

TRANSMITTAL TO CITY COUNCIL

Case No.(s)	Planning Staff Name(s) and Contact No.	C.D. No.
CPC-2008-1467-CDO	SERGIO IBARRA 213-978-1204	13
Items Appealable to Council:	Last Day to Appeal:	Appealed:
N/A	N/A	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Location of Project (Include project titles, if any.)		
Name(s), Applicant / Representative, Address, and Phone Number.		
CITY OF LOS ANGELES		
Name(s), Appellant / Representative, Address, and Phone Number.		
Final Project Description (Description is for consideration by Committee/Council, and for use on agendas and official public notices. If a General Plan Amendment and/or Zone Change case, include the prior land use designation and zone, as well as the proposed land use designation and zone change (i.e. "from Very Low Density Residential land use designation to Low Density land use designation and concurrent zone change from RA-1-K to (T)(Q)R1-1-K). In addition, for all cases appealed in the Council, please include in the description <u>only</u> those items which are appealable to Council.)		
<p>Pursuant to the provisions of Section 551, 555 and 558 of the City Charter, transmitted herewith is the August 13th, 2009 action of the City Planning Commission approving a proposed Community Design Overlay District (CDO) for properties in Echo Park generally bounded by Sunset Boulevard to the North, the Hollywood (101) Freeway to the South, Bonnie Brae Street to the West and Echo Park Avenue to the East.</p>		
Fiscal Impact Statement <small>*Determination states administrative costs are recovered through fees.</small>	Environmental No. ENV-2009-1338-ND	Commission Vote: 7-0
Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		

JAMES WILLIAMS, Commission Executive Assistant I	Date: <u>AUG 18 2009</u>
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August 18, 2009

City Plan Case No. CPC 2008-1467-CDO
Council District No. 13

Honorable City Council
City of Los Angeles
City Hall, Room 395
Los Angeles, CA 90012

ATTN: Barbara Greaves, Legislative Assistant

THE PROPOSED ECHO PARK CDO (COMMUNITY DESIGN OVERLAY DISTRICT OR CDO) FOR PROPERTIES IN ECHO PARK GENERALLY BOUNDED BY SUNSET BOULEVARD TO THE NORTH, THE HOLLYWOOD (101) FREEWAY TO THE SOUTH, BONNIE BRAE STREET TO THE WEST AND ECHO PARK AVENUE TO THE EAST.

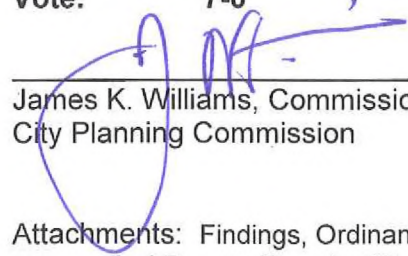
Pursuant to the provisions of Section 551, 555 and 558 of the City Charter, transmitted herewith is the August 13th, 2009 action of the City Planning Commission approving a proposed Community Design Overlay District (CDO) for properties in Echo Park generally bounded by Sunset Boulevard to the North, the Hollywood (101) Freeway to the South, Bonnie Brae Street to the West and Echo Park Avenue to the East.

The City Planning Commission, as evidenced by the attached Findings, has determined that the proposed CDO conforms to the City's General Plan by enhancing the physical and aesthetic environment and protecting neighborhood character.

This action was taken by the following vote:

Moved: Freer
Seconded: Hughes
Ayes: Cardoso, Kezios, Montanez, Romero, Roschen
Absent: Burton, Woo

Vote: 7-0


James K. Williams, Commission Executive Assistant I
City Planning Commission

Attachments: Findings, Ordinance establishing the CDO boundaries
cc: Jeri Burge, Deputy City Attorney, Land Use Division

ORDINANCE NO. _____

An ordinance amending Section 12.04 of the Los Angeles Municipal Code by amending the zoning map,

