

PROJECT ADDRESS: 5929-5945 WEST SUNSET BOULEVARD AND 1512-1540 NORTH GORDON STREET
 HOLLYWOOD, CALIFORNIA 90028

LOTS 12, 13, 14, 15 AND 16 OF BAGHOU TRACT NO. 2, IN THE CITY OF LOS ANGELES THE WEST 50 FEET OF LOT 4 OF PAUL AND ANGEL BEYER'S SUBDIVISION OF THENCE EAST 5 ACRES OF THE SOUTH-EAST QUARTER OF THE SOUTH-EAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 1 SOUTH, RANGE 14 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF LOS ANGELES, STATE OF CALIFORNIA

LOTS 17, 18 AND 19 OF THE BAGHOU TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA.

ZONE (EXISTING): (T)(Q)R4-1VL / (T)(Q)C2-2D-SN
ZONE (PROPOSED): C2-2D-SN

LOT AREA & BUILDABLE AREA: (REFER TO ZONING CHART BELOW)

OPEN SPACE (LAMC SECTION 12.21 G):

OPEN SPACE REQUIRED:	# UNITS:	AREA REQ'D:
100 SF FOR UNITS < 3 HABITABLE ROOMS	50	5,000 SF
125 SF FOR UNITS > 3 HABITABLE ROOMS	95	11,875 SF
175 SF FOR UNITS > 3 HABITABLE ROOMS	154	26,750 SF
TOTAL OPEN SPACE REQUIRED:	299	43,625 SF

OPEN SPACE PROVIDED:

COMMON OPEN SPACE PROVIDED (50% MINIMUM TOTAL REQUIRED OPEN SPACE)

	AREA (SQ FT)	18,742 SF
PUBLIC PARK	18,742 SF	
LEVEL 01: RECREATION ROOM	2,775 SF	
LEVEL 02: MEZZANINE (REC. ROOM)	1,483 SF	
LEVEL 03: FITNESS ROOM	2,032 SF	
LEVEL 05: CLUB ROOM	609 SF	
SUBTOTAL	7,899 SF (MAXIMUM 25% OF TOTAL USABLE OPEN SPACE FOR RECREATION ROOMS)	

LEVEL 01: SE CORNER OUTDOOR PLAZA	1,390 SF
LEVEL 05: POOL DECK	7,283 SF
SUBTOTAL	8,673 SF

TOTAL COMMON OPEN SPACE PROVIDED: 34,734 SF

PRIVATE OPEN SPACE PROVIDED (PRIVATE BALCONIES (50 SF)): 500 SF
 PRIVATE BALCONIES (10 TOTAL)

TOTAL OPEN SPACE REQUIRED:	43,625 SF
(LAMC SECTION 12.21 G)(2)(B) AFFORDABLE HOUSING ON-MENU INCENTIVES ALLOWED 20% DECREASE IN OPEN SPACE REQUIREMENT	35,000 SF
TOTAL OPEN SPACE REQUIRED WITH 20% DECREASE:	35,234 SF

*THE TOTAL OPEN SPACE REQUIRED AFTER THE 20% REDUCTION ALLOWED AS AN ON-MENU DENSITY BONUS INCENTIVE IS 35,000 SF. THEREFORE, THE REMAINING AMOUNT OF COMMON OPEN SPACE AT 20% OPEN SPACE REQUIRED IS 11,330 SF AND THE MAXIMUM OPEN SPACE THAT CAN BE PROVIDED FOR WITH RECREATION ROOMS AT 25% OF OPEN SPACE REQUIRED IS 8,750 SF.

TREES REQUIRED:

TREES REQUIRED:	75 (299 UNITS / 1 TREE PER 4 UNITS = 75)
TREES PROVIDED:	81

BUILDING HEIGHT:

BUILDING HEIGHT ALLOWED: NA
 BUILDING HEIGHT PROVIDED: 250 FEET

YARD SETBACKS

YARD SETBACK SUMMARY

DESCRIPTION	YARD SETBACKS REQUIRED	YARD SETBACKS PROPOSED
FRONT YARD Sunset Boulevard	Commercial & Residential: 0 feet	Commercial - 0 Residential - 0
SIDE YARD Gordon Street Westerly property line	Commercial: 0 feet Residential: 0 feet For Side Yards Adjacent to a Street as per LAMC 12.22 A.16.10(3)	Commercial: 0 feet Residential: 0 feet
SIDE YARD Easterly property line	Commercial: 0 feet Residential: 10 feet	Commercial: 0 feet Residential: 20 feet
REAR YARD Southerly property line	Commercial: 0 feet Residential: 20 feet	Commercial: 150 feet Residential: 150 feet

PARKING

RESIDENTIAL

UNIT TYPE	# OF UNITS	AUTO SPACES REQUIRED (LAMC 12.21.A.16)	TOTAL	15% AUTO SPACES REPLACED BY BICYCLE	BICYCLE SPACES REQUIRED (15 X 8)	AUTO SPACES REQ'D AFTER REDUCTION	BICYCLE LONG TERM	BICYCLE SHORT TERM	
Studio	50	1	50						
1 Bdr.	156	1	156						
2 Bdr.	93	2	186						
TOTAL	399	39	392	39	156	353	299	30	
							TOTAL AUTO SPACES	329 TOTAL BICYCLE SPACES	

COMMERCIAL

USE	FLOOR AREA (APPROX. SF)	SUBTOTAL	AUTO SPACES REQUIRED (21,000)	20% AUTO SPACES REPLACED BY BICYCLE	BICYCLE SPACES REQUIRED (11 X 6)	AUTO SPACES REQ'D AFTER RED.	BICYCLE LONG TERM REQUIRED	BICYCLE SHORT TERM REQUIRED
Retail Ground Floor	3,970						2 (12,000)	2 (12,000)
Restaurant Ground Floor	3,700	7,670					2 (10,000)	2 (10,000)
Office Levels 1-4	38,440						8 (15,000)	4 (10,000)
TOTAL	46,110	72	18	72	76		12	8

AUTO AND BICYCLE PARKING SUMMARY

LAND USE	MINIMUM REQUIRED AUTO PARKING SPACES	AUTO PARKING SPACES PROPOSED	BICYCLE PARKING SPACES REQUIRED / PROPOSED
RESIDENTIAL 299 APARTMENT UNITS (WITH 15 VERY LOW INCOME UNITS (5%) AND 15 WORKFORCE UNITS (5%))	353	428	329 LONG TERM 30 SHORT TERM
COMMERCIAL RETAIL / RESTAURANT / OFFICE (APPROX. 46,110 SQUARE FEET)	74	75	12 LONG TERM 8 SHORT TERM OR 52 LONG TERM OR SHORT TERM
PUBLIC PARKING SPACES (REQUIRED BY MITIGATION MEASURES K.1-1 AND K.1-2)	7	7	-
TOTAL	434	508	401

*428 residential parking spaces will be provided, plus trees designated Shared Ride spaces for residential tenant's use, for a total of 428 residential parking spaces.

Electric Vehicle Charging Stations
 20% of proposed parking spaces as Electric Vehicle Ready: 102 spaces
 Includes parking spaces with electric vehicle charging stations.

5% of proposed parking to provide Electric Vehicle-Charging Stations: 25 Electric Vehicle Charging Stations

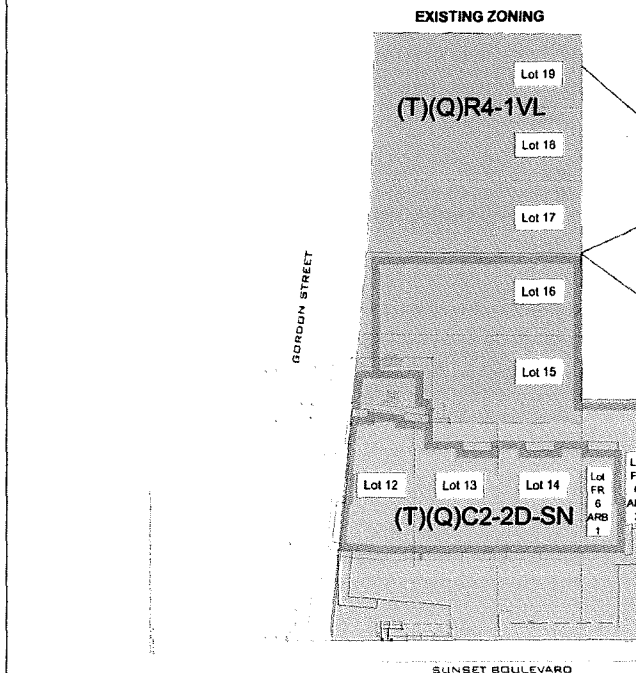
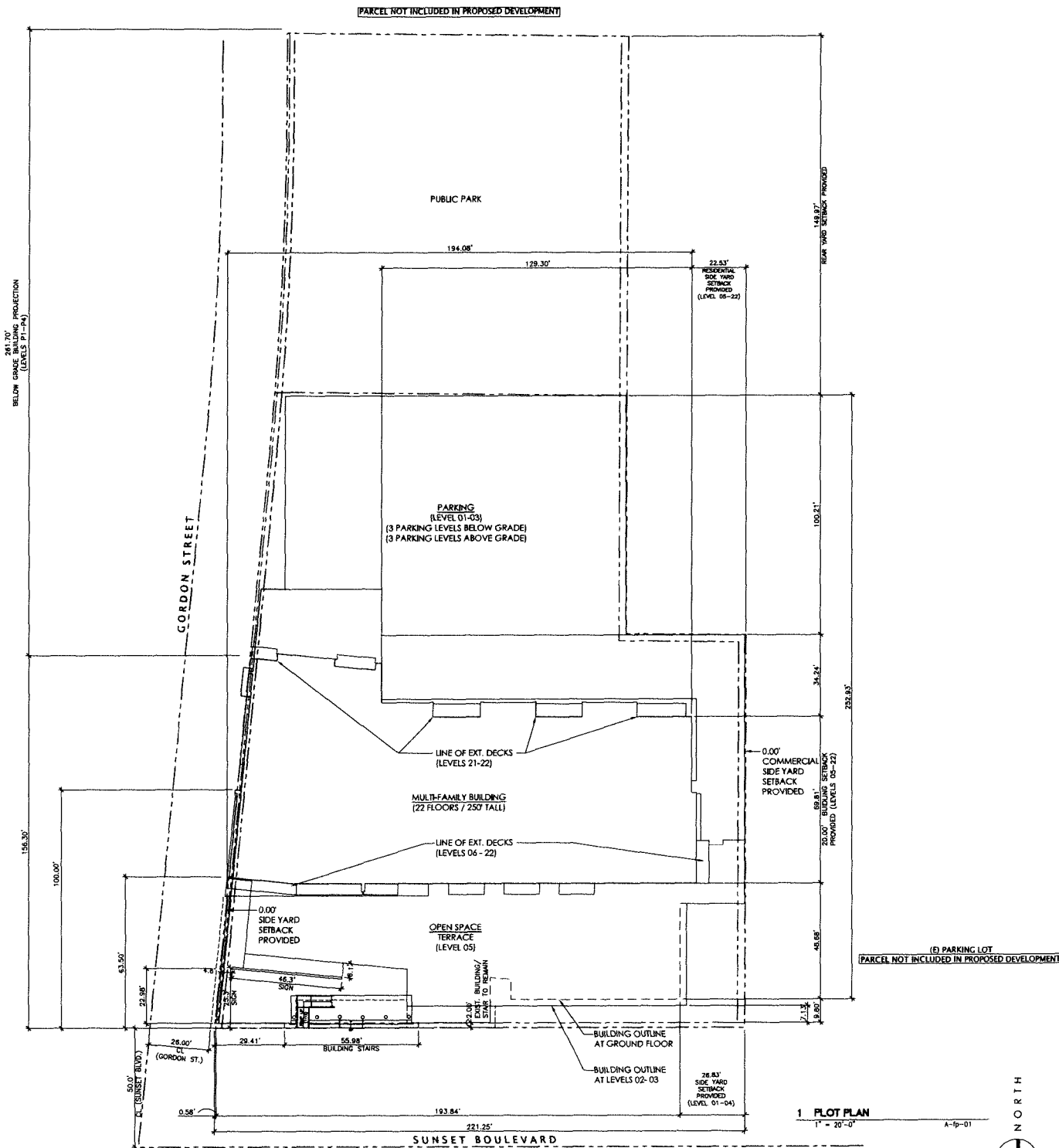


EXHIBIT "A"
 Page No. 2 of 34
 Case No. CPC-2015-1922



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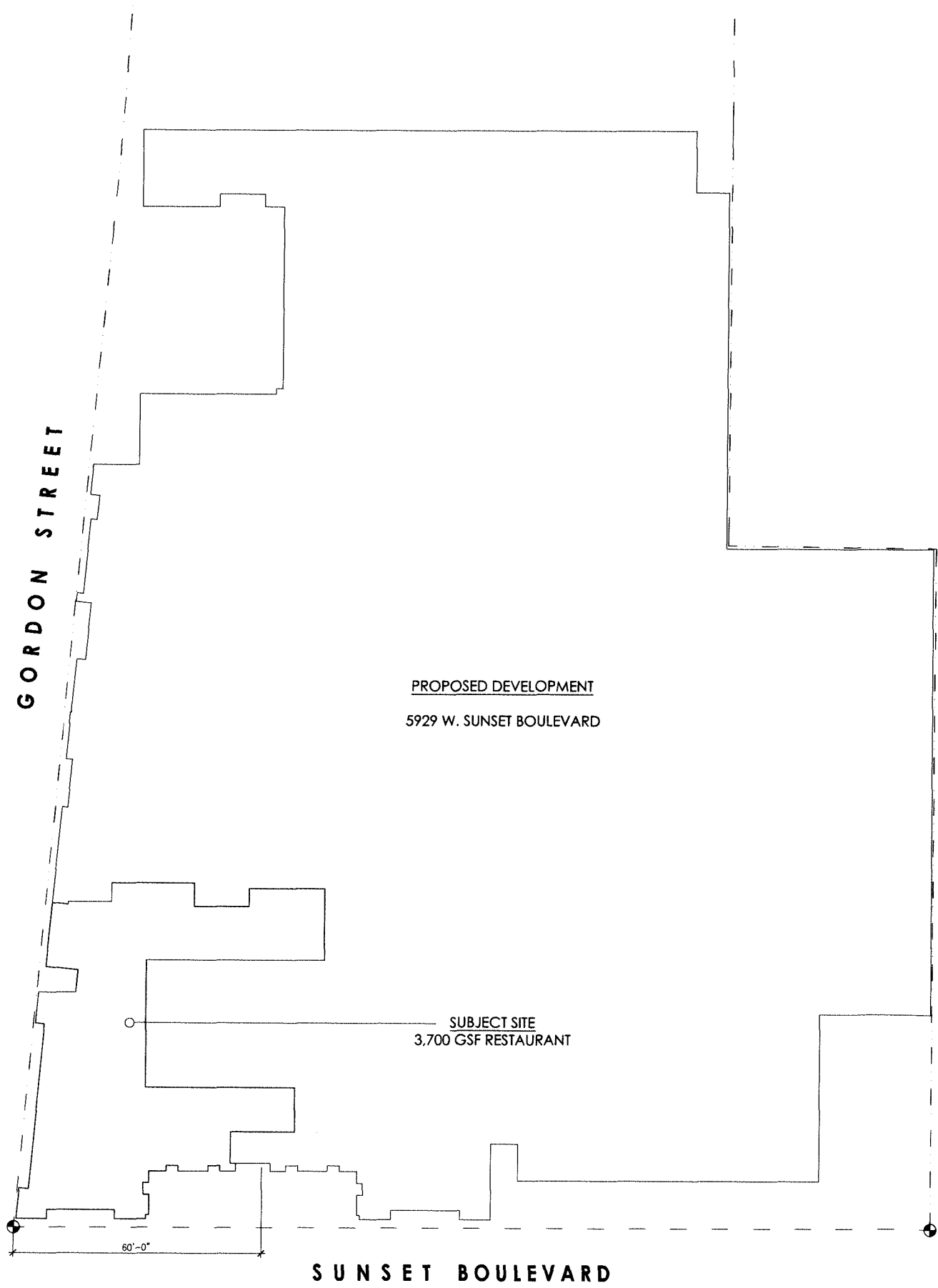
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 LOS ANGELES, CALIFORNIA 90010

PROJECT DEVELOPER
 5929 SUNSET (HOLLYWOOD), LLC
 Revisions:

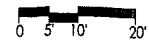
PLOT PLAN/
 PROJECT INFORMATION

1"=30'-0"
 File name: A001 PLOT
 Project #: 20045009

A001
 Date: 26 OCT, 2018



1 PLOT PLAN
SCALE 1"=0" = 20'-0"



PROPOSED CUB	
SUMMARY	
TOTAL INDOOR AREA:	3,700 SF
TOTAL OUTDOOR AREA:	0 SF
KITCHEN AREA:	448 SF
INDOOR DINING AREA:	1,663 SF
RESTAURANT	
SEATING:	
INDOOR:	133
OUTDOOR:	0
TOTAL:	133
TOTAL NUMBER OF TABLES:	12

CASE NO.: _____
DATE: 25 JULY 2018

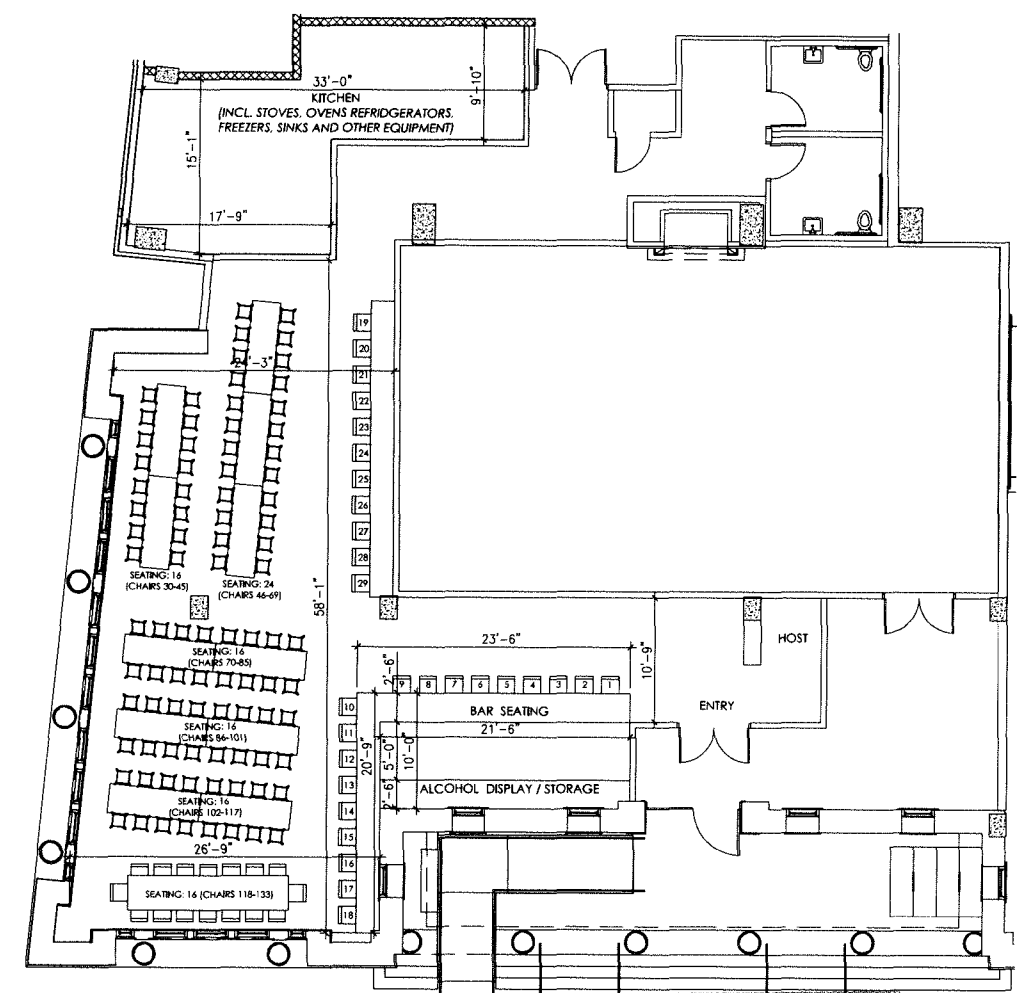
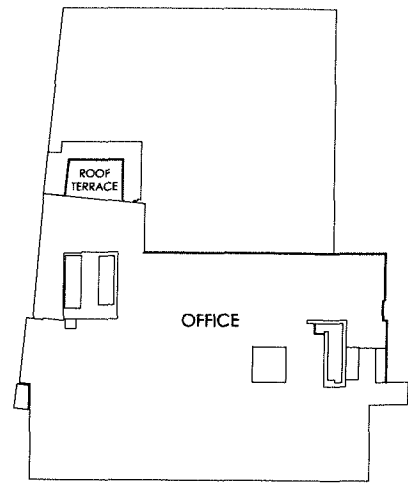


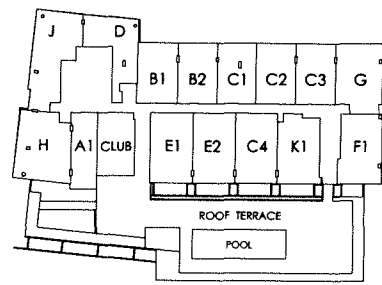
EXHIBIT "A"
Page No. 3 of 34
Case No. CPC-2016-1922

2 SCHEMATIC INTERIOR FLOOR PLAN
SCALE 1/8" = 1'-0"

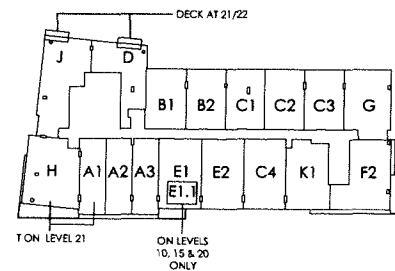




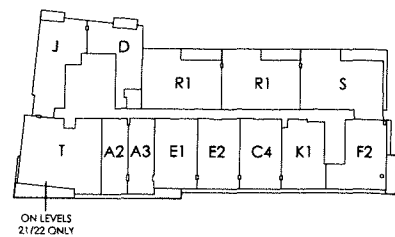
LEVEL 4
1" = 50'-0"



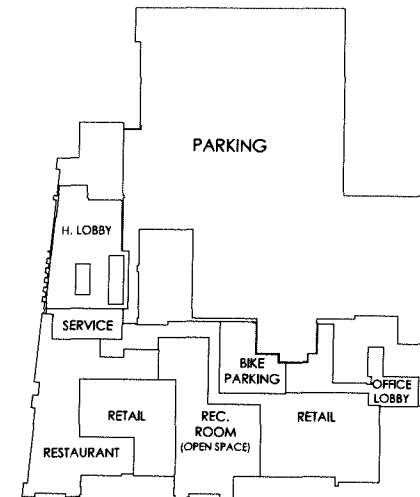
LEVEL 5
1" = 50'-0"



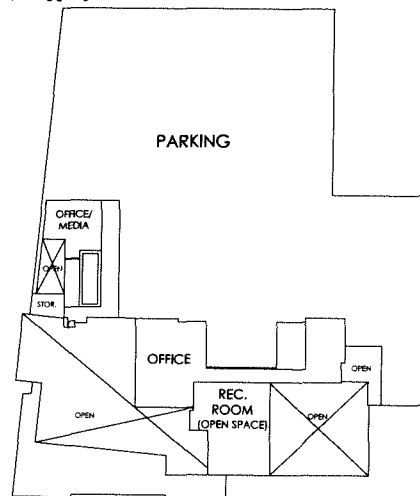
LEVEL 6-21
1" = 50'-0"