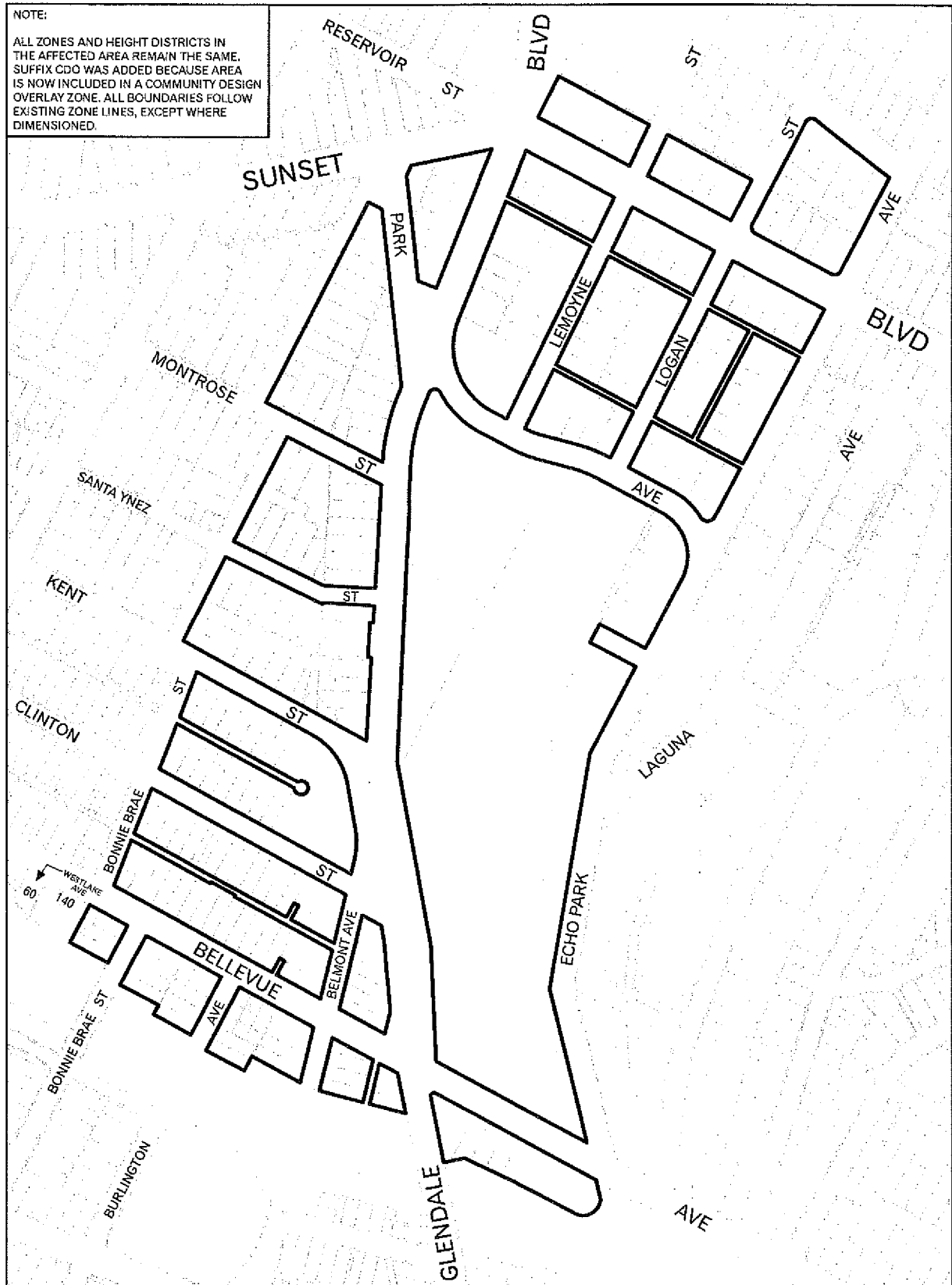
THE PEOPLE OF THE CITY OF LOS ANGELES DO ORDAIN AS FOLLOWS:

Section 1. Section 12.04 of the Los Angeles Municipal Code is hereby amended by changing the zones within the boundaries shown upon a portion of the zone map attached thereto and made apart of Article 2 Chapter 1 of the Los Angeles Municipal Code, so that such portion of the zoning map shall be as follows:

Echo Park CDO

NOTE:

ALL ZONES AND HEIGHT DISTRICTS IN THE AFFECTED AREA REMAIN THE SAME. SUFFIX CDO WAS ADDED BECAUSE AREA IS NOW INCLUDED IN A COMMUNITY DESIGN OVERLAY ZONE. ALL BOUNDARIES FOLLOW EXISTING ZONE LINES, EXCEPT WHERE DIMENSIONED.

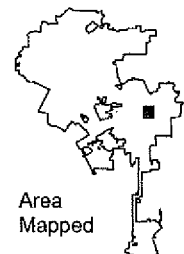


FROM [Q]C2-1VL	TO [Q]C2-1VL-CDO
FROM [Q]C2-1L	TO [Q]C2-1L-CDO
FROM C2-1VL	TO C2-1VL-CDO
FROM C2-1L	TO C2-1L-CDO
FROM RD1.5-1VL	TO RD1.5-1VL-CDO
FROM RD2-1VL	TO RD2-1VL-CDO
FROM R3-1VL	TO R3-1VL-CDO
FROM R4-1L	TO R4-1L-CDO
FROM OS-1XL	TO OS-1XL-CDO

NOT TO SCALE

CPC 2008-1467 CDO

AE/AA 080309



Sec. _____. The City Clerk shall certify to the passage of this ordinance and have it published in accordance with Council policy, either in a daily newspaper circulated in the City of Los Angeles or by posting for ten days in three public places in the City of Los Angeles: one copy on the bulletin board located at the Main Street entrance to the Los Angeles City Hall; one copy on the bulletin board located at the Main Street entrance to the Los Angeles City Hall East; and one copy on the bulletin board located at the Temple Street entrance to the Los Angeles County Hall of Records.

I hereby certify that this ordinance was passed by the Council of the City of Los Angeles, at its meeting of _____.

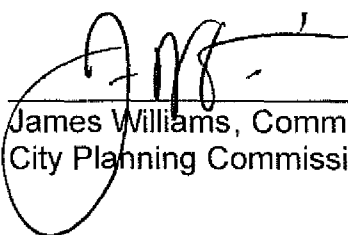
JUNE LAGMAY, City Clerk

By _____
Deputy

Approved _____

Mayor

Pursuant to Section 558 of the City Charter,
the City Planning Commission on August 13, 2009,
recommended this ordinance be adopted by the City Council.



James Williams, Commission Executive Assistant I
City Planning Commission

File No. _____

FINDINGS

CDO Boundaries: Charter, Municipal Code, and General Plan Findings

1. **Charter Section 253. For the immediate preservation of the public peace, health, and safety, the proposed ordinance contains an Urgency Clause making it effective upon publication.**

The 2004 Silver Lake – Echo Park – Elysian Valley Community Plan Update included a number of implementation programs to carry out its goals and policies. One of these programs called upon the Planning Department to carry out the necessary research to establish either an Historic Preservation Overlay District (HPOZ) or other implementation tool to protect the character and identity of the neighborhood, preserve the area's significant architecture, and to preserve and enhance Echo Park (the lake and park facilities) as a significant open space and amenity in the community, ensuring that surrounding development preserves view sheds and maintains a scale that is compatible with existing development. In order to protect architecturally significant structures and development patterns while the area was being studied Council adopted Ordinance No. 178,454, effective March 19, 2007, establishing the Echo Park Interim Control Ordinance (ICO), which temporarily regulates the issuance of building permits for exterior work on structures within the Echo Park CDO area.

During the full term of the ICO, planning staff has conducted the necessary research and outreach with relevant stakeholders and residents of the project area and has concluded that a CDO is the appropriate tool to 1) protect neighborhood character (including period architecture), 2) protect the original streetcar development pattern and 3) to protect and enhance pedestrian orientation, in order to make Echo Park and Lake a functional recreational and aesthetic amenity for the community.

However, the existing ICO is set to expire in the early Fall of 2009, and during the current term of the ICO development projects have been proposed for the area, which if filed for after the ICO expires but before the CDO is adopted, could result in by-right projects that may compromise the neighborhood character of the project area. In addition, alterations of identified architectural resources have been proposed during the current term of the ICO, which if applied for after the ICO expires and before a CDO is adopted, could result in the alteration of original architectural features to architectural resources in the area, thereby detracting from neighborhood character.

During the full term of the ICO, ten hardship exemptions were approved by City Council that might otherwise have been by right projects. These went through a review process to ensure that an original feature wouldn't be lost and to ensure that new development would enhance the existing neighborhood character. Due to the aforementioned development pressure and proposed alterations of architectural resources, it is necessary that the proposed ordinance become effective upon publication to ensure there is not a lapse in the effectiveness of this Ordinance.