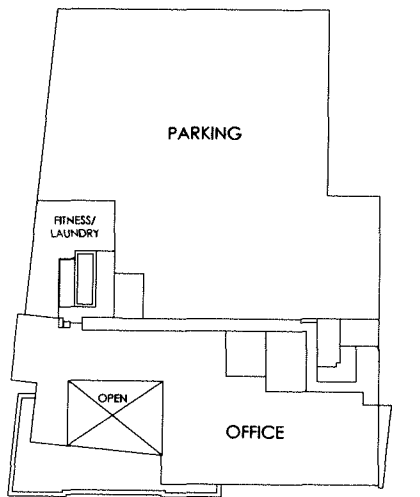
LEVEL 22
1" = 50'-0"



LEVEL 1
1" = 50'-0"





LEVEL 2
1" = 50'-0"



LEVEL 3
1" = 50'-0"

EXHIBIT "A"
Page No. 4 of 34
Case No. CPC-2015-1922



LEGEND	
	PRIVATE OPEN AREA
	COMMON OPEN AREA

OPEN SPACE (LAMC SECTION 12.21 G):		
OPEN SPACE REQUIRED:		
100 SF FOR UNITS < 3 HABITABLE ROOMS	# UNITS:	AREA REQ'D:
125 SF FOR UNITS OF 3 HABITABLE ROOMS	50	5,000 SF
175 SF FOR UNITS > 3 HABITABLE ROOMS	75	13,125 SF
	154	26,125 SF
TOTAL OPEN SPACE REQUIRED:	299	43,825 SF
COMMON OPEN SPACE REQUIRED: 21,913 SF (50% MINIMUM TOTAL REQUIRED OPEN SPACE)		
OPEN SPACE PROVIDED:		
COMMON OPEN SPACE PROVIDED:		
PUBLIC PARK		
LEVEL 01: RECREATION ROOM	2,775 SF	18,962 SF
LEVEL 02: MEZZANINE (REC. ROOM)	1,483 SF	
LEVEL 03: FITNESS ROOM	2,030 SF	
LEVEL 05: CLUB ROOM	609 SF	
SUBTOTAL		7,099 SF (110,754 - MAXIMUM 20% OF TOTAL USABLE OPENSPACE FOR RECREATION ROOMS)
LEVEL 01: SE CORNER OUTDOOR PLAZA	1,390 SF	
LEVEL 05: POOL DECK	7,283 SF	
SUBTOTAL		8,673 SF
TOTAL COMMON OPEN SPACE PROVIDED:		34,734 SF
PRIVATE OPEN SPACE PROVIDED (PRIVATE BALCONIES (50 SF):		
PRIVATE BALCONIES (10 TOTAL)		500 SF
OPEN SPACE SUMMARY		
TOTAL OPEN SPACE REQUIRED:		43,825 SF
MIN. PER LAMC SECTION 12.21 (2) (2) (B) - ADJUSTABLE WORKING CHAIRS & CHAIRS ALLOWING 25% DECREASE IN OPEN SPACE PROVIDED:		33,000 SF
TOTAL OPEN SPACE REQUIRED WITH 20% DECREASE:		35,000 SF
TOTAL OPEN SPACE PROVIDED:		35,234 SF
*THE TOTAL OPEN SPACE REQUIRED AFTER THE 20% REDUCTION ALLOWED AS AN ON-MENU DENSITY BONUS INCENTIVE IS 33,900 SF. THEREFORE, THE MINIMUM AMOUNT OF COMMON OPEN SPACE AT 50% OF OPEN SPACE REQUIRED, IS 17,550 SF AND THE MAXIMUM OPEN SPACE THAT CAN BE PROVIDED FOR WITH RECREATION ROOMS AT 50% OF OPEN SPACE REQUIRED, IS 8,536 SF.		

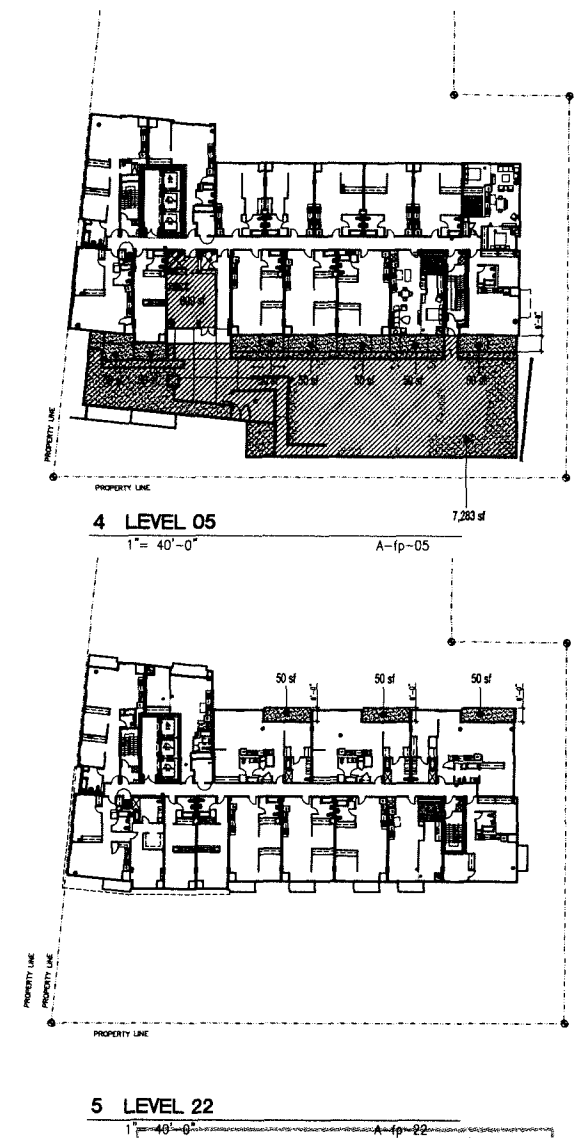
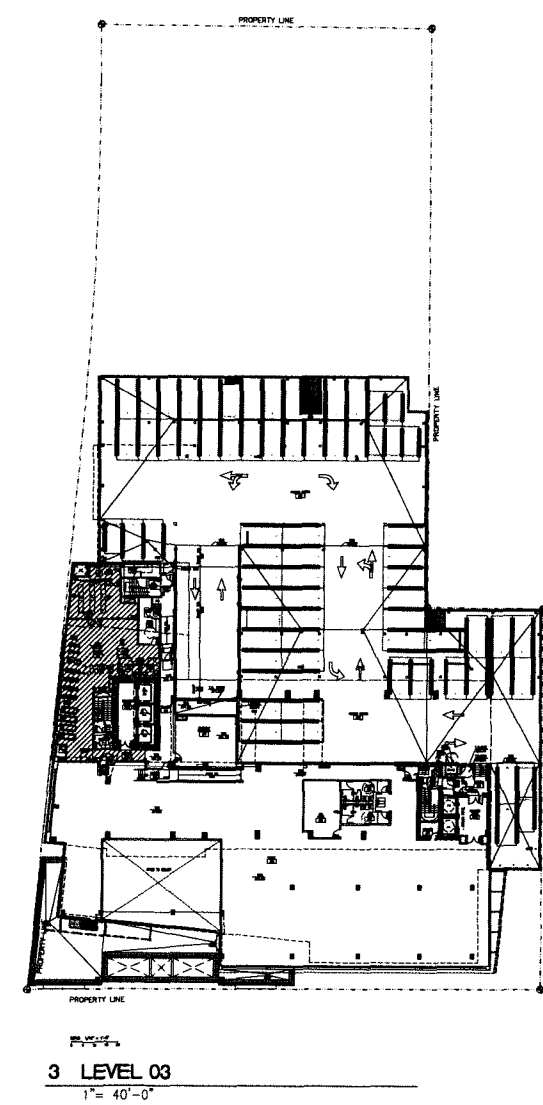
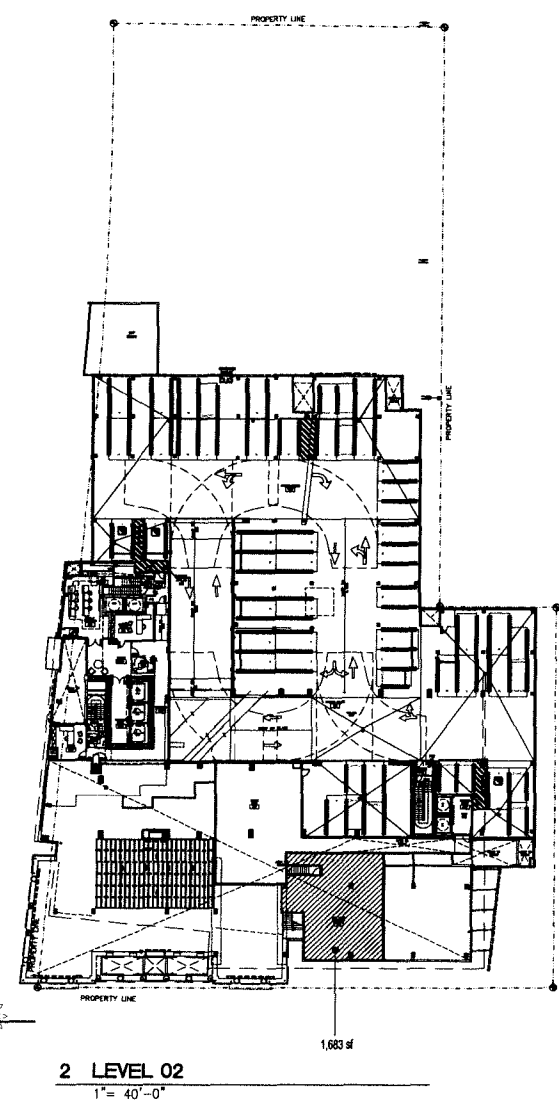
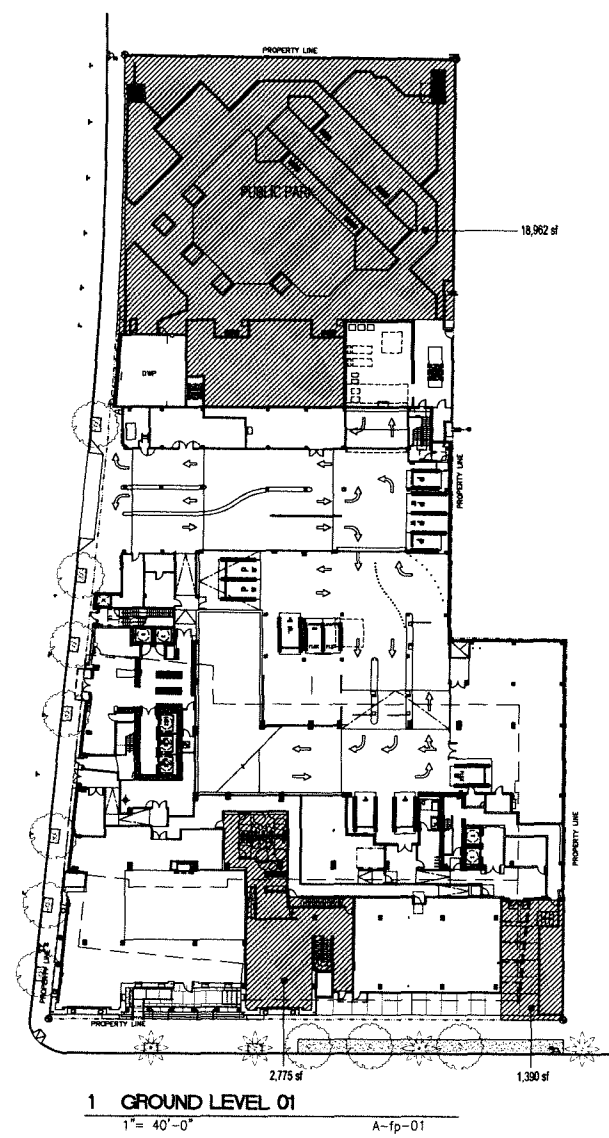
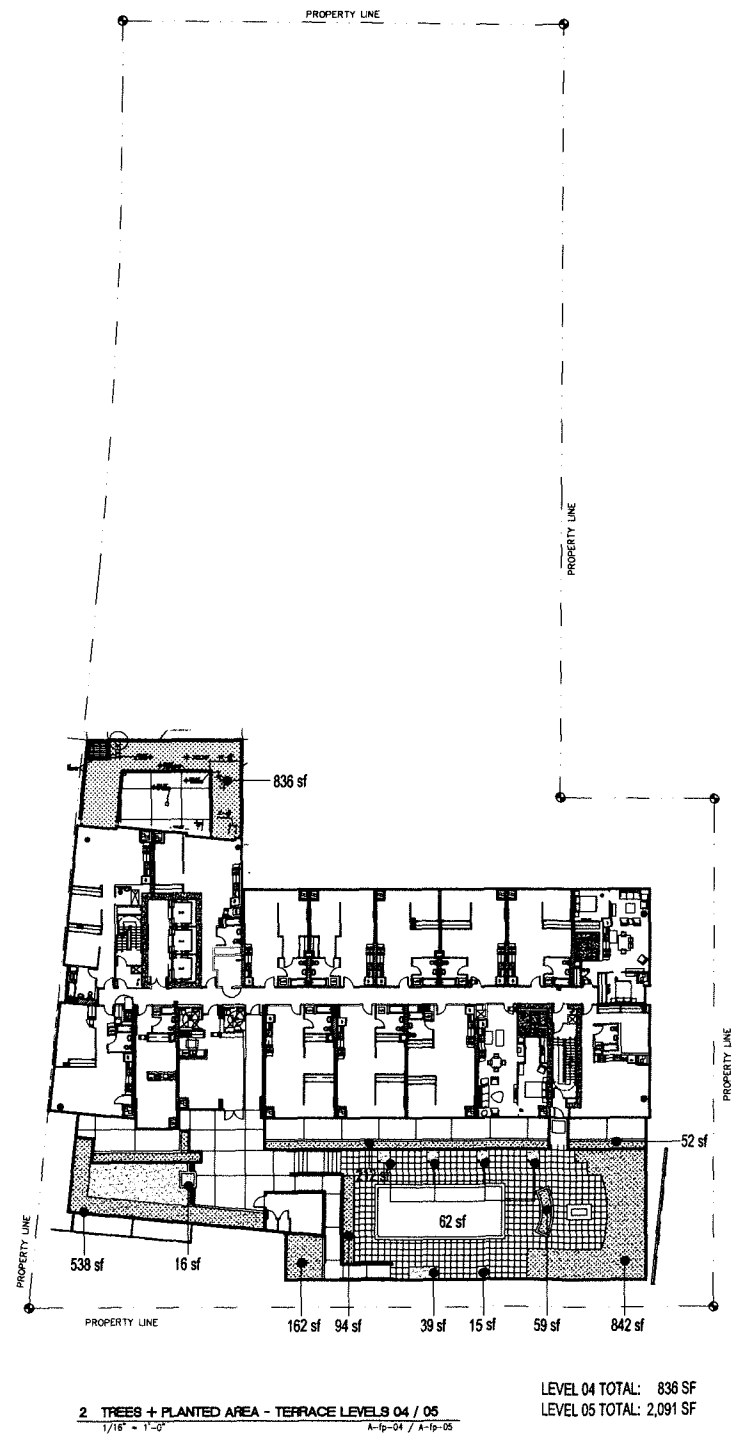
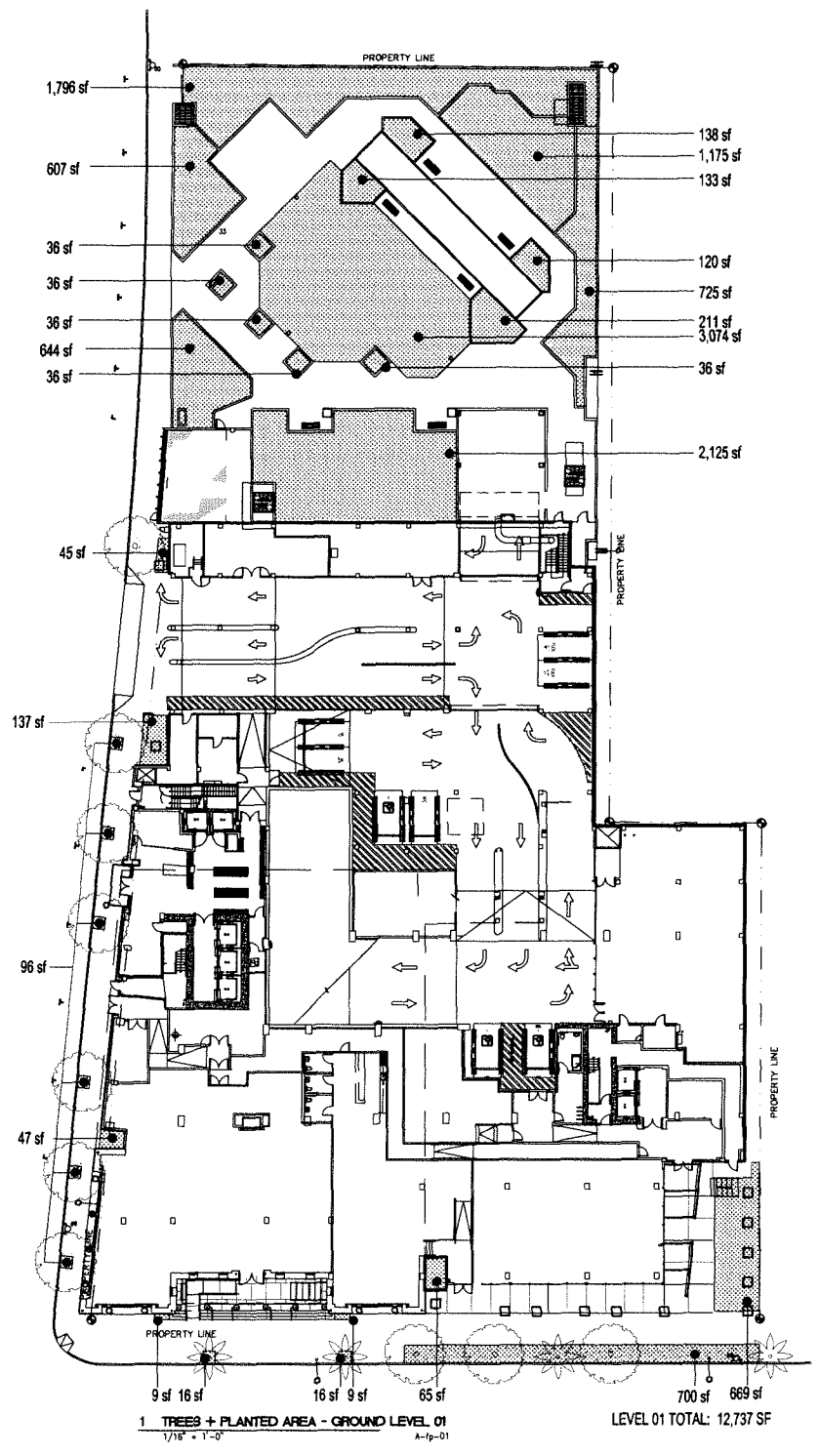


EXHIBIT "A"
 Page No. 5 of 34
 Case No. C10-2015-1922



TREE ANALYSIS

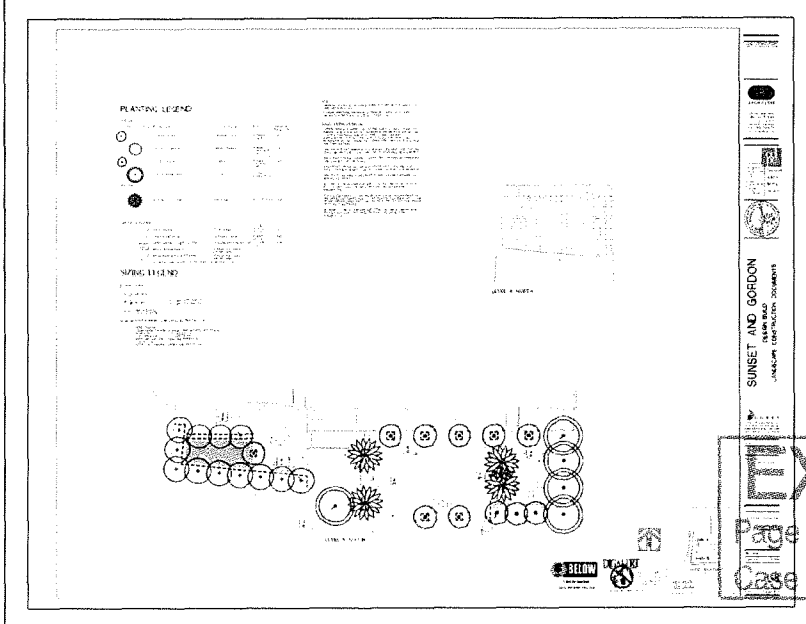
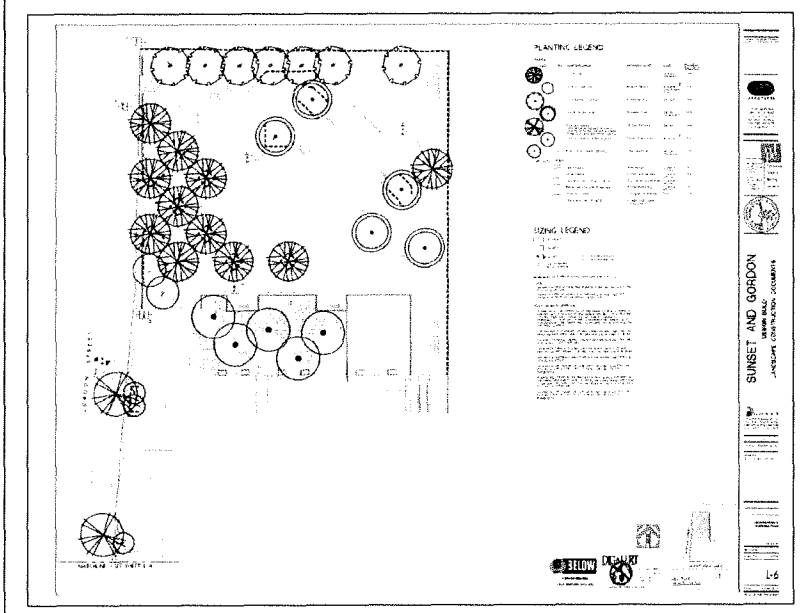
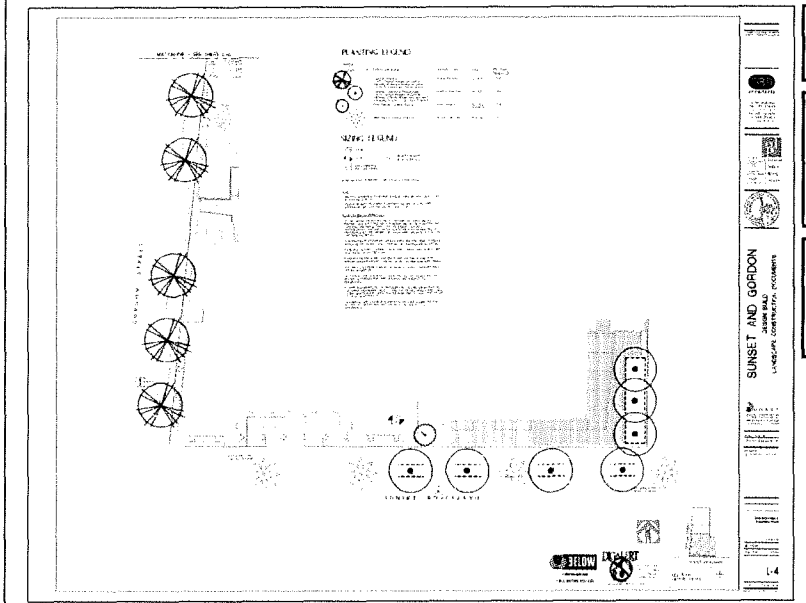