2. **In accordance with Charter Sections 556 and 558, the proposed CDO boundaries are in substantial conformance with all applicable provisions of the Los Angeles Municipal Code (LAMC) and the purposes, intent and provisions of the City's General Plan.**

The proposed Echo Park Community Design Overlay District (CDO) and related boundaries are established in accordance with the provisions of Section 12.32 (S) of the Los Angeles Municipal Code (LAMC), and are consistent with the purpose of a CDO as set forth in Section 13.08(A) of the Municipal Code. The establishment of a CDO within the boundaries shown in Exhibit A will enhance the physical qualities—functional and aesthetic—of this community, relative to its unique environmental setting.

The proposed Echo Park Community Design Overlay District (CDO) boundaries are established in substantial conformance with the purposes, intent and provisions of the City's General Plan. The General Plan is divided into 12 Elements, including the Framework Element and a Land Use Element comprised of 35 Community Plans. The Community Plan that contains the CDO boundary area is Silverlake-Echo Park-Elysian Valley. In 2004, the Community Plan was updated and went through its own public outreach process, with over 30 public meetings. The 2004 Community Plan Update calls for the preparation of a historic resource survey or other necessary studies to establish a Historic Preservation Overlay Zone or other Supplemental Use District, as appropriate, to protect the neighborhood character and period architecture of the area generally bounded by Bonnie Brae Street to the West, Echo Park Avenue to the East, Sunset Boulevard to the North and the Hollywood (101) Freeway to the South.

In order to protect the potentially historic structures and development patterns while the area was being studied, Council adopted Ordinance No. 178,454 effective March 19, 2007, establishing the Echo Park ICO for a period of 365 days. The ICO regulated the issuance of building permits for exterior work on structures within the Echo Park ICO area. Two extensions to that ordinance were consequently adopted continuing the ICO for another one year. In addition another six month ICO ordinance was adopted regulating exterior building permits. During the full term of these ordinances, a Historic Resources Survey was prepared for the area. Staff analyzed the survey and recommended a Community Design Overlay as the appropriate permanent regulation to protect the area's unique neighborhood character, original red streetcar development pattern and pedestrian orientation. The CDO would accomplish multiple planning objectives: maintaining the area as a Community Center per the Framework Designation of the Silverlake-Echo Park-Elysian Valley Community Plan Update of 2004 (which is a designated area that serves as a regional downtown and accommodates growth in the community), and through Design Guidelines and Standards to maintain neighborhood character (including the protection of significant Period Architecture), the original red streetcar development pattern and pedestrian orientation.

The proposed project is a design overlay that provides design guidelines which protect architectural resources representative of period architecture and preserve unique neighborhood character in the area. Many buildings retain their original design features depicting the array of period revival styles common during the late nineteenth and early twentieth centuries, predominantly Craftsman, Spanish Colonial Revival, and Colonial Revival. Special rehabilitation guidelines are part of the proposed CDO that serve to protect those structures from incompatible alterations in order to maintain neighborhood character. In addition, the proposed project would ensure that infill development occurs

in a manner which is compatible with the neighborhood character. The project area is within the boundaries recommended above.

The General Plan Framework Element designates Sunset Boulevard and the immediate area around it within the CDO as a "Community Center" and directs growth to be accommodated in these areas. Such areas should accommodate new population and residential growth. Mixed use development is encouraged along these boulevards, to be compatible with the surrounding areas in design. The proposed CDO meets the intent of the Framework Designation as the CDO ensures that new development is designed in a manner that is compatible with existing neighborhood character and preserves the original development pattern of the area, as well as pedestrian orientation.

3. In accordance with Charter Section 558(b)(2), the proposed CDO boundaries will be in conformance with public necessity, convenience, general welfare and good zoning practice.

Los Angeles City Charter Section 558 and LAMC Section 12.32(C)(7) require that prior to adopting a land use ordinance, the City Council make findings that the ordinance conforms with public necessity, convenience, general welfare and good zoning practice. The Echo Park Community Design Overlay District (CDO) conforms to these objectives as follows:

Public Necessity. The purpose of the Echo Park Community Design Overlay District (CDO) is to ensure that new development is in line with the existing unique neighborhood character of the district, which is characterized by pedestrian oriented design features, the original streetcar development pattern, compatible architecture that respects the Period Architecture in the area and a scale and massing which is consistent with structures found in the area. In addition, the CDO will protect Period Architecture in order to maintain the neighborhood character in the area. The CDO includes a commercial area along Sunset Boulevard, provides Design Guidelines and Standards that also ensure that new development is in line with the existing unique neighborhood character of the district, and protects Period Architecture in the area.

Echo Park Lake and the surrounding residential and commercial neighborhood is one of the oldest communities in the City, just a few miles from the Pueblo of Los Angeles, the birthplace of the city. Echo Park was an early residential suburb of the City, developed in the late 1800's around the street car system, with a collection of Craftsmen, Colonial Revival, Spanish-style bungalows, and early Period Revival homes and apartments. These structures are characterized by a pedestrian orientation and prioritization in building design, including intricate architectural details that provide pedestrian visual interest, garages and parking areas located to the rear, intact alley ways that provide access to the rear, minimal curb cuts, common prevailing setbacks and a massing and scale that is built to a pedestrian scale. In addition, one of the unique attributes of this community is Echo Park Lake itself, and the surrounding Park, which provides respite from an urbanized setting, and recreational opportunities as well as natural beauty, an amenity which is not readily found in urbanized parts of Los Angeles. The original development pattern of the area makes the lake amenity readily accessible to the neighborhood, including easy access through public stairways. In addition, the Echo Park district is within a few miles of Downtown Los Angeles, making it a prime location in terms of transit and proximity to the urban core.

Although the Echo Park neighborhood retains many of its original attributes, many important features have been altered over time, compromising the neighborhood's character. The area around Echo Park Lake has many structures that have been altered, with original architectural features lost through remodeling or inappropriate alterations, as well as many that largely remain in tact. The original street car development pattern, which prioritized the pedestrian over the automobile, and which connected pedestrians to the lake and local commercial, is also largely in tact, with garages situated to the rear of structures, a common prevailing setback, minimal curb cuts, alleyways that provide access ways to the rear parking, walkways leading to the lake, public stairways leading to the lake and architectural features and details intended to provide pedestrian interest. These neighborhood characteristics are protected within the Design Guidelines and Standards of the CDO, and further protect the area from new development that may be incompatible with the unique neighborhood character of Echo Park, providing for a District that is cohesive and unique, and instills a sense of pride in the community.

In addition, the Echo Park CDO is tailored to the Framework Designation of the area around Sunset Boulevard as a Community Center, a classification for an area that can accommodate population growth. As such, within the CDO there are a set of development guidelines and standards that protect the neighborhood character, including massing and scale, while allowing for development that is consistent with the underlying zoning of the area, which in the area that is classified as a Community Center, includes the potential for Medium Residential development abutting Sunset. Due to the fact that the area is proximate to Downtown Los Angeles, near public transit, a park amenity and zoned for Medium-Residential development, the area is highly attractive for new development, which may be done in a way which is incompatible with the character and scale of the neighborhood. The Echo Park CDO therefore protects the neighborhood character and ensures that new development is compatible with existing character and scale of the area, while allowing for the area's Framework Designation as a Community Center.

Convenience. The proposed CDO will result in Design Guidelines and Development Standards that are broadly applicable, and require basic design features. The Design Guidelines and Development Standards are flexible in application, providing direction for design articulation without mandating one particular architectural style or form. The implementation of these guidelines ensures that each project contributes to a more functional, walkable, and attractive community while in line with the existing neighborhood character. In this way, improvements to individual properties can, over time, enhance the function of the District as an attractive, unique, pedestrian oriented and vibrant neighborhood. For rehabilitation projects, Guidelines and Standards are also flexible in their application, affecting only portions of homes visible from the public right-of-way, and allowing for minor, reversible changes. These minor projects may be issued an over-the-counter sign-off if in compliance with the CDO. Buildings not listed as architectural resources are exempt from the Rehabilitation Guidelines and Standards.

General Welfare. The Echo Park CDO is intended to protect the physical environment of the unique neighborhood character, and as a result, improve the quality of life for Los Angeles Citizens. The effort was a result of the Silverlake-Echo Park-Elysian Valley Community Plan Update, and adopted by Council to protect/preserve neighborhood character and identity, significant architecture, and Echo Park Lake and other park facilities ensuring that surrounding development preserves view sheds and maintains a scale that is compatible with existing development. Furthermore, the Community Plan Update designates a portion of the area as a Community Center, a designation that

allows for the accommodation of population growth. Therefore the proposed CDO balances and achieves both priorities for the purpose of the general welfare of the Echo Park Community and the City of Los Angeles.