EXHIBIT "A"
Page No. 6 of 34
Case No. CPC-2015-1922

SUNSET
9729 SUNSET (HOLLYWOOD), LLC
4700 WILSHIRE BOULEVARD
LOS ANGELES, CALIFORNIA 90016

PROJECT DEVELOPER
9729 SUNSET (HOLLYWOOD), LLC

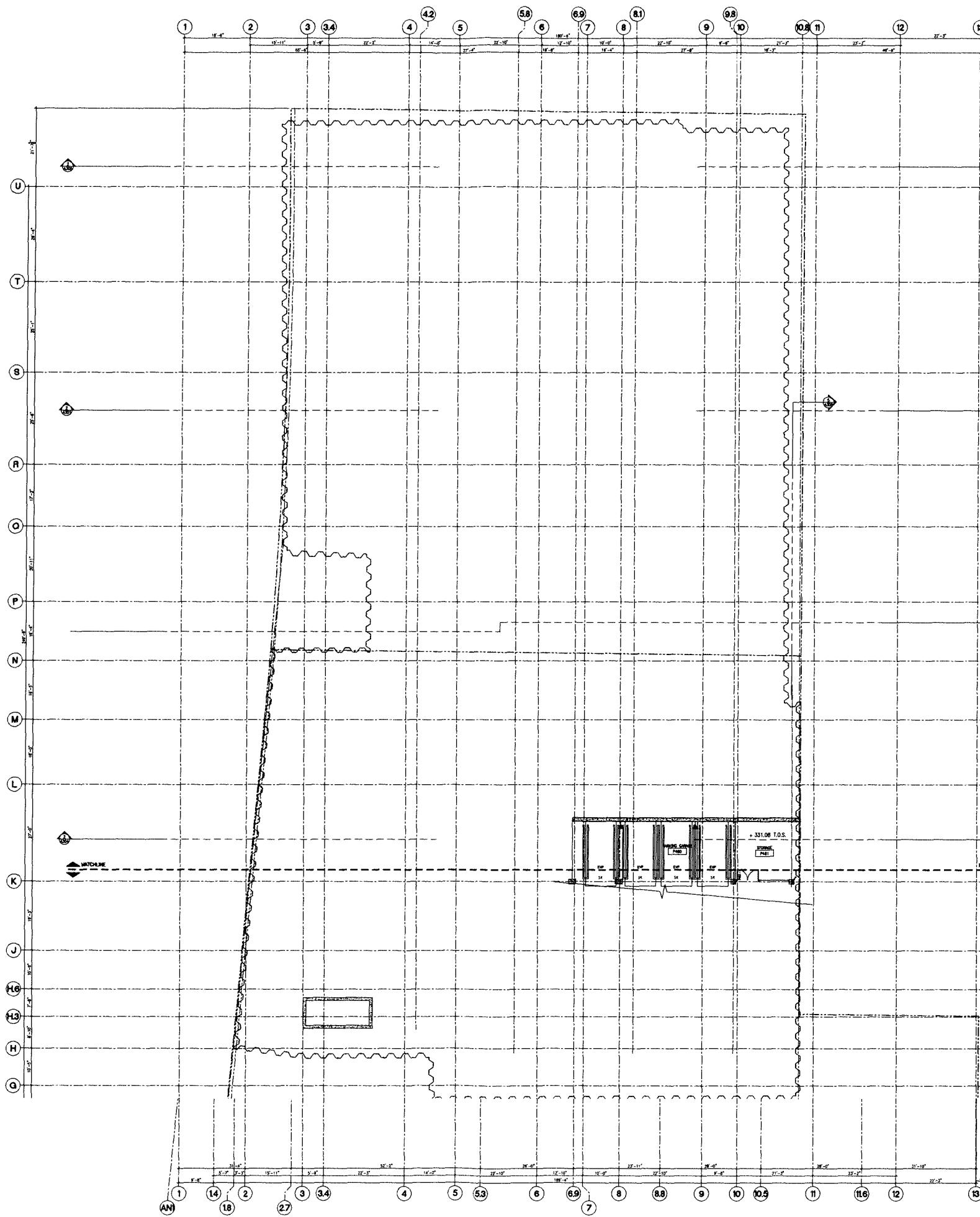
Revisions:

TREE + PLANTING ANALYSIS

1"=30'-0"

File name: G-020

Project #: 200650079



PARKING SPACES CONFIGURATION							
USE	LOCATION	TARIFF			STANDARD	COMPACT	TOTAL
		S/S	S/C	C/C			
Residential	P4	0	0	0	4	0	4
Residential	P3	6	2	12	23	58	121
Residential	P2	10	4	15	29	42	129
Residential	P1	6	5	13	19	38	103
Residential	L1	0	0	0	1	2	3
Residential	L2	0	0	0	0	0	0
Residential	L3	23	0	3	12	2	68
TOTAL		45	11	43	88	140	428

Commercial	L1	0	0	0	2	0	2
Commercial	L2	14	7	7	10	5	71
Commercial	L3	1	0	0	0	0	2
TOTAL		15	7	7	12	5	75

Public	L1	0	0	0	5	2	7
TOTAL		0	0	0	5	2	7

TOTAL RESIDENTIAL	428	353
TOTAL COMMERCIAL	75	74
TOTAL PUBLIC	7	7
TOTAL PARKING SPACES	500	434

ELECTRIC VEHICLE CHARGING STATIONS:
 EVP REQUIRED: 25 EVP PROVIDED: 25

EVP (ELECTRIC VEHICLE CHARGER LOCATIONS):
 P4: 4
 P3: 5
 P2: 12
 L2: 04
TOTAL EVP: 25

EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT- FUTURE):
 REQUIRED: 102 PROVIDED: 102

EVSE (EVSE EQUIPMENT- FUTURE LOCATIONS):

RESIDENTIAL:	COMMERCIAL:
P4: 0	0
P3: 37	0
P2: 29	0
P1: 0	0
L1: 0	0
L2: 0	11
L3: 0	0
66	11
TOTAL EVSE:	77

REGISTERED CALIFORNIA ARCHITECT
 KEVIN P. JOHNSON C-20342

GBD

GBD Architects, Incorporated
 1120 NW Couch St.
 Ste. 300
 Portland, OR 97209
 Tel. (503) 224-0656
 gbdarchitects.com
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SUNSET
 9279 SUNSET HOLLYWOOD, LLC
 4700 WILSHIRE BOULEVARD
 LOS ANGELES, CALIFORNIA 90010

PROJECT DEVELOPER
 9279 SUNSET HOLLYWOOD, LLC

Revisions:

EXHIBIT "A"
 Page No. 7 of 34
 Case No. CPC-2016-1922

1 FLOOR PLAN - LEVEL P3 (UNDER RAMP)
 SCALE 1/16" = 1'-0"

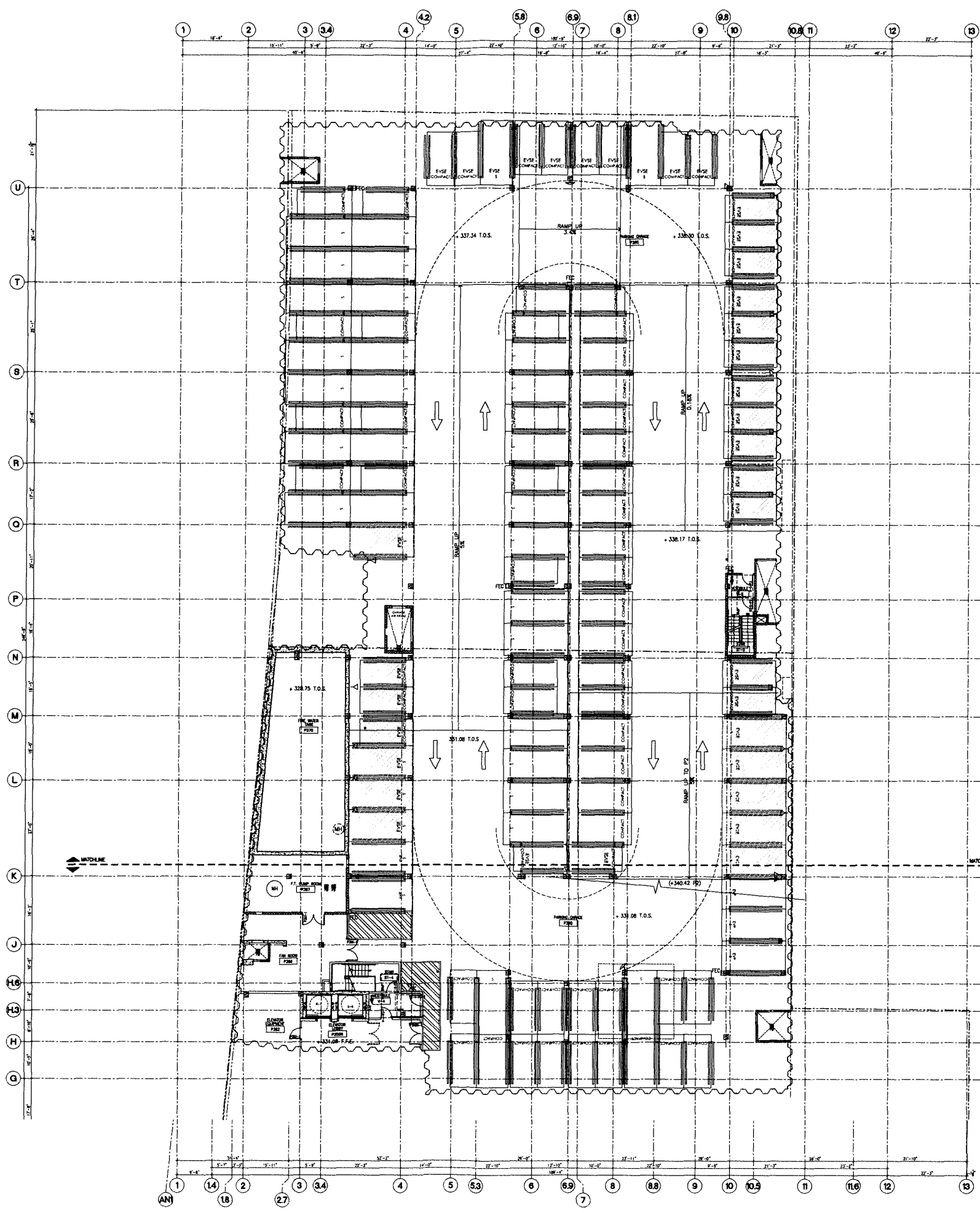
LEVEL P4 NORTH
 FLOOR & PARKING PLAN
 NO. AP1 - 2018 1028 FINAL

File name: A-1P047
 Project # 20065010

AP03.1
 Date: 26 OCT. 2018

C:\JFILES\2018\10\2018 AP03.1\Rev\110001\1028 1028 Final.rvt (2018) 10/26/2018 10:28:18 AM
 Sep 07, 2018 10:10:18 AM

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 10/27/2016 10:39am



PARKING SPACES CONFIGURATION							
USE	LOCATION	TANKER			STANDARD	COMPACT	TOTAL
		S/S	S/C	C/C			
Residential	P4	0	0	0	4	0	4
Residential	P3	6	2	12	23	58	121
Residential	P2	10	4	15	28	42	129
Residential	P1	6	5	13	19	36	103
Residential	L1	0	0	0	1	2	3
Residential	L2	0	0	0	0	0	0
Residential	L3	23	0	3	12	2	68
TOTAL		65	11	43	80	140	428

Commercial	L1	0	0	0	2	0	2
Commercial	L2	14	7	7	10	5	71
Commercial	L3	1	0	0	0	0	2
TOTAL		15	7	7	12	5	75

Public	L1	L2	L3	TOTAL
	0	0	0	0
	5	2	7	7
TOTAL	0	0	0	7

TOTAL RESIDENTIAL	428
TOTAL COMMERCIAL	75
TOTAL PUBLIC	7
TOTAL PARKING SPACES	506

ELECTRIC VEHICLE CHARGING STATIONS:
 EVP REQUIRED: 25 EVP PROVIDED: 25

EVP (ELECTRIC VEHICLE CHARGER LOCATIONS):
 P4: 4
 P3: 5
 P2: 12
 L2: 04
 TOTAL EVP: 25

EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT - FUTURE):
 REQUIRED: 102 PROVIDED: 102

EVSE (EVSE EQUIPMENT - FUTURE LOCATIONS):

	RESIDENTIAL	COMMERCIAL
P4:	0	0
P3:	37	0
P2:	29	0
P1:	0	0
L1:	0	0
L2:	0	11
L3:	0	0
	66	11
TOTAL EVSE:	77	11

EXHIBIT "A"
 Page No. B of 34
 Case No. CPC-2015-1972

1 FLOOR PLAN - LEVEL P3
 SCALE 1/16" = 1'-0"

GBD
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 Portland, OR 97209
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 gbd@gbda.com
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SUNSET
 9729 SUNSET (HOLLYWOOD), LLC
 4700 WELSHIRE BOULEVARD
 LOS ANGELES, CALIFORNIA 90010

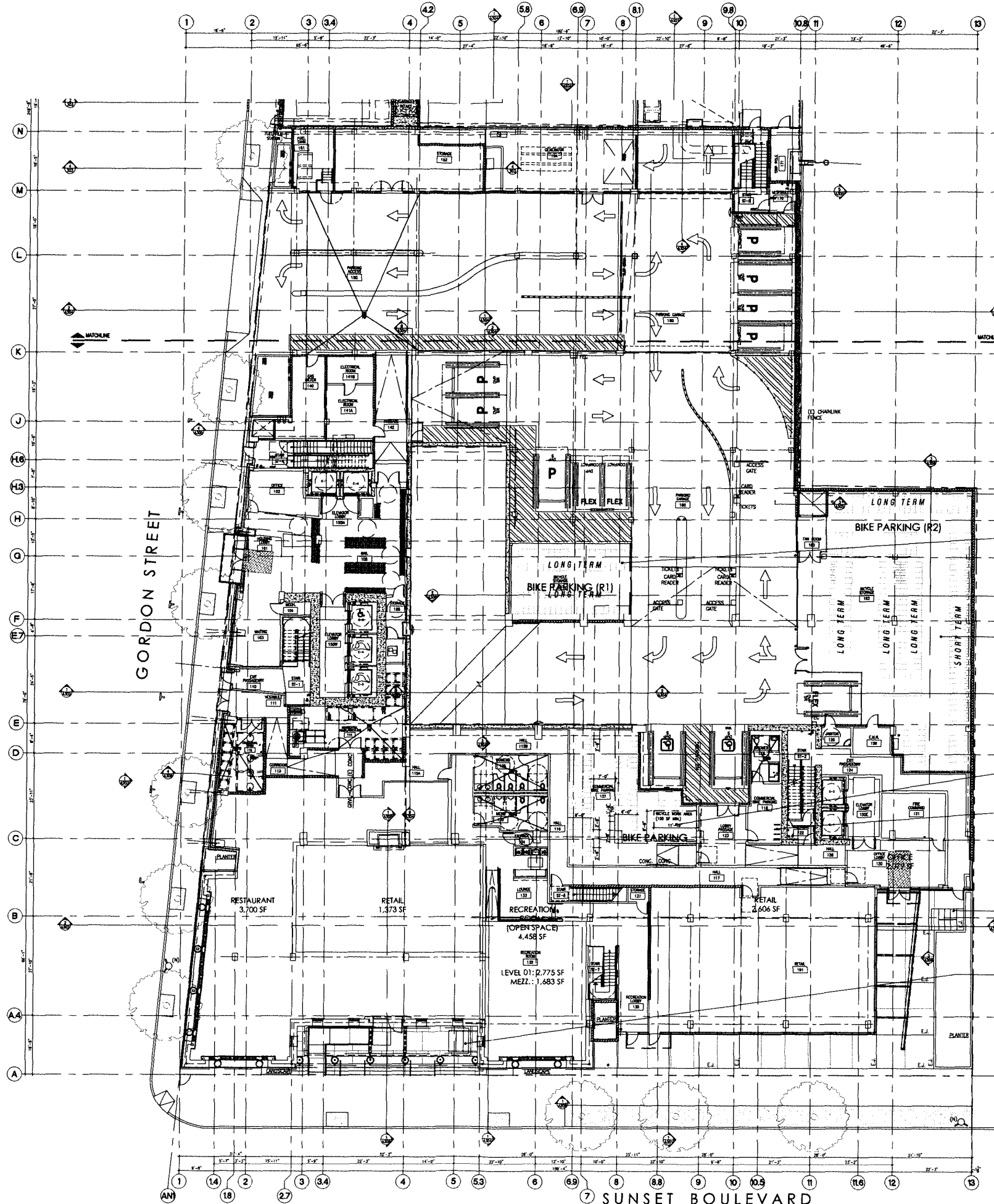
PROJECT DEVELOPER
 9729 SUNSET (HOLLYWOOD), LLC

Revisions:

LEVEL P3
 FLOOR & PARKING PLAN

File name: A-1P03
 Project # 20065010

AP03
 Date: 26 OCT. 2016
 26 OCTOBER 2016 ENTIREMENT SET-FINAL NO APPY - 2016 1026 FINAL
 *** GBD ARCHITECTS INC. APPROVED ***



PARKING SPACES CONFIGURATION							
USE	LOCATION	TANDEN			STANDARD	COMPACT	TOTAL
		S/S	S/C	C/C			
Residential	P4	0	0	0	4	0	4
Residential	P3	6	2	12	23	58	121
Residential	P2	10	4	15	29	42	129
Residential	P1	6	5	13	19	36	103
Residential	L1	0	0	0	1	2	3
Residential	L2	0	0	0	0	0	0
Residential	L3	23	0	3	12	2	66
TOTAL		45	11	43	88	140	428

Commercial	L1	0	0	0	2	0	2
Commercial	L2	14	7	7	10	5	71
Commercial	L3	1	0	0	0	0	2
TOTAL		15	7	7	12	5	75

Public	L1	0	0	0	5	2	7
TOTAL		0	0	0	5	2	7

REPO	TOTAL RESIDENTIAL	TOTAL COMMERCIAL	TOTAL PUBLIC	TOTAL PARKING SPACES
	428	75	7	510
	353	74	7	434

ELECTRIC VEHICLE CHARGING STATIONS:
EVP REQUIRED: 25 EVP PROVIDED: 25

EVP (ELECTRIC VEHICLE CHARGER LOCATIONS):
P4: 04
P3: 05
P2: 12
L2: 04
TOTAL EVP: 25

EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT):
REQUIRED: 102 PROVIDED: 102

BIKE PARKING SUMMARY
BIKE PARKING SUMMARY

RESIDENTIAL (R1):
37 (2-TIER RACKS) = 74
TOTAL = 74

RESIDENTIAL (R2):
107 (2-TIER RACKS) = 214
41 (1-TIER WALL MNTD.) = 41
TOTAL = 255
*INCLUDES 30 SHORT TERM

RESIDENTIAL BIKE TOTAL:
R1 SUBTOTAL = 74
R2 SUBTOTAL = 255
TOTAL = 329

COMMERCIAL:
27 (2-TIER RACKS) = 54 LT
4 STAPLE RACK = 8 ST
TOTAL = 62

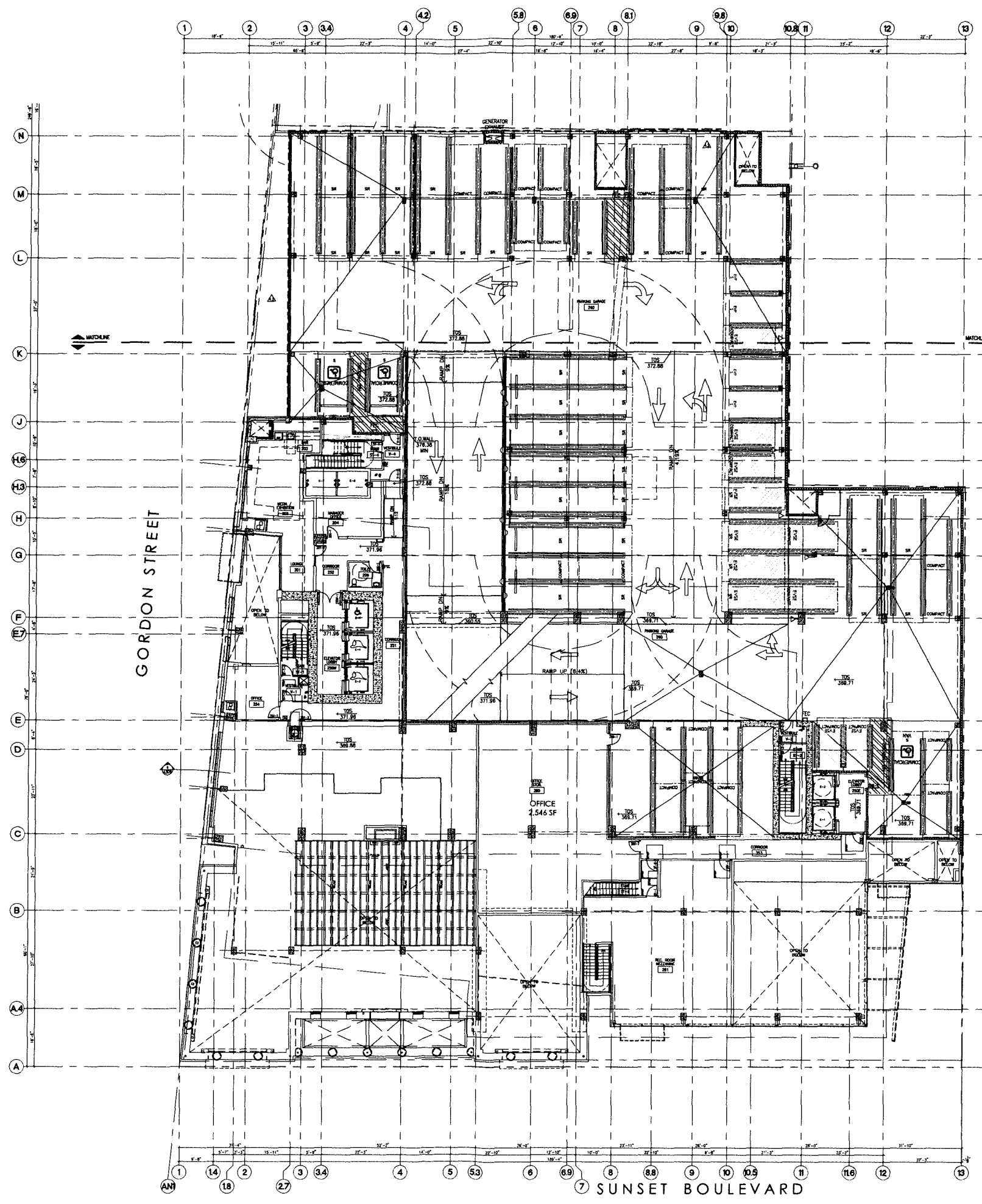
SHORT TERM BIKE (4)
SHORT TERM BIKE (4)
SHORT TERM BIKE (2)