Good Zoning Practice. The CDO is a zoning tool to implement the objectives of the Community Plan; it enhances the visual and aesthetic qualities of an area by imposing design guidelines and development standards, applicable to new developments and to alterations of existing buildings that are listed as architectural resources. The proposed Echo Park CDO will require review of development projects on properties within the District boundaries. The CDO promotes and requires compatible design and building massing, and design features that are compatible with the prevailing neighborhood character, and the original development pattern that is pedestrian oriented. The CDO provides for design guidelines and development standards that are tailored to the land use designations in the project area. As a result medium residential areas have different guidelines and standards than low medium residential areas, each tailored to their particular zoning, while still preserving the prevailing neighborhood character.



LOS ANGELES DEPARTMENT OF CITY PLANNING RECOMMENDATION REPORT



CITY PLANNING COMMISSION

DATE: August 13, 2009
TIME: after 8:30 a.m.*
PLACE: City Hall
200 N. Spring St, Room 1010
Los Angeles, CA 90012

CASE NO. CPC-2008-1467-CDO
COMMUNITY DESIGN OVERLAY PLAN
CEQA: ENV-2009-1334-ND
Incidental Cases: None
Related Cases: CPC-2008-4809-ICO
Council District: 13
Plan Area: Silverlake-Echo Park-Elysian Valley
Neighborhood Council: Greater Echo Park Elysian
Neighborhood Council
Plan Land Uses: Low Medium Residential II, Medium
Residential, Community Commercial, Open Space
Zones: [Q]C2-1VL, [Q]C2-1L, R4-1L, R3-1VL, RD2-1VL,
RD1.5-1VL, OS-1XL
Applicant: City of Los Angeles

Public Hearing Held
June 20, 2009

PROJECT LOCATION: A Community Design Overlay that applies design and rehabilitation guidelines and development standards within a portion of the Silver Lake-Echo Park-Elysian Valley Community Plan Area, generally bounded on the north by Sunset Boulevard, on the east by Echo Park Avenue, on the south by the 101 Freeway and on the west by Bonnie Brae Street.

PROPOSED PROJECT: A Community Design Overlay District that includes Design, Rehabilitation and Development Guidelines and Standards that will preserve neighborhood character, pedestrian orientation, and the original streetcar development pattern through site planning, building design, the preservation of architectural features and rehabilitation and landscaping.

REQUESTED ACTIONS: 1. Pursuant to Section 12.32(S) of the Municipal Code, the adoption of a **Community Design Overlay** District with corresponding design guidelines and development standards.

2. Pursuant to Section 21082.1 (c)(3) of the California Public Resources Code, the adoption of Negative Declaration, No. ENV-2009-1338-ND dated 05-28-2009.

RECOMMENDED ACTIONS:

APPROVE the staff report as the Commission Report and **ADOPT** attached findings;
ADOPT Negative Declaration No. ENV-2009-1334-ND dated May 28, 2009 (Exhibit C);
APPROVE the proposed Echo Park Community Design Overlay District (CDO) boundaries;
RECOMMEND that the City Council adopt the Ordinance establishing the boundaries as shown (Exhibit A);
APPROVE the proposed Echo Park Community Design Overlay District (CDO) Design Guidelines and Standards (Exhibit B).

S. Gail Goldberg, AICP
Director of Planning

[Signature]
Faisal Roble,
Senior City Planner

REVIEWED BY:

[Signature]
Arthi Varma,
City Planner

PREPARED BY:

[Signature]
Sergio Ibarra,
Planning Assistant
(213) 978-1204, sergio.ibarra@lacity.org

ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 532, City Hall, 200 North Spring Street, Los Angeles, CA 90012*. While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendaized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to this programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

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- CEQA Findings

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PROJECT ANALYSIS

Project Summary

The Echo Park Community Design Overlay (CDO) proposal is comprised of two plan components:

1. The Echo Park CDO Boundary Area (established by ordinance);
2. The Echo Park CDO Guidelines and Standards Document, with text and image details that articulate and implement the overlay plan.

A CDO in general is a user-friendly planning tool to implement design standards to enhance the visual and aesthetic qualities of neighborhoods. The objectives of proposed CDO is to implement the goals of the Silver Lake-Echo Park-Elysian Valley Community Plan by providing design guidelines and standards applicable to new developments and to exterior alterations of existing buildings on properties within the Echo Park area. The CDO would provide for direction and guidance to:

1. Preserve the neighborhood character;
2. Direct future developments to be compatible with the original pedestrian orientation of the area; and
3. Retain the original streetcar development pattern.

Physical Setting and Characteristics

The Echo Park CDO covers approximately 0.14 square miles (approximately 90 acres) of land generally bounded on the north by Sunset Boulevard, on the east by Echo Park Avenue, on the south by the 101 freeway and on the west by Bonnie Brae Street. The District includes a variety of parcel types, topographies, land use types and designations described in detail below.

Residential Neighborhood West of Glendale Boulevard:

The majority of the multi-family residential development within the district is small in scale and consists primarily of duplexes; triplexes, fourplexes, four-flats, and bungalow courts. The period architecture in the area consists of Craftsman, Colonial Revival style bungalows, Victorian and Mediterranean or Spanish Colonial Revival style homes. The residential zoning provisions allow for low-medium development (generally RD2, with some RD1.5) and some medium residential development (R3). Most structures have retained their original underlying pedestrian scale with most having secondary building additions, usually located to the side or rear of the main structures. Furthermore, while many structures have retained their original pedestrian orientation and streetcar development pattern, with compatible setbacks, front porches, landscaped and permeable front yards and architectural features and/or rear alleyways that serve automobile access, over the years many of these original architectural features of structures in the area have been lost. Changes include the altering of door and window openings, changes in building material, removal of architectural features, paving over front yards, removal of front porches, brick and mortar front fences and/or the addition of non-original materials such as stucco over clapboard or shingled siding.

Residential Neighborhood North of Park Avenue and East of Glendale Boulevard:

The residential area north of Park Avenue and east of Glendale Boulevard contains multi-family areas all of which are designated for Medium Residential use and are zoned R4 and R3. This area was originally developed with single family structures, duplexes, fourplexes, bungalow courts and some larger two story apartment buildings, particularly along Lemoyne Street and Logan Street. Today, most of the original structures remain in tact, with a few infill residential

apartment buildings built after the primary period of development that are no more than two stories in height, but architecturally incompatible with the neighborhood character. Many of the original multifamily developments within these areas consist of additional dwelling units in the rear yard or primary structures having been subdivided into multiple dwelling units. The prevailing character of the area is that of a low density multi-family neighborhood developed with mostly pre-war structures. While there is a preponderance of older Colonial Revival, Craftsman, Spanish and Mediterranean Revival period architecture, a few of the multi-family developments built after the primary period of development have not been in line with the overall, unified neighborhood character. Such buildings have very little articulation and/or incompatible architecture, do not retain the prevailing setback, use materials that are generally incompatible with the neighborhood and have minimal landscaping, generally not being pedestrian oriented. Many of the original buildings have been covered with stucco in lieu of their original clapboard or shingle siding, window and door openings have been altered or removed, decorative building materials have been removed rather than maintained, and yards have been covered with concrete to accommodate an increased need for parking and to minimize the need for maintenance.

Hillside Areas fronting the Lake

The District contains a number of parcels designated as 'Hillside View Shed Protection Areas Fronting the Lake' per the CDO (see Appendix B of the Echo Park CDO). Single and multi-family structures cover the hillsides along Glendale Boulevard and surround Echo Park Lake. Original structures built in the early 20th century contained single-car garages along the public right-of-way due to topographic issues, and the buildings were terraced to preserve the pedestrian scale of the neighborhood and preserve the contours and view sheds of the hill. Some of the newer development is of the same neighborhood scale, while some are architecturally incompatible with little articulation (minimalist stucco structures) and double-car garage doors. These structures tend to be incompatible with period architecture found in the Echo Park district, with hillside areas along Glendale having been developed mostly with pre-war era cottages and bungalows.