COMMERCIAL BIKE TOTAL:
INTERIOR:
LONG TERM = 54
SHORT TERM = 12
SUBTOTAL = 66
EXTERIOR:
SHORT TERM = 6
TOTAL = 72

EXHIBIT "A"
Page No. 11 of 34
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1 FLOOR PLAN - GROUND LEVEL L1
SCALE 1/16" = 1'-0"

CAD FILE P:\2015\2015-10-17-18\18-10-17-18\18-10-17-18.dwg
Oct 15, 2018 - 5:26pm



USE	LOCATION	TANKER			STANDARD	COMPACT	TOTAL
		S/S	S/C	C/C			
Residential	P4	0	0	0	4	0	4
Residential	P3	6	2	12	23	58	121
Residential	P2	10	4	15	29	42	129
Residential	P1	6	5	13	19	36	103
Residential	L1	0	0	0	1	2	3
Residential	L2	0	0	0	0	0	0
Residential	L3	23	0	3	12	2	66
TOTAL		45	11	43	88	140	426

Commercial	L1	0	0	0	2	0	2
Commercial	L2	14	7	7	10	5	71
Commercial	L3	1	0	0	0	0	2
TOTAL		15	7	7	12	5	75

Public	L1	0	0	0	5	2	7
TOTAL		0	0	0	5	2	7

TOTAL RESIDENTIAL	426
TOTAL COMMERCIAL	75
TOTAL PUBLIC	7
TOTAL PARKING SPACES	508

REV#
353
74
7
434

ELECTRIC VEHICLE CHARGING STATIONS:
EVP REQUIRED: 25 EVP PROVIDED: 25

EVP (ELECTRIC VEHICLE CHARGER LOCATIONS):
P4: 4
P3: 5
P2: 12
L2: 04
TOTAL EVP: 25

EVSE (ELECTRIC VEHICLE SUPPLY EQUIP. - FUTURE):
REQUIRED: 102 PROVIDED: 102

EVSE (EVSE EQUIPMENT - FUTURE LOCATIONS):

RESIDENTIAL:	COMMERCIAL:
P4: 0	0
P3: 37	0
P2: 29	0
P1: 0	0
L1: 0	0
L2: 0	11
L3: 0	0
66	11
TOTAL EVSE:	77

EXHIBIT "A"
Page No. 12 of 34
Case No. CPC-2015-1922

SUNSET
5721 SUNSET (HOLLYWOOD), LLC
4700 WILSHIRE BOULEVARD
LOS ANGELES, CALIFORNIA 90010

PROJECT DEVELOPER
5721 SUNSET (HOLLYWOOD), LLC

Revisions:

LEVEL L2
FLOOR & PARKING PLAN
File name: A-102.1
Project #: 20065010

1 FLOOR PLAN - LEVEL L2
SCALE 1/16" = 1'-0"



A102
Date: 26 OCT. 2018
26 OCTOBER 2018 - ENLIVEMENT SET-FINAL - NO AP1 - 2018 1026 FINAL

PARKING SPACES CONFIGURATION					
USE	LOCATION	TANDARD			TOTAL
		S/S	S/C	C/C	
Residential	P4	0	0	0	4
Residential	P3	6	2	12	23
Residential	P2	10	4	15	29
Residential	P1	6	5	13	19
Residential	L1	0	0	0	1
Residential	L2	0	0	0	0
Residential	L3	23	0	3	12
TOTAL		45	11	43	100

Commercial	L1	0	0	0	2	0	2
Commercial	L2	14	7	7	10	5	71
Commercial	L3	1	0	0	0	0	2
TOTAL		15	7	7	12	5	75

Public	L1	0	0	0	5	2	7
TOTAL		0	0	0	5	2	7

TOTAL RESIDENTIAL	426	353
TOTAL COMMERCIAL	75	74
TOTAL PUBLIC	7	7
TOTAL PARKING SPACES	508	434

ELECTRIC VEHICLE CHARGING STATIONS:
EVP REQUIRED: 25 EVP PROVIDED: 25

EVP (ELECTRIC VEHICLE CHARGER LOCATIONS):
P4: 4
P3: 5
P2: 12
L2: 54
TOTAL EVP: 25

EVSE (ELECTRIC VEHICLE SUPPLY EQUIPMENT - FUTURE):
REQUIRED: 102 PROVIDED: 102

EVSE (EVSE EQUIPMENT - FUTURE LOCATIONS):

RESIDENTIAL:	COMMERCIAL:
P4: 0	0
P3: 37	0
P2: 29	0
P1: 0	0
L1: 0	0
L2: 0	11
L3: 0	0
66	11
TOTAL EVSE:	77

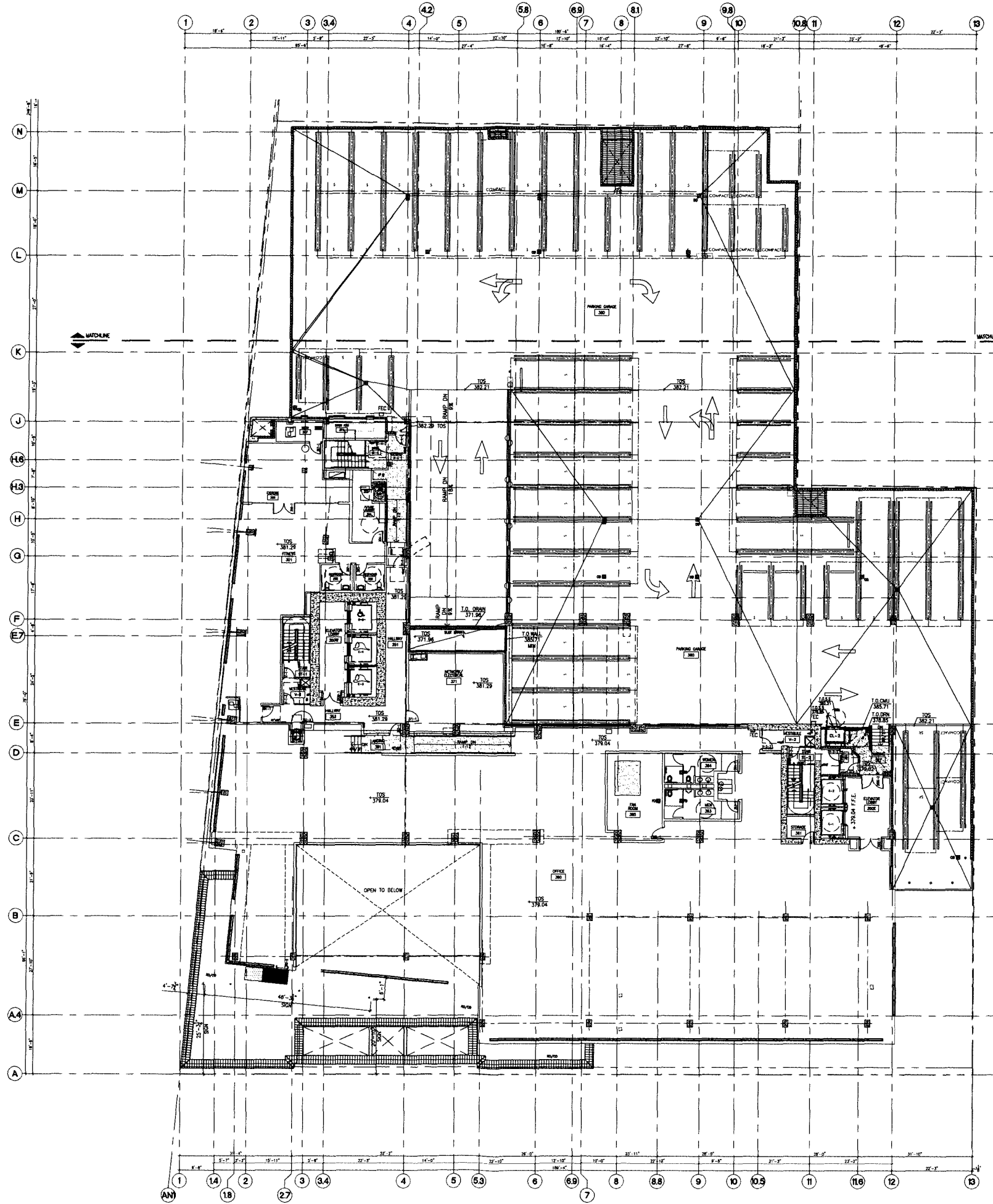


EXHIBIT "A"
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1 FLOOR PLAN - LEVEL L3
SCALE 1/16" = 1'-0"

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Aug 31, 2018 - 12:28pm

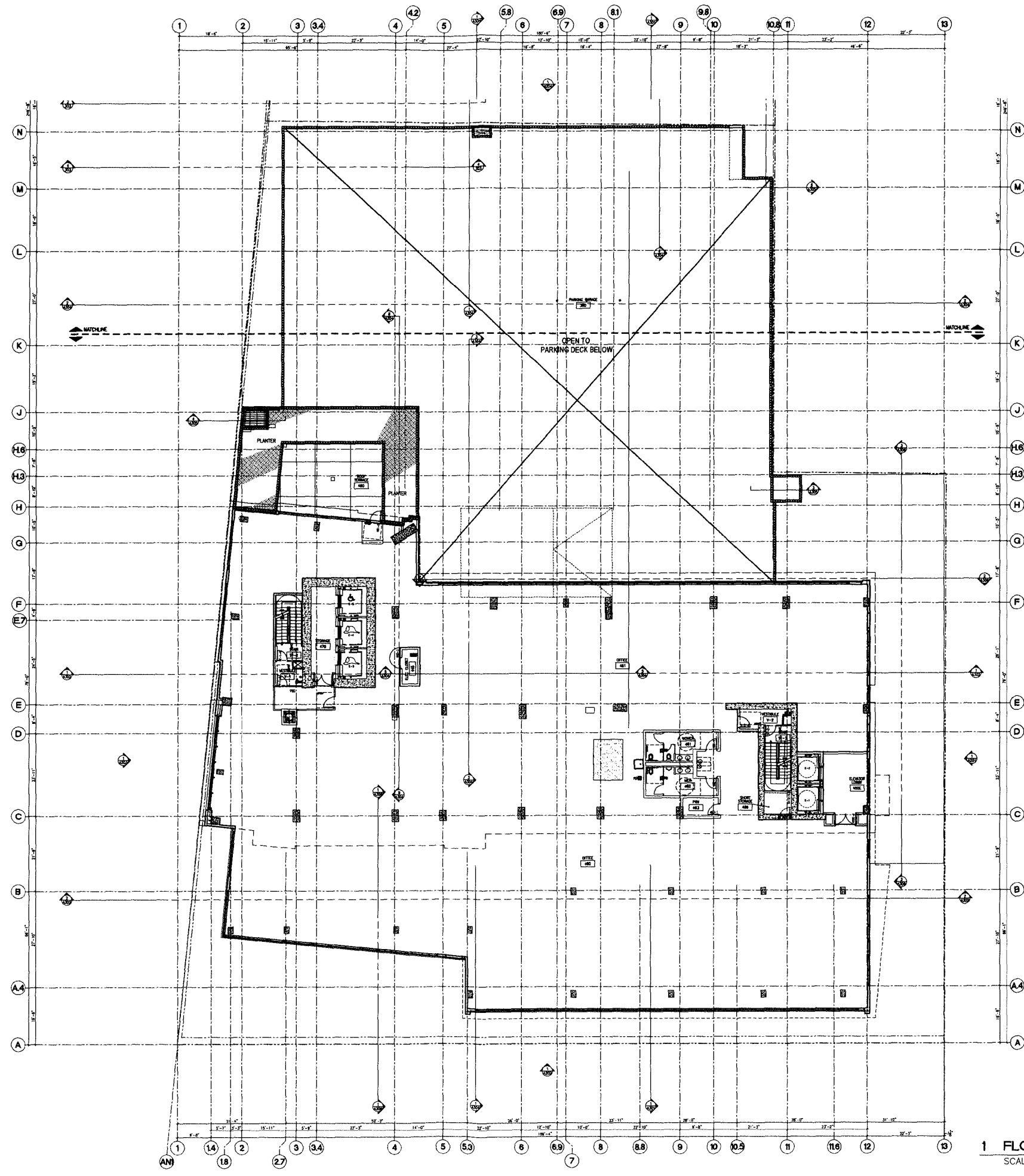


EXHIBIT "A"
Page No. 14 of 34
Case No. CPC 2015-1922

1 FLOOR PLAN - LEVEL L4
SCALE 1/16" = 1'-0"



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DATE: 26 OCT 2018 10:49 AM



PROJECT DEVELOPER
5929 SUNSET (HOLLYWOOD), LLC
Revisions:

DATE: 26 OCT 2018 10:49 AM
FILE NAME: A-104.rvt
PROJECT #: 20045010
A104
DATE: 26 OCT 2018
*** GBD ARCHITECTS INCORPORATED

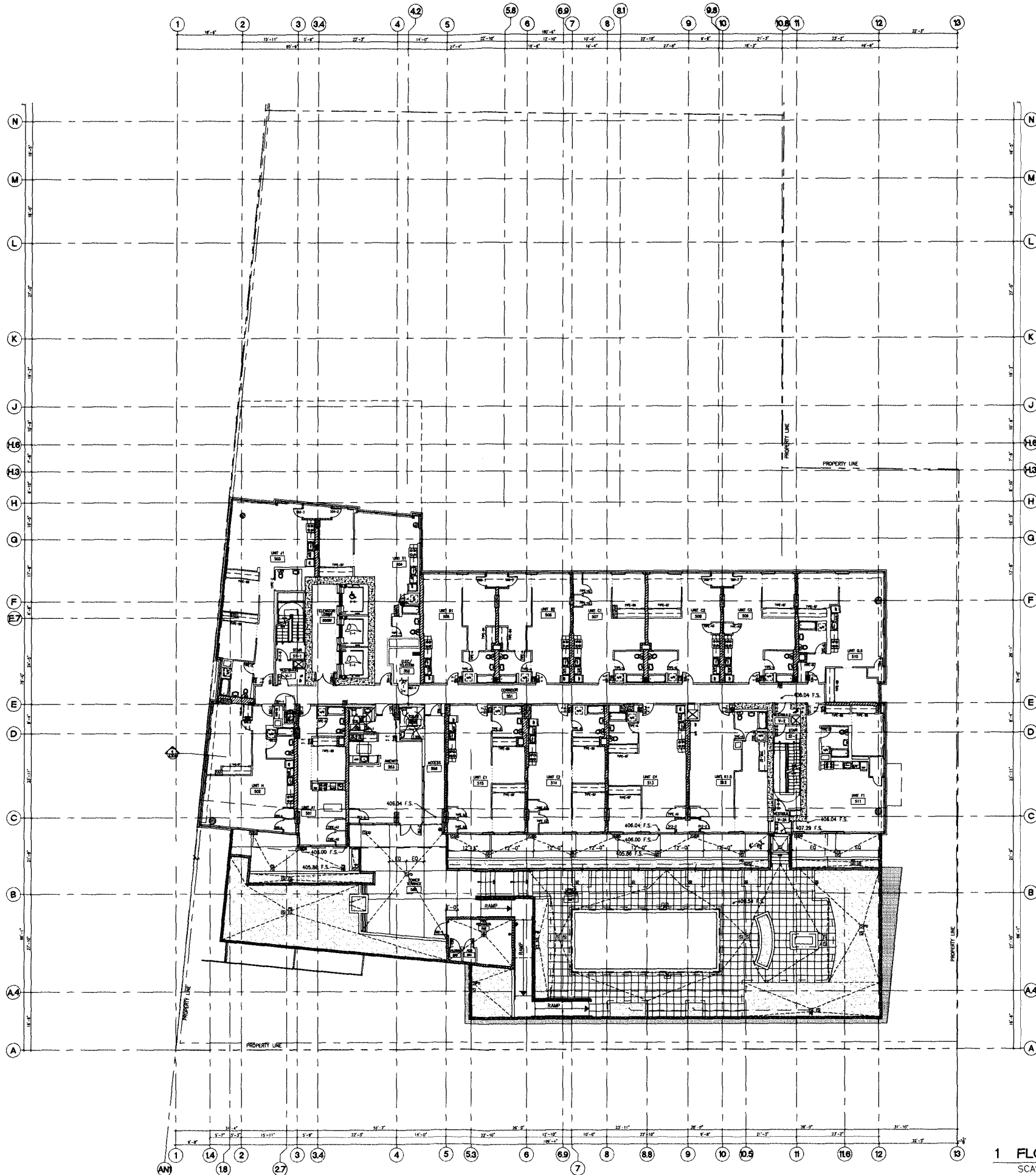


EXHIBIT "A"
Page No. 15 of 34
Case No. CPC-2015-1922

1 FLOOR PLAN - LEVEL L5
SCALE 1/16" = 1'-0"



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24 OCT 2018 10:28am

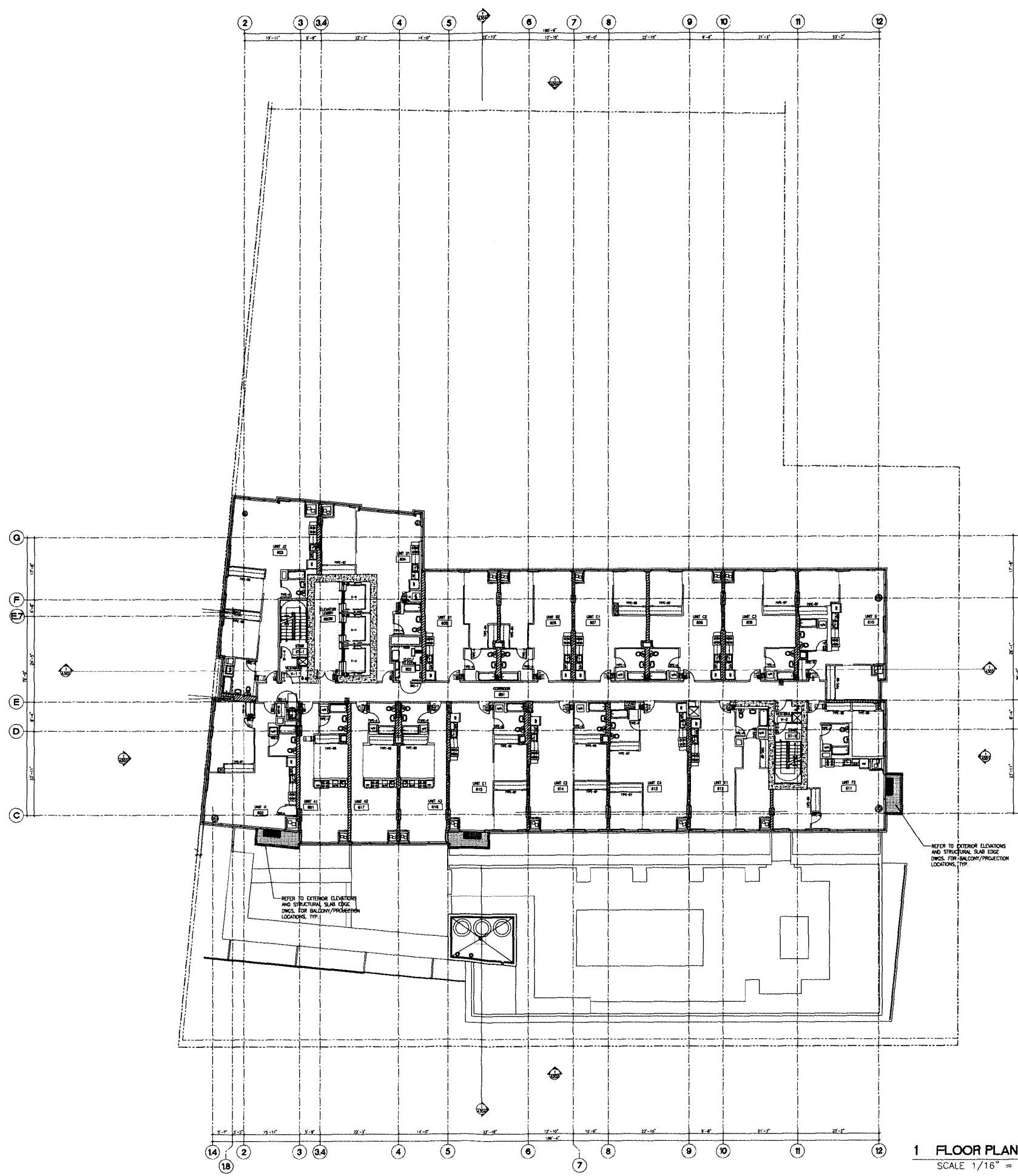


EXHIBIT "A"
Page No. 16 of 34
Case No. CPC-2015-1922

1 FLOOR PLAN - LEVEL 6, 7, 11, 12, 16, 17
SCALE 1/16" = 1'-0"



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10/25/2018 10:00 AM

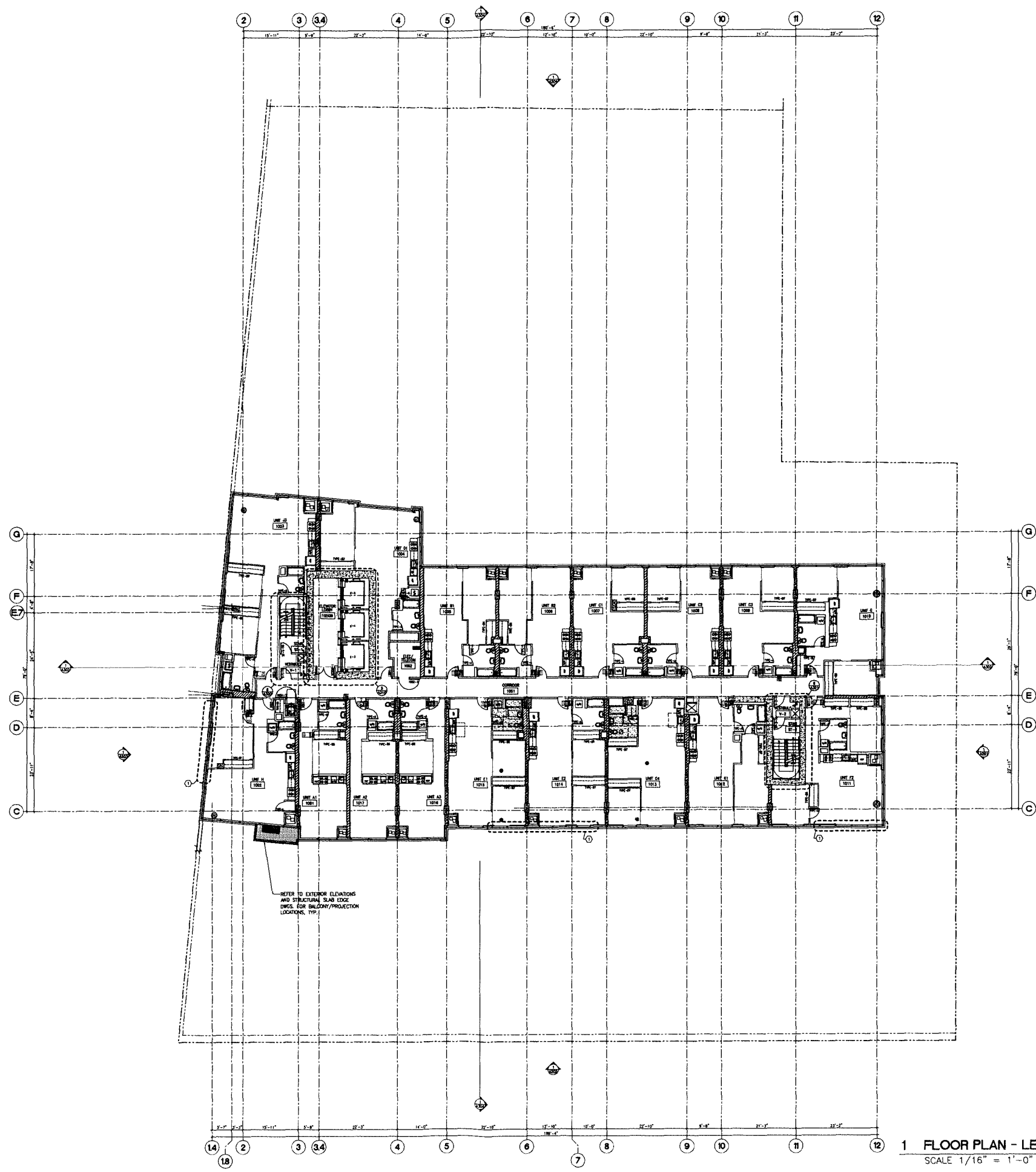


EXHIBIT "A"
Page No. 17 of 34
Case No. CPC-2015-1922

1 FLOOR PLAN - LEVEL L10 (LEVELS: 8-10,13-15,18-20)
SCALE 1/16" = 1'-0"

C:\Users\kjohnson\OneDrive\Documents\100 Documents\100 Drawings\1000\1000 Floor Plans\1000 L10.dwg
10/26/2018 10:11:23 AM

SUNSET
3929 SUNSET (HOLLYWOOD), LLC
4100 WILSHIRE BOULEVARD
LOS ANGELES, CALIFORNIA 90010

PROJECT DEVELOPER
3929 SUNSET (HOLLYWOOD), LLC

Revisions:

LEVEL 10
TYPICAL FLOOR PLAN
LEVELS: 8-10,13-15,18-20

File name:
Project # 20063009

A110

Date: 24 OCT 2018

20 OCTOBER 2018 ENTIREMENT SET-FINAL NO APT - 2018 1026 FINAL
*** GBD ARCHITECTS INCORPORATED

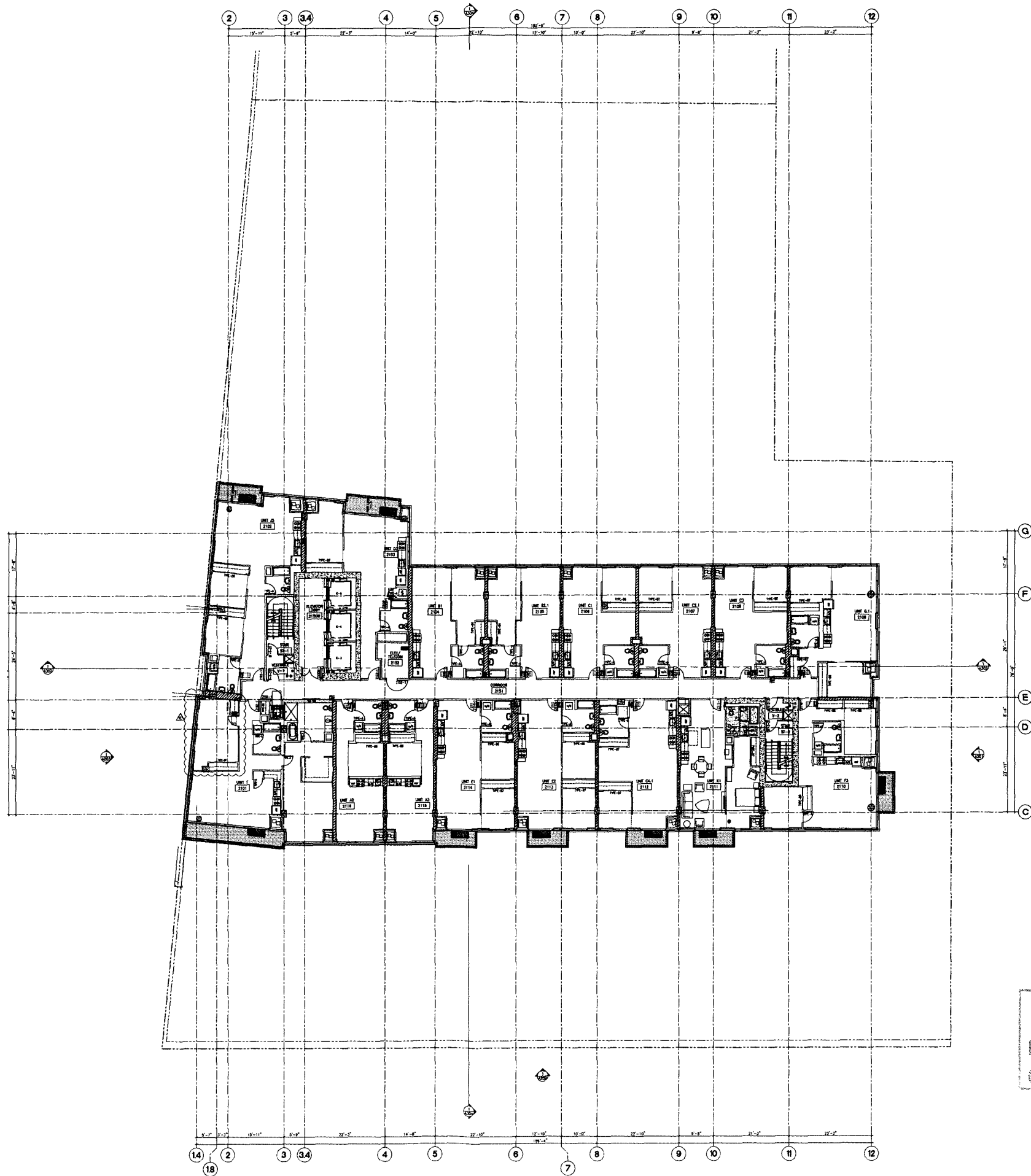


EXHIBIT "A"
Page No. 18 of 34
Case No. CPC-2015-1922



C:\Users\KJohnson\OneDrive\Documents\191 Drawings\2018\1801\Level L21\Level L21.dwg
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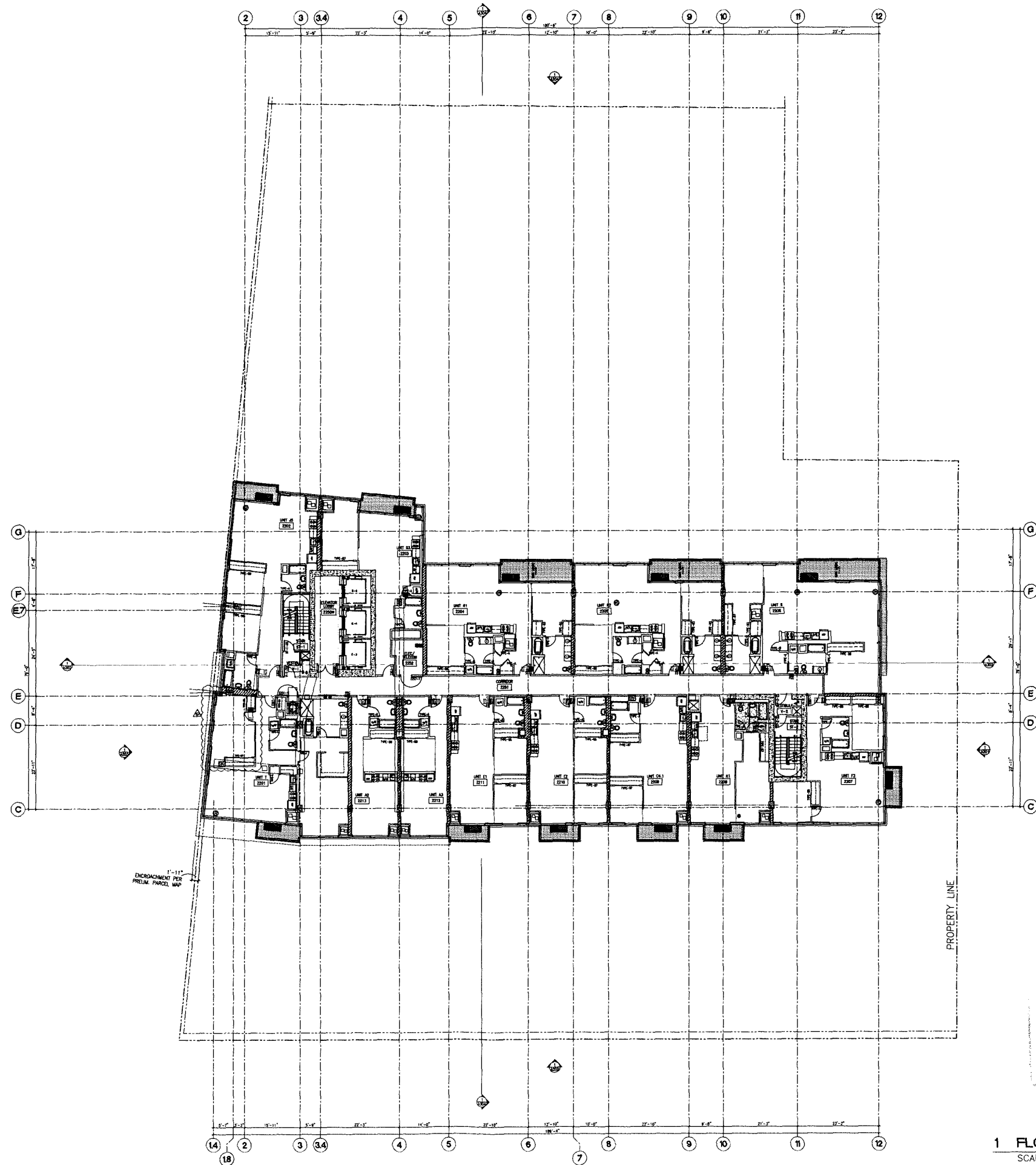


EXHIBIT "A"
Page No. 19 of 34
Case No. CPC-2015-1922

1 FLOOR PLAN - LEVEL L22
SCALE 1/16" = 1'-0"



LICENSED CALIFORNIA ARCHITECT
KEVIN P. JOHNSON C-30343

GBD

GBD Architects, Incorporated
1120 NW Couch St.
Ste. 300
Portland, OR 97209
Tel. (503) 224-9626
gbdarchitects.com
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SUNSET
3929 SUNSET (HOLLYWOOD), LLC
4700 WILSHIRE BOULEVARD
LOS ANGELES, CALIFORNIA 90010

PROJECT DEVELOPER
3929 SUNSET (HOLLYWOOD), LLC
Revisions:

LEVEL L22
FLOOR PLAN

File name: A-122.1
Project #: 20065009

A122
Date: 26 OCT. 2018
26 OCTOBER 2018 ENTIREMENT SET-FINAL NO. 101 - 2018 1026 FINAL

*** GBD ARCHITECTS INCORPORATED

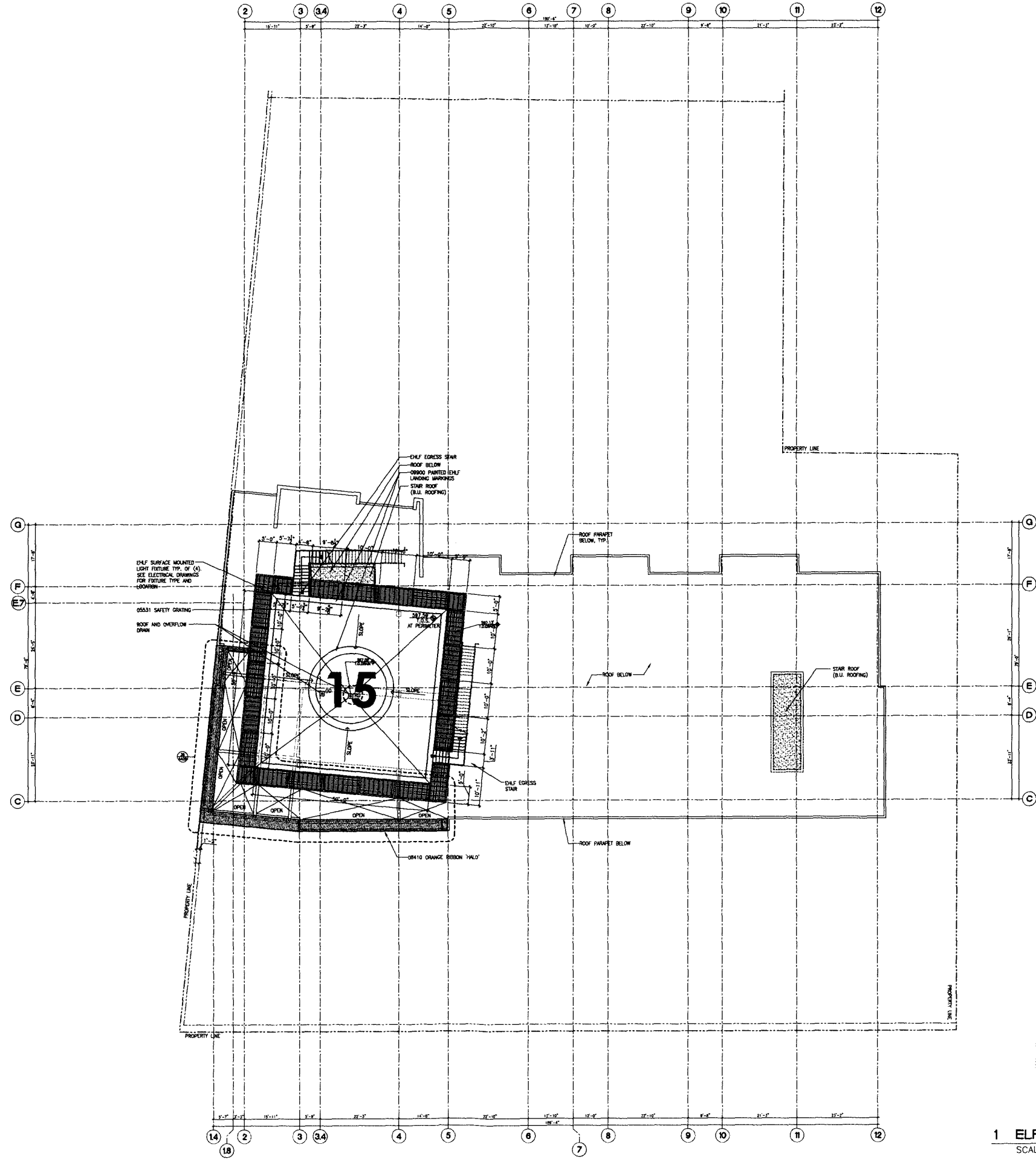


EXHIBIT "A"
Page No. 21 of 34
Case No. CP0-2015-1922

1 ELF PLAN - LEVEL L24
SCALE 1/16" = 1'-0"



CAD FILE: I:\2018\20181008_Hollywood\100_Documents\101_Drawing\08Arch\100_Floor Plan Level L24.dwg
DATE: 2018-10-26

SUNSET
3729 SUNSET HOLLYWOOD, LLC
4700 WILSHIRE BOULEVARD
LOS ANGELES, CALIFORNIA 90010

PROJECT DEVELOPER
3729 SUNSET HOLLYWOOD, LLC

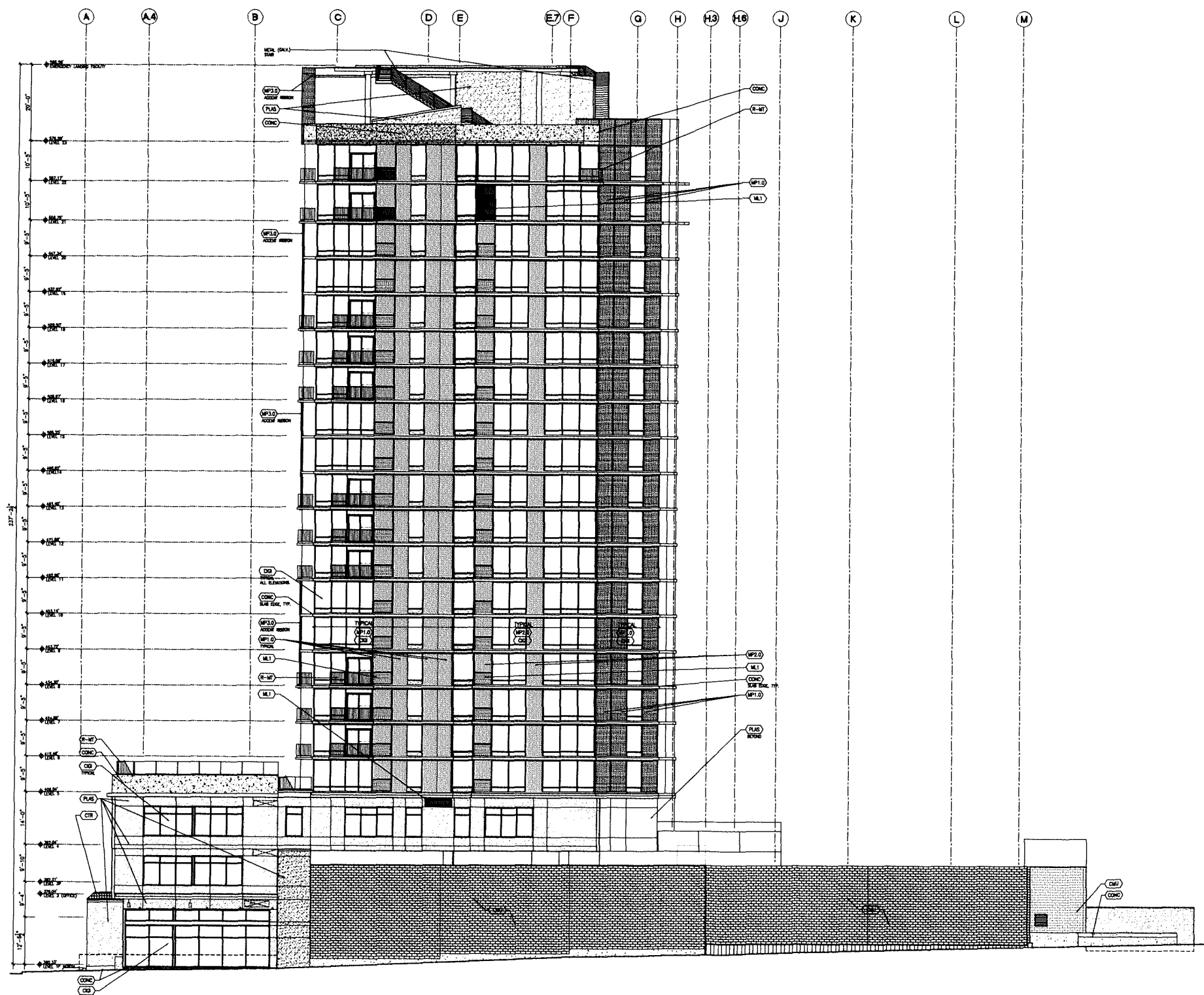
Revisions:

NO. 041 - 2018 1026 FINAL

LEVEL L24
ELF PLAN

File name: A-1241
Project #: 20045007

A124
Date: 24 OCT. 2018
26 OCTOBER 2018 ENTIREMENT SET - FINAL
*** GBD ARCHITECTS INCORPORATED



MATERIAL LEGEND

- (MP1.0) FLUSH METAL WALL PANEL, COLOR #1 "CHAMPAGNE GOLD"
- (MP2.0) FLUSH METAL WALL PANEL, COLOR #2 "MEDIUM GRAY"
- (MP3.0) PTD. ALUM. PANEL, COLOR #3- ORANGE
- (R-MT) METAL RAILING SYSTEM
- (IG) IRON GRILLE (CUSTOM)
- (CONC) CAST-IN-PLACE CONCRETE, EXPOSED ARCHITECTURAL GRADE NATURAL FINISH
- (CMU) CMU BLOCK
- (PLAS) PLASTER/STUCCO - SMOOTH TROWEL FINISH
- (CTR) CLAY TILE ROOFING -
PROFILE: "CORONA TAPERED MISSION"
COLOR: "CANYON RED 2F23"
- (IGI) INSULATED VISION GLASS-PPG SOLARBAN Z50, TYPICAL
- (ML1) ALUM EXHAUST LOUVER, MATCH ADJ. COLOR
- (W-WD) WOOD WINDOW/DOOR- GLAZING TO MATCH BUILDING, TYP.
- (GS) GREEN SCREEN

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 GBD Architects, Incorporated
 1120 NW Couch St.
 Ste. 300
 Portland, OR 97209
 Tel. (503) 224-9656
 gbdarchitects.com
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 4700 WILSHIRE BOULEVARD
 LOS ANGELES, CALIFORNIA 90010
 PROJECT DEVELOPER
 5929 SUNSET (HOLLYWOOD) LLC
 Revisions:

EXHIBIT "A"
 Page No. 22 of 34
 Case No. CPC-2015-1922

1 EAST EXTERIOR ELEVATION
 SCALE 1/16" = 1'-0"

2 OCTOBER 2018 ENTIREMENT 3E-FINAL NO APT. - 2018 1026 FINAL
 EAST EXTERIOR ELEVATION
 File name: A-201
 Project #: 20065010
A201
 Date: 26 OCT. 2018
 *** GBD ARCHITECTS, INCORPORATED ***

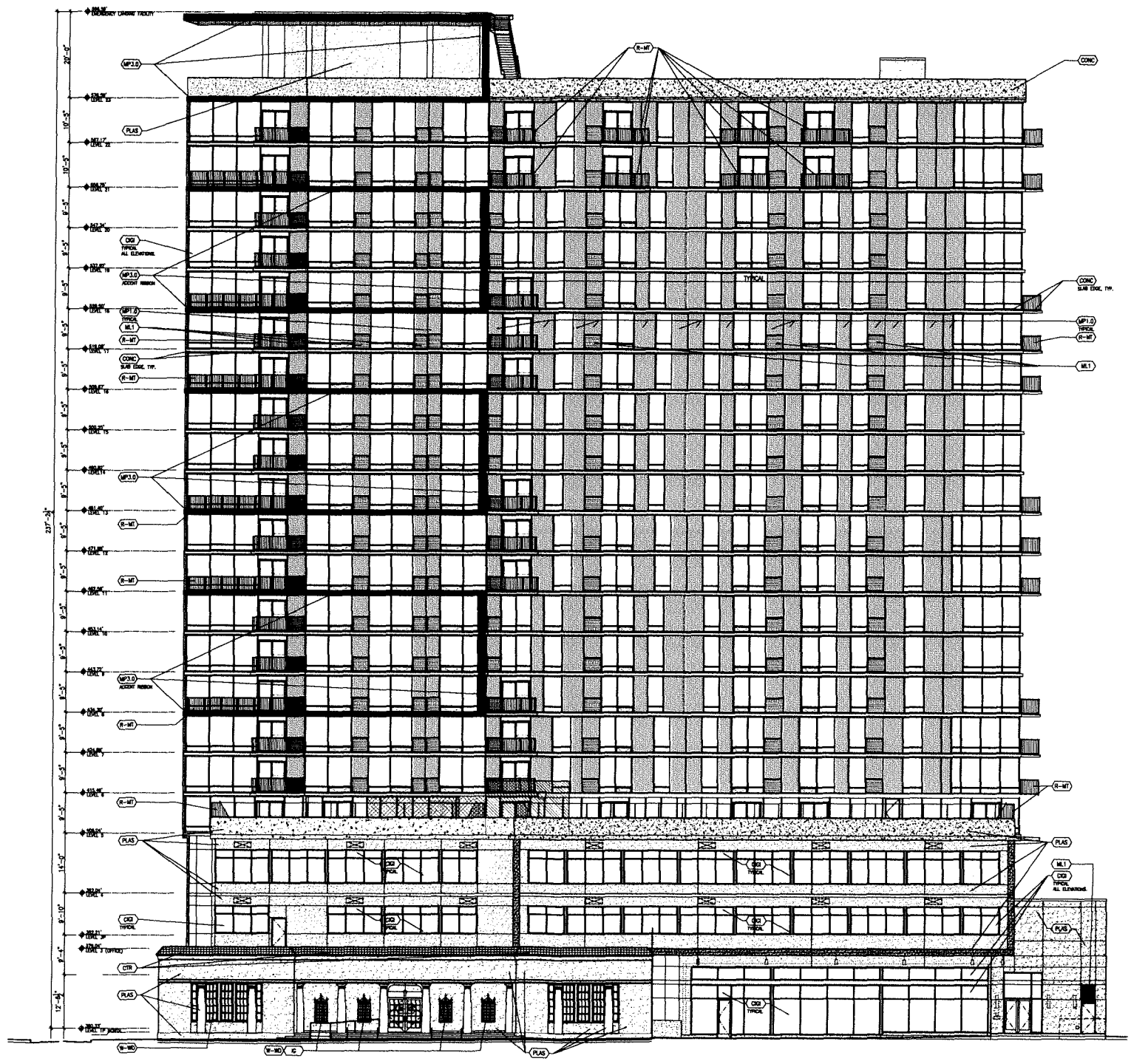
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MATERIAL LEGEND

- (MP1.0) FLUSH METAL WALL PANEL, COLOR #1
"CHAMPAGNE GOLD"
- (MP2.0) FLUSH METAL WALL PANEL, COLOR #2
"MEDIUM GRAY"
- (MP3.0) PTD. ALUM. PANEL, COLOR #3- ORANGE
- (R-MT) METAL RAILING SYSTEM
- (IG) IRON GRILLE (CUSTOM)
- (CONC) CAST-IN-PLACE CONCRETE, EXPOSED
ARCHITECTURAL GRADE NATURAL FINISH
- (CMU) CMU BLOCK
- (PLAS) PLASTER/STUCCO - SMOOTH TROWEL FINISH
- (CTR) CLAY TILE ROOFING -
PROFILE: "CORONA TAPERED MISSION"
COLOR: "CANYON RED 2F23"
- (IGI) INSULATED VISION GLASS-PPG SOLARBAN Z50,
TYPICAL

- (ML1) ALUM EXHAUST LOUVER, MATCH ADJ. COLOR
- (W-WD) WOOD WINDOW/DOOR- GLAZING TO MATCH
BUILDING, TYP.

- (GS) GREEN SCREEN



1 SOUTH EXTERIOR ELEVATION
SCALE 1/16" = 1'-0"

EXHIBIT "A"
Page No. 23 of 34
Case No. CYC-1915-1922

SUNSET
3929 SUNSET HOLLOWOOD, LLC
4700 WILSHIRE BOULEVARD
LOS ANGELES, CALIFORNIA 90010

PROJECT DEVELOPER
3929 SUNSET (HOLLYWOOD), LLC

Revisions:

SOUTH EXTERIOR ELEVATION

File name: A-202
Project #: 20065010

A202

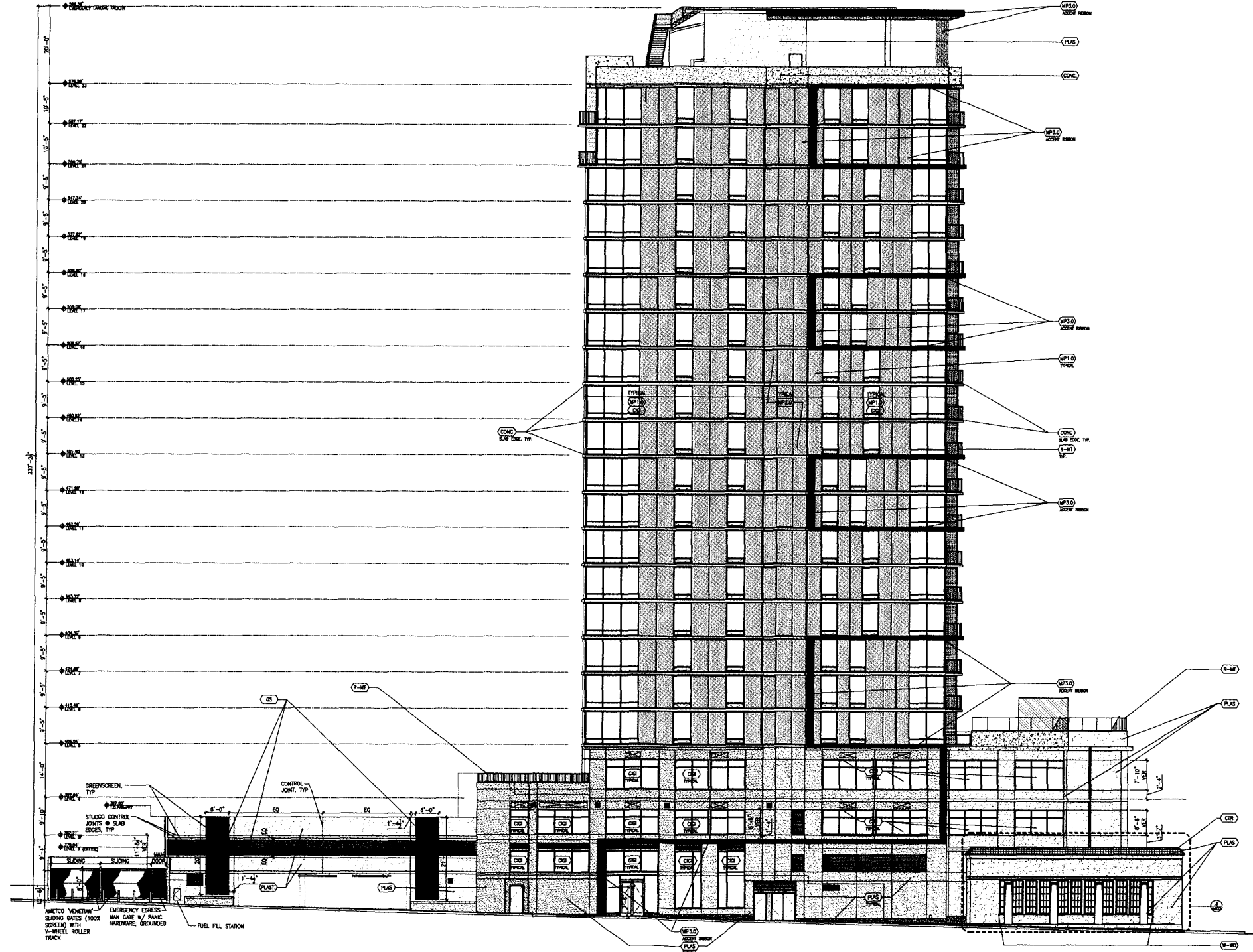
Date: 26 OCT. 2018

MATERIAL LEGEND

- (MP1.0) FLUSH METAL WALL PANEL, COLOR #1 "CHAMPAGNE GOLD"
- (MP2.0) FLUSH METAL WALL PANEL, COLOR #2 "MEDIUM GRAY"
- (MP3.0) PTD. ALUM. PANEL, COLOR #3- ORANGE
- (R-MT) METAL RAILING SYSTEM
- (IG) IRON GRILLE (CUSTOM)
- (CONC) CAST-IN-PLACE CONCRETE, EXPOSED ARCHITECTURAL GRADE NATURAL FINISH
- (CMU) CMU BLOCK
- (PLAS) PLASTER/STUCCO - SMOOTH TROWEL FINISH
- (CTR) CLAY TILE ROOFING -
PROFILE: "CORONA TAPERED MISSION"
COLOR: "CANYON RED 2F23"
- (CGI) INSULATED VISION GLASS-PPG SOLARBAN Z50, TYPICAL

- (ML1) ALUM EXHAUST LOUVER, MATCH ADJ. COLOR
- (W-WD) WOOD WINDOW/DOOR- GLAZING TO MATCH BUILDING, TYP.

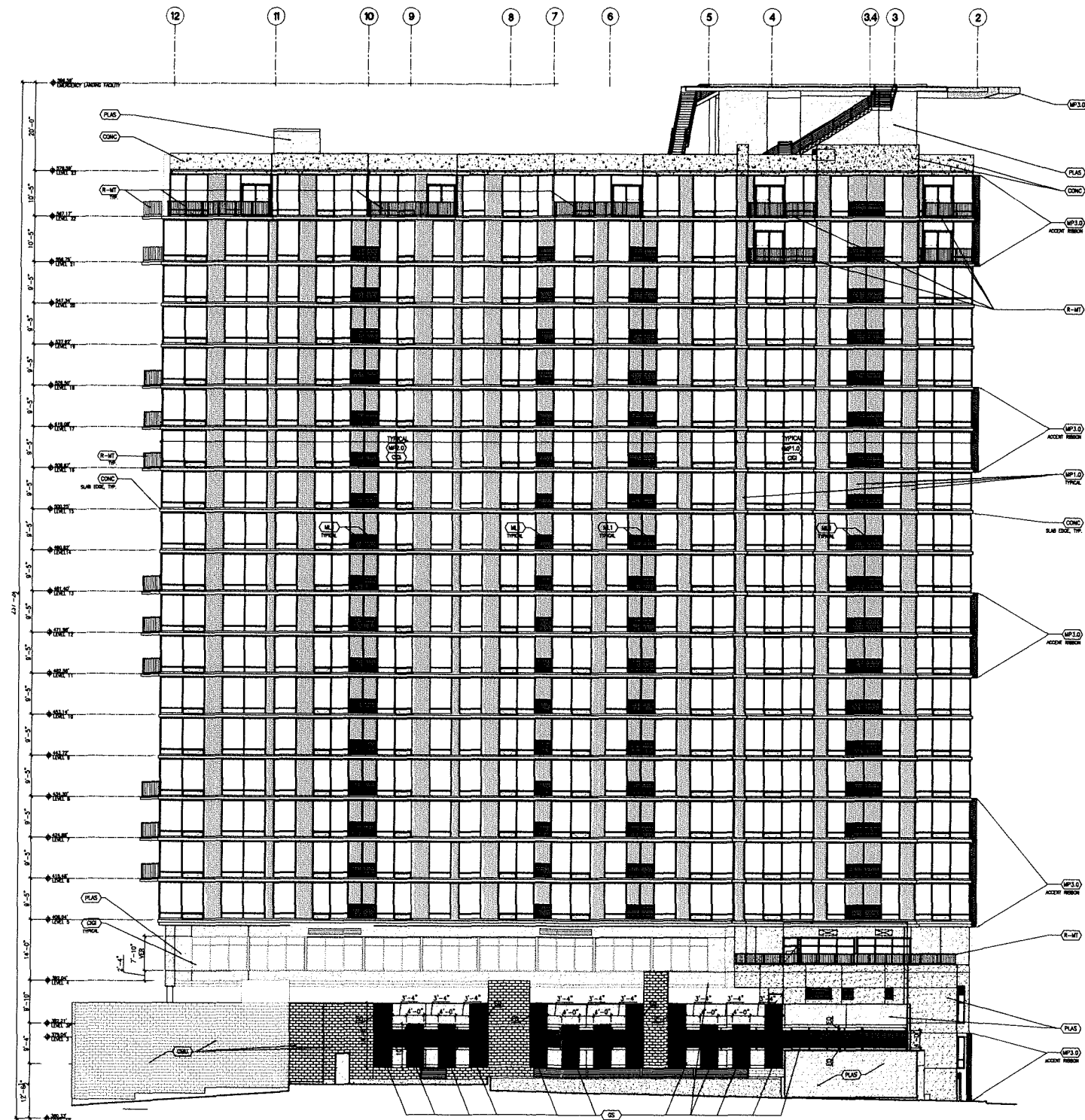
- (GS) GREEN SCREEN



1 WEST EXTERIOR ELEVATION
SCALE 1/16" = 1'-0"

EXHIBIT "A"
Page No. 24 of 34
Case No. CPC-2015-1922

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 10/24/2018 2:17:01pm



1 NORTH EXTERIOR ELEVATION
 SCALE 1/16" = 1'-0"

MATERIAL LEGEND

- MP1.0 FLUSH METAL WALL PANEL, COLOR #1 "CHAMPAGNE GOLD"
- MP2.0 FLUSH METAL WALL PANEL, COLOR #2 "MEDIUM GRAY"
- MP3.0 PTD. ALUM. PANEL, COLOR #3- ORANGE
- R-MT METAL RAILING SYSTEM
- IG IRON GRILLE (CUSTOM)
- CONC CAST-IN-PLACE CONCRETE, EXPOSED ARCHITECTURAL GRADE NATURAL FINISH
- CMU CMU BLOCK
- PLAS PLASTER/STUCCO - SMOOTH TROWEL FINISH
- CTR CLAY TILE ROOFING -
 PROFILE: "CORONA TAPERED MISSION"
 COLOR: "CANYON RED 2F23"
- GIGI INSULATED VISION GLASS-PPG SOLARBAN Z50, TYPICAL
- ML1 ALUM EXHAUST LOUVER, MATCH ADJ. COLOR
- W-WD WOOD WINDOW/DOOR- GLAZING TO MATCH BUILDING, TYP.
- GS GREEN SCREEN

REGISTERED CALIFORNIA ARCHITECT
 KEVIN P. JOHNSON C-30383

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SUNSET
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 4700 WILSHIRE BOULEVARD
 LOS ANGELES, CALIFORNIA 90010

PROJECT DEVELOPER
 5929 SUNSET (HOLLYWOOD), LLC

Revisions:

NORTH
 EXTERIOR ELEVATION

EXHIBIT "A"
 Page No. 25 of 34
 Case No. CPC-2015-1972

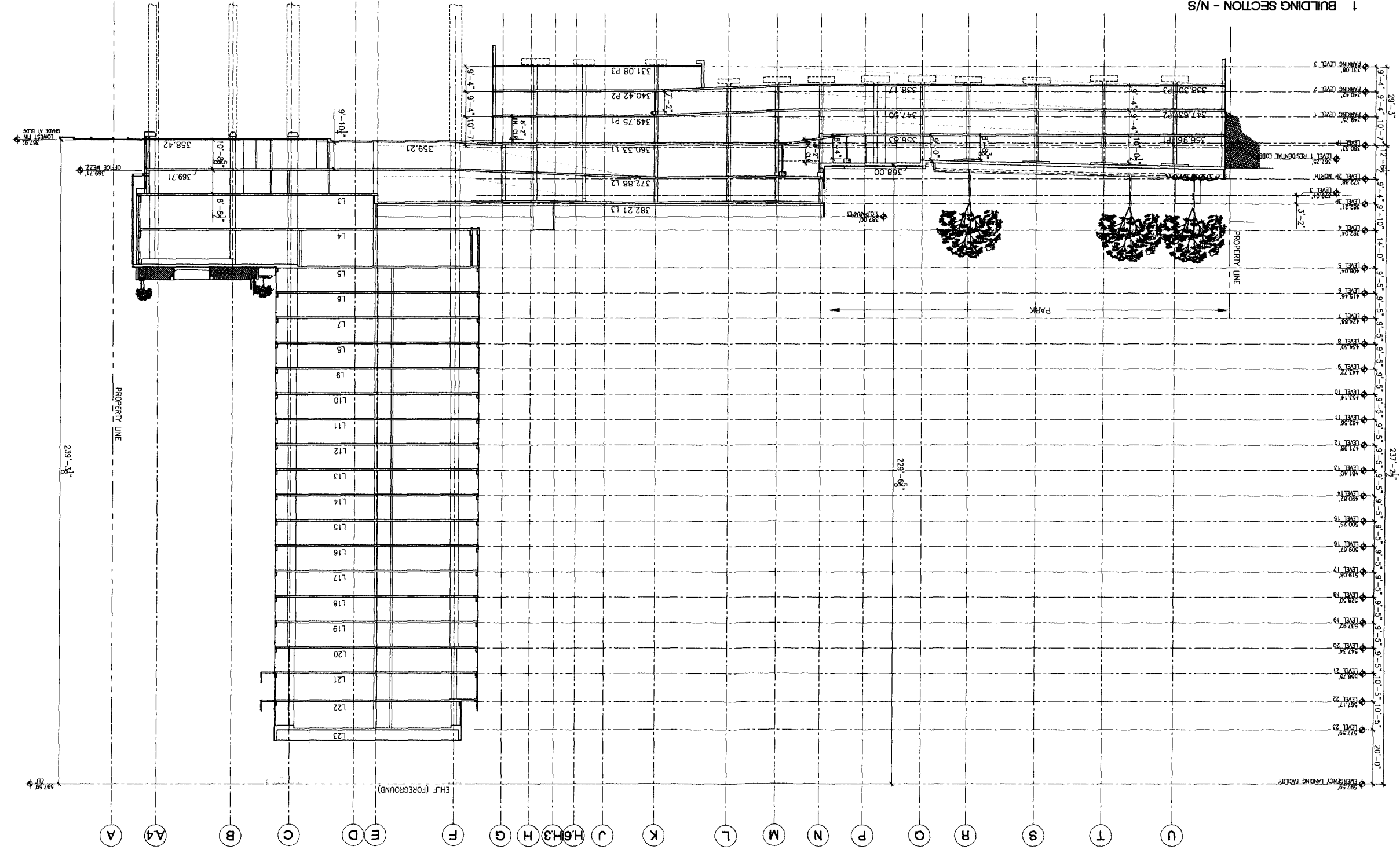
File name: A-204
 Project # 20065010

A204

Date: 26 OCT. 2018
 26 OCTOBER 2018 ENTITLEMENT SET - FINAL NO. APT. - 2018 1008 FINAL
 *** GBD ARCHITECTS INC. OPERATED ***

1 BUILDING SECTION - N/S

SCALE 1" = 20'-0"



2 BUILDING SECTION - N/S

SCALE 1" = 10'-0"

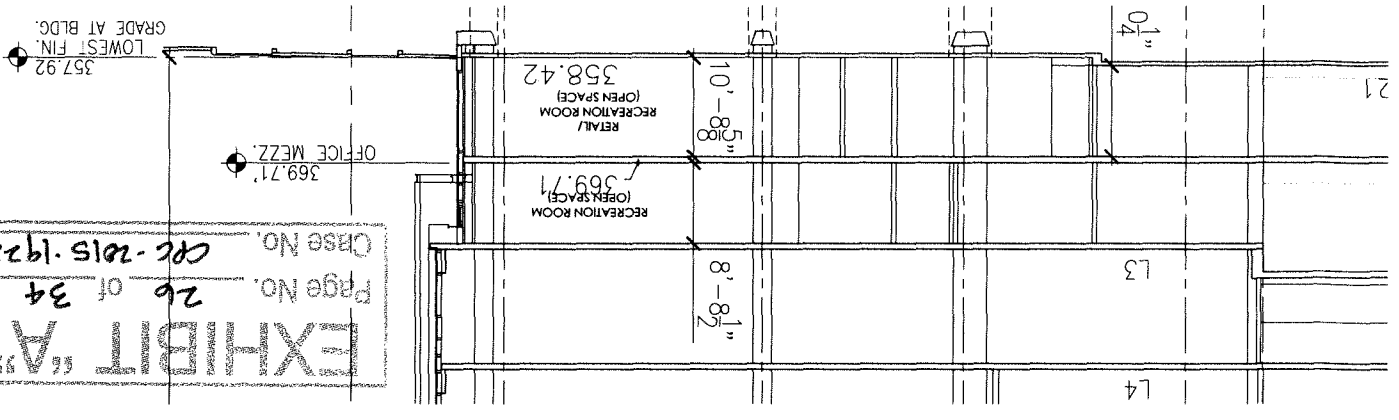


EXHIBIT "A"
Page No. 26 of 34
Case No. CPC-2015-1922

DATE: 26 OCT 2018
PROJECT # 20065010
JOB TITLE: A-301
BUILDING SECTION - N/S
NO. 4471 - 2018 1026 FINAL

UNSET
4700 WILSHIRE BOULEVARD, SUITE 300
SAN ANTONIO, TEXAS 78209
979 SWEET HOLLYWOOD, LLC
PROJECT ARCHITECT
3979 SWEET HOLLYWOOD, LLC
REVISIONS:

GBD ARCHITECTS, INCORPORATED
1120 NEW CROWN BL.
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gbdarchitects.com
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LUCIANO CAVALIERI ARCHITECT
LUCIANO CAVALIERI ARCHITECT
LUCIANO CAVALIERI ARCHITECT



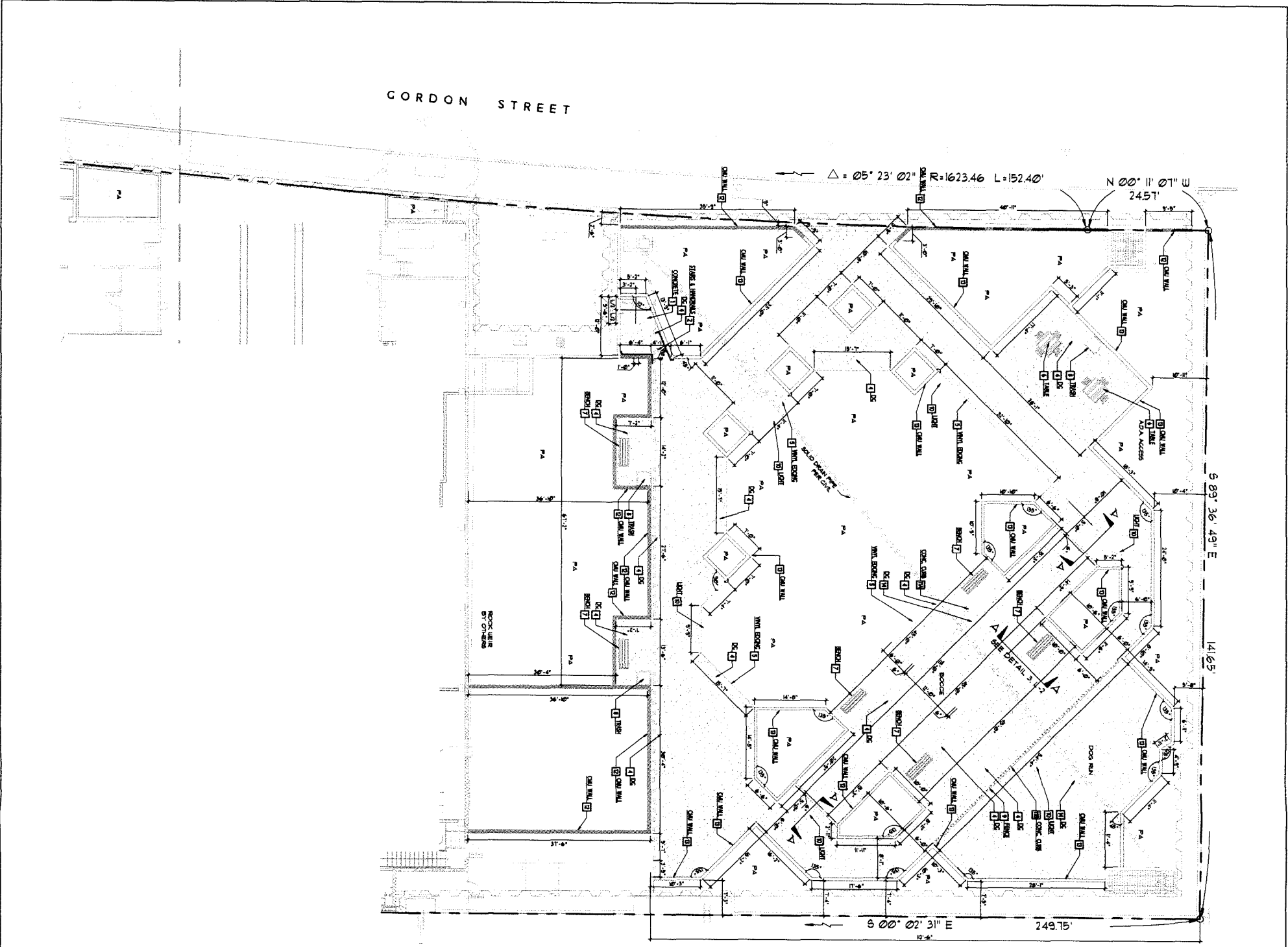
SOUTH ELEVATION - (SUNSET BLVD.)

- PLAS PLASTER- "LIGHT/WARM GRAY"
- MP1.0 METAL PANEL- "CHAMPAGNE GOLD"
- MP2.0 METAL PANEL- "MEDIUM GRAY"
- EAST AND WEST ELEVATIONS- INSET AREAS ONLY
- MP3.0 PTD. ALUM. PANEL- "ORANGE"
- R-MT METAL RAILING- LT. GRAY
- TYP. ALL ELEVATIONS
- IG IRON GRILLE (HISTORIC PROFILE TO MATCH EXIST.- BLACK)
- PEERLESS BLDG. ONLY.
- CONC CONCRETE- NATURAL
- CONC. SLAB EDGE AND BASE, TYP.
- CMU CMU BLOCK
- EAST AND NORTH ELEVATIONS.
- PLAS PLASTER- "LIGHT/WARM GRAY"
- PODIUM ONLY
- CTR CLAY TILE ROOFING
- TYP. - PEERLESS BLDG. ONLY
- CIGI INSULATED VISION GLASS- SOLARBAN Z50 /ALUM. GRAY FRAME
- TYP. ALL ELEVATIONS
- ML1 ALUM. EXHAUST LOUVER- MATCH ADJ. COLOR
- TYP. ALL ELEVATIONS
- W-WD WOOD WINDOW/DOOR- GLAZING TO MATCH BLDG.
- PEERLESS BLDG. ONLY.
- GS GREEN SCREEN- NATURAL STEEL COLOR
- WEST AND NORTH ELEVATIONS ONLY

MATERIAL LEGEND

- MP1.0 FLUSH METAL WALL PANEL, COLOR #1
"CHAMPAGNE GOLD"
- MP2.0 FLUSH METAL WALL PANEL, COLOR #2
"MEDIUM GRAY"
- MP3.0 PTD. ALUM. PANEL, COLOR #3- ORANGE
- R-MT METAL RAILING SYSTEM
- IG IRON GRILLE (CUSTOM)
- CONC CAST-IN-PLACE CONCRETE, EXPOSED
ARCHITECTURAL GRADE NATURAL FINISH
- CMU CMU BLOCK
- PLAS PLASTER/STUCCO - SMOOTH TROWEL FINISH
- CTR CLAY TILE ROOFING -
PROFILE: "CORONA TAPERED MISSION"
COLOR: "CANYON RED 2F23"
- CIGI INSULATED VISION GLASS-PPG SOLARBAN Z50,
TYPICAL
- ML1 ALUM EXHAUST LOUVER, MATCH ADJ. COLOR
- W-WD WOOD WINDOW/DOOR- GLAZING TO MATCH
BUILDING, TYP.
- GS GREEN SCREEN

EXHIBIT "A"
 Page No. 27 of 34
 Case No. CYC-2015-1922



CONSTRUCTION KEY

1. MATERIAL CONC. CONCRETE FLOOR, SLOPE AND FINISH TO BE DETERMINED BY OWNER.

2. FINISH FLOOR TO BE DETERMINED BY OWNER.

3. FINISH FLOOR TO BE DETERMINED BY OWNER.

4. FINISH FLOOR TO BE DETERMINED BY OWNER.

5. FINISH FLOOR TO BE DETERMINED BY OWNER.

6. FINISH FLOOR TO BE DETERMINED BY OWNER.

7. FINISH FLOOR TO BE DETERMINED BY OWNER.

8. FINISH FLOOR TO BE DETERMINED BY OWNER.

9. FINISH FLOOR TO BE DETERMINED BY OWNER.

10. FINISH FLOOR TO BE DETERMINED BY OWNER.

11. FINISH FLOOR TO BE DETERMINED BY OWNER.

12. FINISH FLOOR TO BE DETERMINED BY OWNER.

13. FINISH FLOOR TO BE DETERMINED BY OWNER.

14. FINISH FLOOR TO BE DETERMINED BY OWNER.

15. FINISH FLOOR TO BE DETERMINED BY OWNER.

16. FINISH FLOOR TO BE DETERMINED BY OWNER.

17. FINISH FLOOR TO BE DETERMINED BY OWNER.

18. FINISH FLOOR TO BE DETERMINED BY OWNER.

19. FINISH FLOOR TO BE DETERMINED BY OWNER.

20. FINISH FLOOR TO BE DETERMINED BY OWNER.

LEGEND

1. FACE OF BUILDING

2. FACE OF WALL

3. FACE OF CURB

4. FACE OF DRIVE

5. FACE OF DRIVE

6. FACE OF DRIVE

7. FACE OF DRIVE

8. FACE OF DRIVE

9. FACE OF DRIVE

10. FACE OF DRIVE

11. FACE OF DRIVE

12. FACE OF DRIVE

13. FACE OF DRIVE

14. FACE OF DRIVE

15. FACE OF DRIVE

16. FACE OF DRIVE

17. FACE OF DRIVE

18. FACE OF DRIVE

19. FACE OF DRIVE

20. FACE OF DRIVE

EXHIBIT "A"

Page No. 28 of 34

Case No. CPC-2015-1922

SCALE: 1/8"=1'-0"

0' 4' 8' 16' 24'

BELOW

1-888-90-BELOW

CALL BEFORE YOU DIG.

DIG ALERT

DIAL TOLL FREE 1-800-271-2800 AT LEAST TWO DAYS BEFORE YOU DIG.

KEY PLAN:

GORDON STREET

SUNSET BOULEVARD

PROJECT INFORMATION

PROJECT # 2005070

DATE: 26 OCT 2018

CLIENT

5929 SHRED BOULEVARD

HICKLE VILLAGE, CALIFORNIA

92575-4501

DESIGNER

5929 SHRED BOULEVARD

HICKLE VILLAGE, CALIFORNIA

92575-4501

26 OCTOBER 2018 ENTITLEMENT SET-FINAL NO API - 2018 1026 FINAL

GBD

1270 NEW CROWN ST.

PASADENA, CA 91770

TEL: (626) 226-4668

gbd.com

UNIVERSITY OF CALIFORNIA

LANDSCAPE ARCHITECTURE

5929 SHRED BOULEVARD

HICKLE VILLAGE, CALIFORNIA

92575-4501



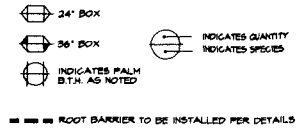
EXHIBIT "A"
Page No. 21 of 34
Case No. CPC 2015-1972

PLANTING LEGEND

TREES	Key	Botanical Name	Common Name	Size	MUCOLS Region 2
	A	<i>Pistacia chinensis</i> Verify location marked on curb in partway of Gordon Street by Urban Forestry Division, per Permit 264814	Chinese Pistache	24" BOX	Mod
	B	<i>Pistacia x acarifolia</i> 'Bloodgood' Verify location marked on curb in partway of Sunset Boulevard by Urban Forestry Division (4), per Permit 264814	London Plane Tree	24" BOX	Mod
		<i>Washingtonia robusta</i> (Existing)	Mexican Fan Palm	Existing	Low

GROUNDCOVERS	Key	Botanical Name	Common Name	Quantity	Low
		<i>Lemnandra hybrid</i> 'Tropical Belle'	Tropical Belle Mat Rush	1/2 gallon @ 5' c/c	Low

SIZING LEGEND



NOTE
GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.
UNLESS OTHERWISE SHOWN, PLANTERS WILL BE MATCHED PER GROUNDCOVER PLANTING DETAIL SHEET L-13

PLANT MATERIAL APPROVAL
AFTER OBTAINING APPROVAL OF THE AGRICULTURAL SUITABILITY REPORT, AND A MINIMUM OF TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT TO THE OWNER / OWNER'S REPRESENTATIVE PLANT MATERIAL PHOTOS FOR APPROVAL. IF REQUESTED BY THE OWNER, THE LANDSCAPE ARCHITECT WILL TAG THE TREE MATERIAL.

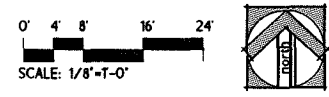
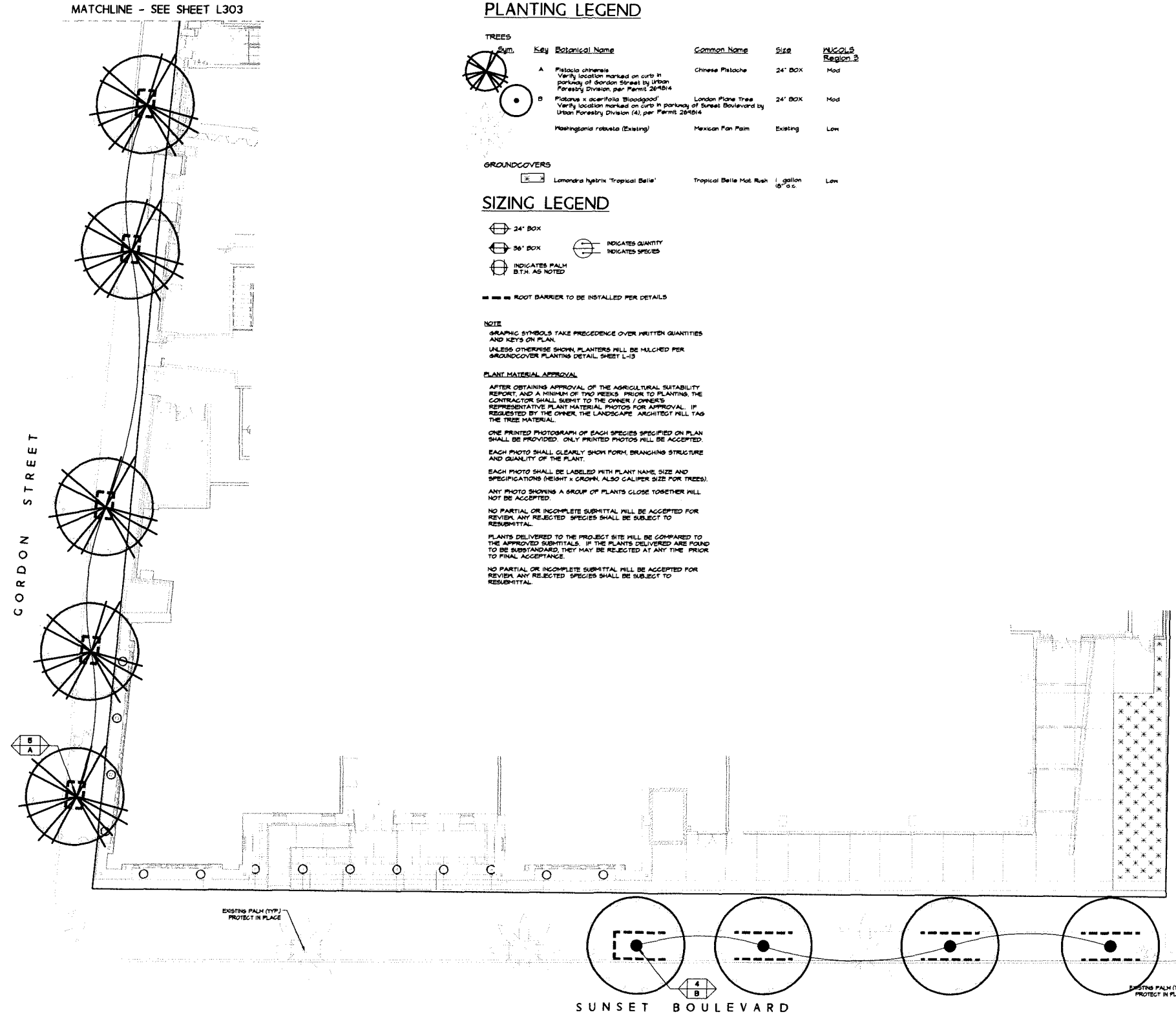
ONE PRINTED PHOTOGRAPH OF EACH SPECIES SPECIFIED ON PLAN SHALL BE PROVIDED. ONLY PRINTED PHOTOS WILL BE ACCEPTED. EACH PHOTO SHALL CLEARLY SHOW FORM, BRANCHING STRUCTURE AND QUANTITY OF THE PLANT.

EACH PHOTO SHALL BE LABELED WITH PLANT NAME, SIZE AND SPECIFICATIONS (HEIGHT x CROWN, ALSO CALIPER SIZE FOR TREES). ANY PHOTO SHOWING A GROUP OF PLANTS CLOSE TOGETHER WILL NOT BE ACCEPTED.

NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES SHALL BE SUBJECT TO RESUBMITTAL.

PLANTS DELIVERED TO THE PROJECT SITE WILL BE COMPARED TO THE APPROVED SUBMITTALS. IF THE PLANTS DELIVERED ARE FOUND TO BE SUBSTANDARD, THEY MAY BE REJECTED AT ANY TIME PRIOR TO FINAL ACCEPTANCE.

NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES SHALL BE SUBJECT TO RESUBMITTAL.



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AT LEAST TWO DAYS
BEFORE YOU DIG.

UNDERGROUND SERVICE ALERT (USA)

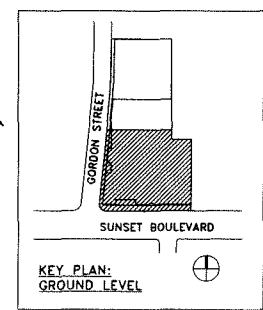


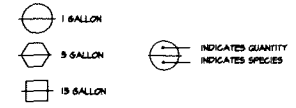


EXHIBIT "A"
Page No. 30 of 34
Case No. CPC-2015-1922

PLANTING LEGEND

SHRUBS	Sym.	Key	Botanical Name	Common Name	Size	MUCOLS Region 2
	AA		Agave americana	Century Plant	15 gallon	Low
	AD		Agave attenuata	Agave	5 gallon	Low
	CS		Cyperus sempar-virens 'Tiny Tower'	Tiny Tower Italian Cypress	15 gallon	Low
	LP		Helichrysum petiolare 'LimeLight'	Licorice Plant	1 gallon	Med
	PH		Phormium tenax 'Gold'	New Zealand Flax	4' pots	Med
	MV		Myrtus communis 'Compacta Variegata'	Variegated Compact Myrtle	1 gallon	Low
	PP		Phormium tenax 'Stripe'	New Zealand Flax	15 gallon	Low
VINES						
	HV		Hardenbergia violacea	Lilac Vine	5 gallon	Med

SIZING LEGEND



NOTE:
GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.

PLANT MATERIAL APPROVAL:
AFTER OBTAINING APPROVAL OF THE AGRICULTURAL SUITABILITY REPORT, AND A MINIMUM OF TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT TO THE OWNER / OWNER'S REPRESENTATIVE PLANT MATERIAL PHOTOS FOR APPROVAL. IF REQUESTED BY THE OWNER, THE LANDSCAPE ARCHITECT WILL TAG THE TREE MATERIAL.

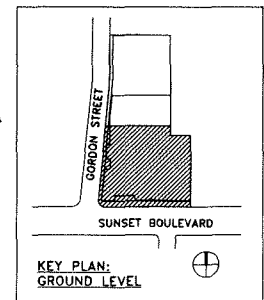
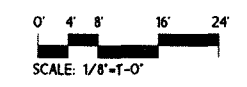
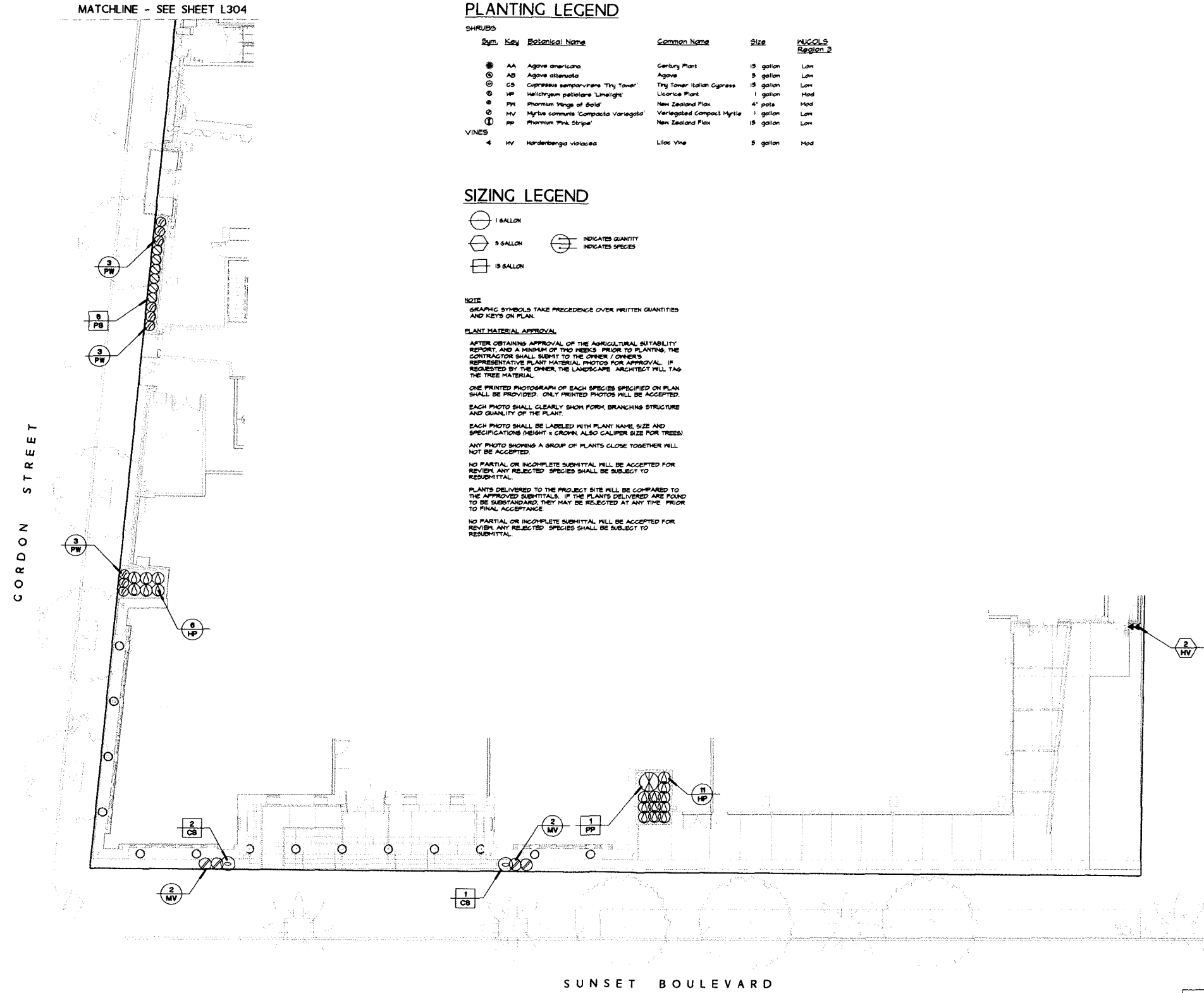
ONE PRINTED PHOTOGRAPH OF EACH SPECIES SPECIFIED ON PLAN SHALL BE PROVIDED. ONLY PRINTED PHOTOS WILL BE ACCEPTED. EACH PHOTO SHALL CLEARLY SHOW FORM, BRANCHING STRUCTURE AND QUANTITY OF THE PLANT.

EACH PHOTO SHALL BE LABELED WITH PLANT NAME, SIZE AND SPECIFICATIONS (HEIGHT x CROWN, ALSO CALIPER SIZE FOR TREES). ANY PHOTO SHOWING A GROUP OF PLANTS CLOSE TOGETHER WILL NOT BE ACCEPTED.

NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES SHALL BE SUBJECT TO RESUBMITTAL.

PLANTS DELIVERED TO THE PROJECT SITE WILL BE COMPARED TO THE APPROVED SUBMITTALS. IF THE PLANTS DELIVERED ARE FOUND TO BE SUBSTANDARD, THEY MAY BE REJECTED AT ANY TIME PRIOR TO FINAL ACCEPTANCE.

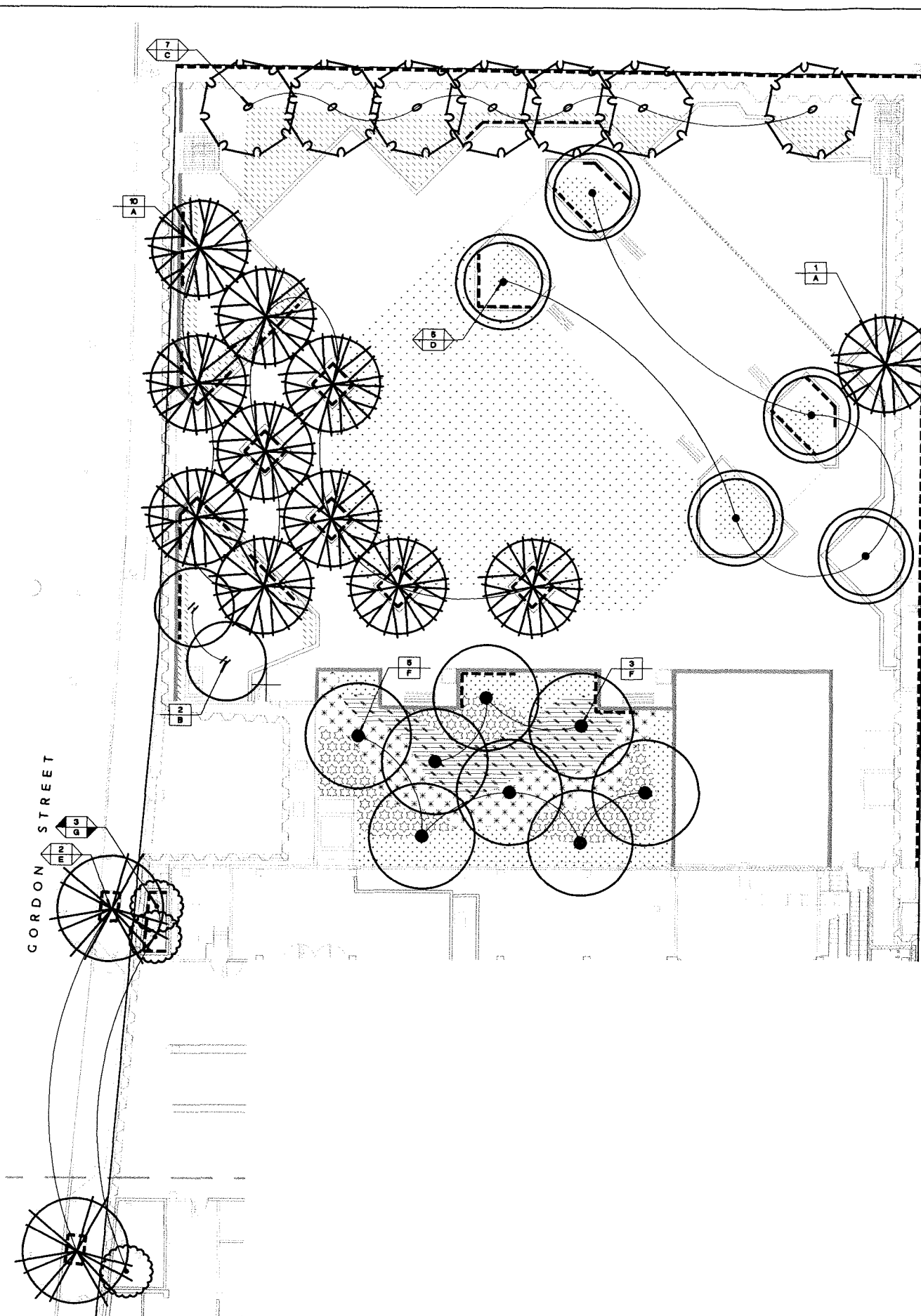
NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES SHALL BE SUBJECT TO RESUBMITTAL.



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AT LEAST TWO DAYS
BEFORE YOU DIG.
UNDERGROUND SERVICE ALERT (USA)

GROUND LEVEL - 2018 1008 FINAL
SHRUB PLANTING PLAN
1/8"=1'-0"
File name:
Project # 20045010
L302
Date: 26 OCT. 2018
26 OCTOBER 2018 ENTITLEMENT SET - FINAL NO. APR. 2018 1008 FINAL

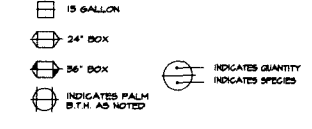


PLANTING LEGEND

TREES	Sym.	Key Botanical Name	Common Name	Size	MUGGS Region 2
	A	Arbutus Menziesii	N.C.N.	15 Gallon Standard	Low
	B	Cercis occidentalis	Western Redbud	15 Gallon Low Branch Multi.	Low
	C	Lophostemon confertus	Brisbane Box	24" BOX	Med
	D	Olea europaea 'Siam Hill'	Fruitless Olive	24" BOX Multiple Trunk	Low
	E	Ficus chinensis Verify location marked on curb in vicinity of Gordon Street by Urban Forestry Division per Permit 200614	Chinese Fig	24" Box	Med
	F	Platanus x acerifolia 'Bloodgood'	London Plane Tree	15 Gallon	Med
	G	Raphanolepis 'Majestic Beauty'	Indian Hawthorn	36" BOX Standard	Med

GROUNDCOVERS	Sym.	Key Botanical Name	Common Name	Size	MUGGS Region 2
	1	Carex prostrata	California Field Sedge	12" g.c.	Med
	2	Juncus patens	California Gray Jun	24" g.c.	Low
	3	Lamandra Line Tuff (Lamian)	Dwarf Mat Rush	12" g.c.	Low
	4	Rosmarinus officinalis 'Prostratus'	Trailing Rosemary	18" g.c.	Low
	5	Marshall III Sed	Turf-Type Tall Fescue	Turf	Med
	6	Gray Gravel per VE Option	3" layer over weed barrier fabric		

SIZING LEGEND



--- ROOT BARRIER TO BE INSTALLED PER DETAILS

NOTE
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 UNLESS OTHERWISE SHOWN PLANTERS WILL BE MULCHED PER GROUNDCOVER PLANTING DETAIL SHEET L-13

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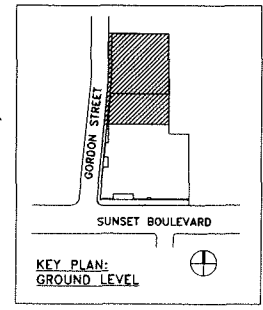
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MATCHLINE - SEE SHEET L301

CAD FILE: 20150401.dwg
 Date: 05/20/15 11:30am



LICENSED CALIFORNIA ARCHITECT
 KEVIN F. JOHNSON C-30343

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 gbdarchitects.com
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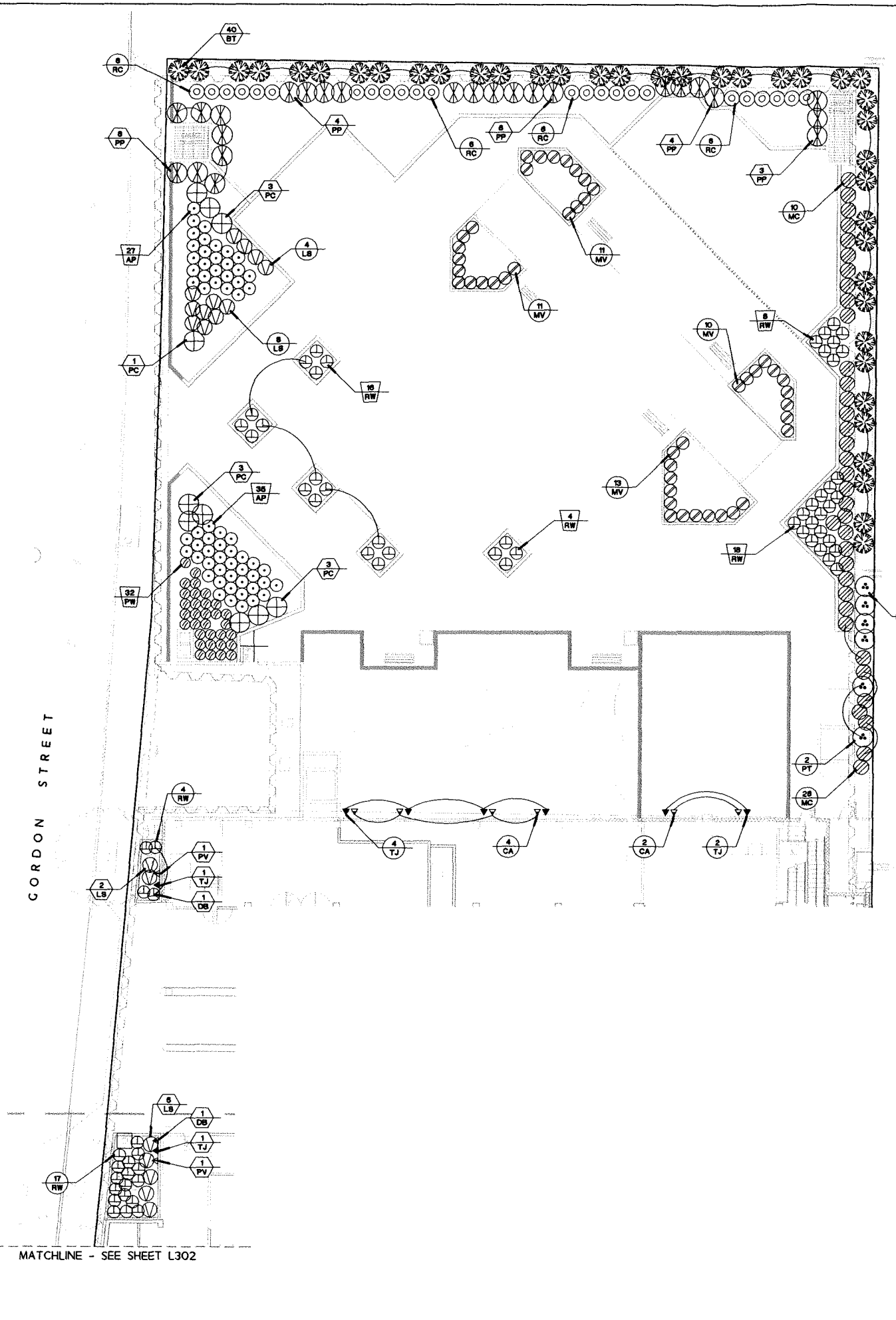
gb
 2170C Agate Street
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 San Diego, CA 92101
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 Conceptual
 Design &
 Planning
 Company



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 HOLLYWOOD
 LOS ANGELES, CA 90028

EXHIBIT "A"
 Page No. 31 of 34
 Case No. CFC-2015-1922

GROUND LEVEL 1 TREE PLANTING PLAN
 1/8"=1'-0"
 File name: 16394.1110
 Project #: 20065010
L303
 Date: 26 OCT. 2015
 *** GBD ARCHITECTS, INC. ***



PLANTING LEGEND

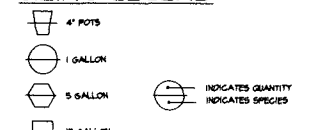
SHRUBS

Sym.	Key	Botanical Name	Common Name	Size	MUCOLS Region 3
⊙	AP	Artemisia Flos Castellae	Fence Gable Manzanita	4" pots	Low
⊙	BT	Banksia laevifolia	Plowman's Broom	5 gallon	Med
⊙	CO	Cornus Drang Bellii	Australian Bushy	1 gallon	Low
⊙	LS	Lavandula stoechas	Spanish Lavender	5 gallon	Low
⊙	MC	Myrtus communis 'Compacta'	Compact Myrtle	1 gallon	Low
⊙	MV	Myrtus communis 'Compacta Variegata'	Variegated Compact Myrtle	1 gallon	Low
⊙	PC	Phormium 'Chocolate'	New Zealand Flax	5 gallon	Med
⊙	PS	Phormium 'Pink Stripes'	New Zealand Flax	5 gallon	Med
⊙	PN	Phormium 'Yanga of Gold'	New Zealand Flax	4" pots	Med
⊙	PT	Pittosporum laurifolium 'Silver Sheen'	Silver Sheen Pittosporum	1 gallon	Med
⊙	RC	Rhamnus californica 'Eve Goss'	Dwarf Coffeeberry	1 gallon	Low

VINES

▽	CA	Celastrus paniculatus	Kangaroo Vine	5 gallon	Med
▽	DB	Dioscorea buxifolia	Blood-Red Trumpet Vine	5 gallon	Med
▽	PV	Pyrostegia venusta	Flame Vine	5 gallon	Med
▽	TJ	Trachelospermum jasminoides	Star Jasmine	5 gallon	Med

SIZING LEGEND



NOTE
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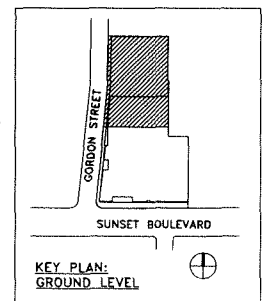
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EXHIBIT "A"
 Page No. 32 of 34
 Case No. CPC 2015-1972

0' 4' 8' 16' 24'
 SCALE: 1/8"=1'-0"

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UNDESIGNED CALIFORNIA ARCHITECT
 KEVIN P. JOHNSON (C20043)

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 LOS ANGELES, CA 90028

PROJECT DEVELOPER
 5929 SUNSET (HOLLYWOOD), LLC

Revisions:

1/8"=1'-0"
 File name: 1439-L110
 Project #: 200650-0

L304
 Date: 26 OCT. 2018
 26 OCTOBER 2018 ENTIREMENT SET - FINAL NO. 0417-2018 1026 FINAL
 www.PRGAR-ARCHITECTS.COM

CAD FILE: L304.dwg
 Date: 10/26/2018 11:56am

PLANTING LEGEND

TREES					
Sym.	Key	Botanical Name	Common Name	Size	REGIONS
	A	<i>Acacia salicifolia</i>	Pineapple Quince	15 gallon Multiple Trunk	Low
	B	<i>Cercis occidentalis</i>	Western Redbud	15 gallon Low Branch Hill	Low
	C	<i>Citrus 'Mimosa'</i>	Tangelo	15 gallon Low Branch Hill	Med
	D	<i>Olea europaea 'Swan Hill'</i>	Fruitless Olive	24" BOX Multiple Trunk	Low
PALMS					
	P1	<i>Syagus romanzoffiana</i>	Queen Palm	18" - 20" O.A.H.	Med
GROUNDCOVERS					
	G1	<i>Carex prostrata</i>	California Field Sedge	4" Pots 12" o.e.	Med
	G2	Lamandra Line Tuft (Lambton)	Dwarf Mat Rush	1 gallon 3 1/2" o.e.	Low
	G3	<i>Senecio mandraliscae</i>	Kiuhia	4" Pots 5" o.e.	Low
	G4	Black Mexican Pebble	3" layer over weed barrier fabric		
	G5	Beach Pebble Salt and Pepper	3" layer over weed barrier fabric		
	G6	Boulders: See Boulders on Structures Detail, Sheet L-15			
	G7	Granite Riprap	6" layer over weed barrier fabric		

SIZING LEGEND

- 15 GALLON
- 24" BOX
- 36" BOX
- INDICATES QUANTITY
- INDICATES SPECIES
- INDICATES PALM
O.A.H. AS NOTED
- ROOT BARRIER TO BE INSTALLED PER DETAILS
- STEEL EDGING
TOUGH EDGE POWDER COATED STEEL LANDSCAPE EDGING
HEIGHT: 4" THICKNESS: 1/8"
TOP: STRAIGHT COLOR: BLACK
SUPPLIER: COYOTE LANDSCAPE PRODUCTS,
800-328-1115
INSTALL TO MANUFACTURERS SPECIFICATIONS.

NOTE

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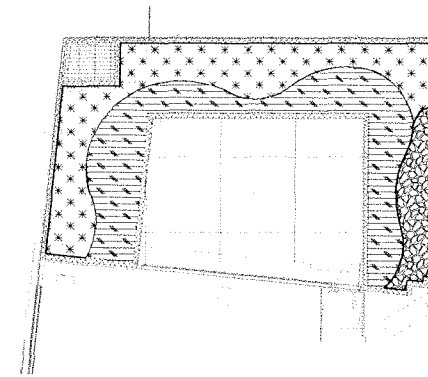
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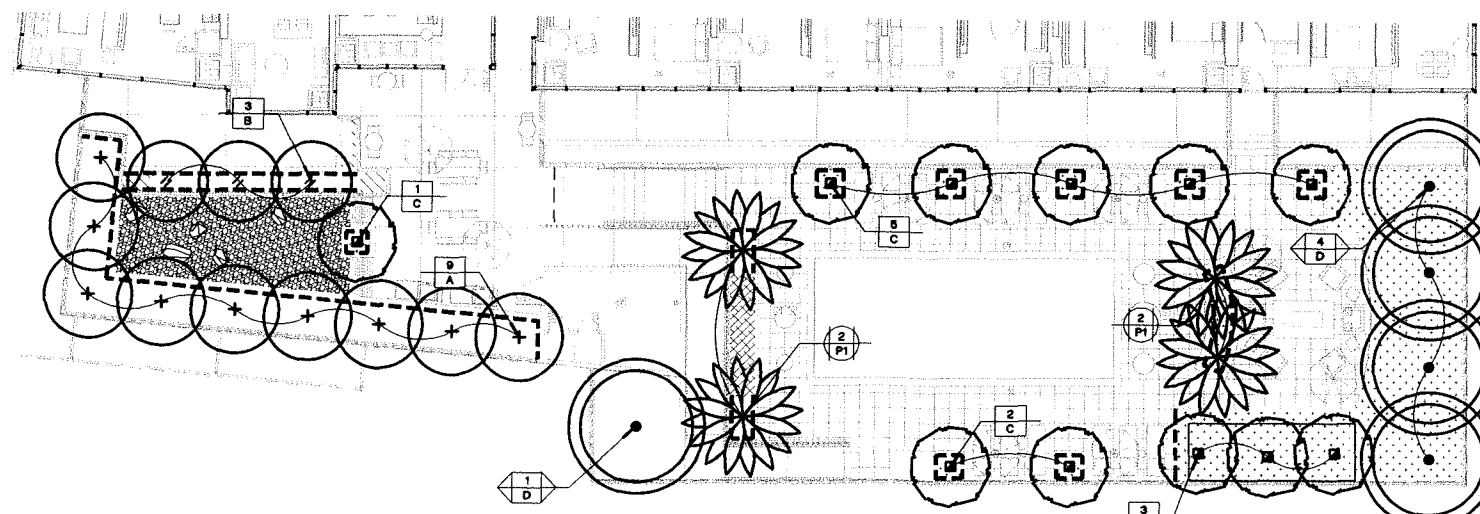
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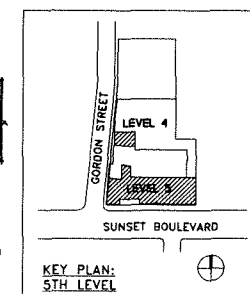
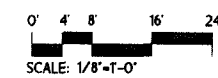


LEVEL 4. NORTH



LEVEL 5. SOUTH

EXHIBIT "A"
Page No. 33 of 34
Case No. CPC-2015-192



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LOS ANGELES, CA 90028

PROJECT DEVELOPER
5929 SUNSET (HOLLYWOOD), LLC

Revisions:

LEVEL 4 & 5
TREE PLANTING PLAN

1/8"=1'-0"
File name:
Project # 20045010

L305

Date: 26 OCT. 2018

*** FINAL ***

LICENSED CALIFORNIA ARCHITECT
KEVIN P. JOHNSON (C-30343)

GBD

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Portland, OR 97209
Tel: (503) 234-9558
gbdarchitects.com
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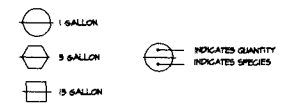
**Conceptual
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Company**



PLANTING LEGEND

SYN. KEY	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS REGION 3
AE	Aeonium v. arborescens 'Schwarzkopf'	Black Tree Aeonium	1 gallon	Low
AG	Agave viviparica	Octopus Agave	5 gallon	Low
AV	Aloe vera	Barbados Aloe	1 gallon	Low
AM	Asparagus densiflorus 'Myers'	Myers' Asparagus	1 gallon	Med
CE	Coprosma 'Ewing Star'	Coprosma	1 gallon	Med
DT	Dianella laevis 'Vanegas'	Variegated Flax Lily	1 gallon	Med
EA	Echeveria agavoides 'Atterglen'	Echeveria	1 gallon	Low
KT	Kalanchoe thyrsiflora	Paddle Plant	1 gallon	Low
MC	Myrica communis 'Compacta'	Compact Myrtle	1 gallon	Low
PP	Phormium 'Pink Stripe'	New Zealand Flax	5 gallon	Low
PB	Phormium 'Surfer'	New Zealand Flax	5 gallon	Low
RA	Rosa 'Carpel Amber'	Amber Grandcover Rose	1 gallon	Med

SIZING LEGEND



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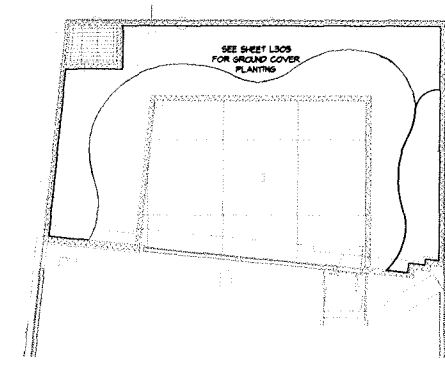
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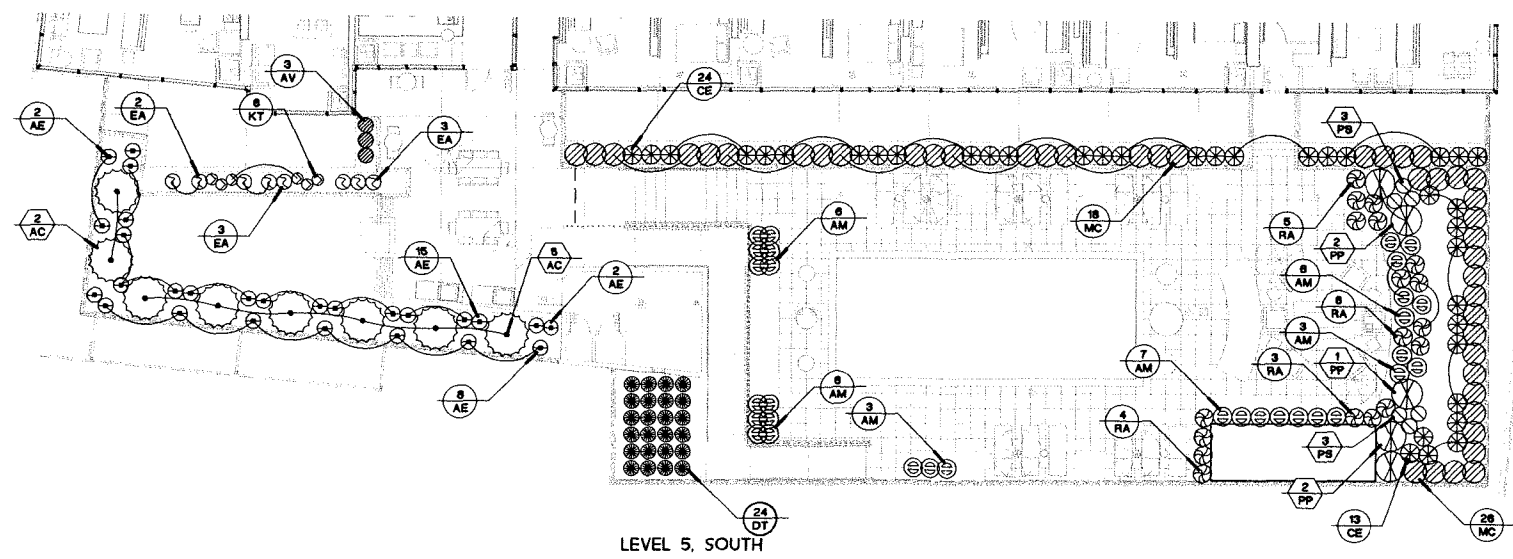
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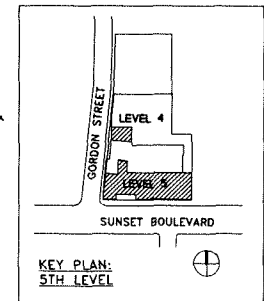
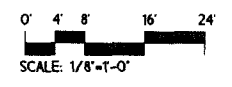


LEVEL 4, NORTH



LEVEL 5, SOUTH

EXHIBIT "A"
Page No. 34 of 34
Case No. CPL 2016-1922



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PROJECT DEVELOPER
5929 SUNSET (HOLLYWOOD), LLC

Revisions:

LEVEL 4 & 5
SHRUB PLANTING PLAN

1/8"=1'-0"

File name:
Project # 20065010

L306

Date: 26 OCT. 2018