Commercial Boulevards:

The Echo Park neighborhood was historically developed around Sunset Boulevard, a prominent commercial boulevard. Many streets in the area, including Sunset and Glendale Boulevard, incorporated Pacific Electric railways and were developed with traditional neighborhood serving commercial buildings. Neighborhood villages evolved along Sunset Boulevard. Whereas Glendale served as a commuter transit way to Sunset, Sunset Boulevard, on the other hand, was primarily developed with multi-story commercial structures that were built along the front property line at the public street with traditional store-fronts, pedestrian entrances and a high level of architectural detail, craftsmanship and transparency, making it a pedestrian friendly street.

Background

Work on the Echo Park study area began following the adoption of the Silverlake-Echo Park-Elysian Valley Community Plan Update in 2004. The Community Plan called for the preparation of a historic resource survey or other necessary studies to establish a Historic Preservation Overlay Zone or other Supplemental Use District, as appropriate, to protect the neighborhood character and period architecture of the area generally bounded by Sunset Boulevard to the North, the Hollywood Freeway (101) to the South, Bonnie Brae Street to the West and Echo Park Avenue to the East. In order to protect the potentially historic structures and development patterns while the area was being studied, Council adopted an Interim Control Ordinance (ICO),

which is set to expire in the Fall of 2009. The ICO regulates the issuance of building permits for exterior work, including demolition, on structures within the Echo Park ICO area.

A Historic Resources Survey was prepared for the area by Jones & Stokes. Staff analyzed the survey and recommended a Community Design Overlay as the appropriate permanent regulation to preserve and protect the area's unique neighborhood character and identity, as characterized by the original streetcar development pattern and pedestrian orientation. While many of the structures in this area have undergone alterations over the years, the original pattern of development of a street car suburb, pedestrian orientation, architectural resources representative of the period architecture, a system of alleyways that connect rear parking areas and garages, and minimal curb cuts are all intact. Although the survey found the area eligible for a Historic Preservation Overlay Zone, the Planning Department recommends a CDO as the most effective tool to balance multiple planning objectives, the primary of which is to encourage sustainable development within the context of the original design and historical elements of the area.

The Historic Resources Survey identified 'Contributing' structures to a potential historic district based on the primary period of development for the area and the historic integrity of the structures. The survey identified 61% of the parcels as 'Contributors' to a potential historic district. However, only 28% of the parcels in the project area were pure contributors (were not altered). The remaining 'Contributors' to the potential historic district were altered contributors. Of those altered contributors, approximately 30% were designated as Altered 2, containing a high level of alterations. The difference in the level of alterations between Altered 2 and 'Non-Contributing' structures (those structures that did not retain historic integrity) tended to be small at times.

In the spring of 2008, two focus groups with occupants and owners were held. In addition, several meetings were held with community stakeholder groups, including the Echo Park Chamber of Commerce, the Echo Park Historic Society, the Greater Echo Park Elysian Neighborhood Council and the Echo Park Improvement Association. A range of issues and concerns were identified at these meetings. While the general sentiment at the two focus groups was not supportive of an HPOZ, other stakeholders raised strong concerns about protection of architecturally historic resources and the protection of neighborhood character around the Echo Park Lake.

In addition, the Framework Element of the General Plan designates the area north of the Lake and around Alvarado Street (outside the CDO) as a Community Center. The Framework directs population growth within the Community Plan to occur in designated Centers and commercial corridors. Therefore, staff recommends that the permanent land use regulation for this area should be one that balances the community's Framework Designation with protection for the area's unique neighborhood character and pedestrian orientation.

Staff is recommending a Community Design Overlay as the appropriate tool that balances multiple planning goals: supporting the Framework Designation of Echo Park as a Community Center, preserving neighborhood character (which includes period architecture), reinforcing the pedestrian orientation and the original streetcar development pattern. The CDO is a flexible tool that can preserve the unique identity and neighborhood character of Echo Park.

Goals and Objectives

The purpose of the Echo Park CDO is to bolster the District's strength as a livable residential neighborhood and to reinforce its designation in the General Plan as a Community Center while preserving architectural and cultural resources, the original, pedestrian-oriented streetcar suburb development pattern, public hillside view sheds from the lake and its unique neighborhood character. The intent of the CDO District is to provide clear guidelines and standards for new construction in the design of new buildings and the rehabilitation and repair of existing homes and buildings that contribute to the neighborhood character.

The specific goals of the Echo Park CDO District are as follows:

1. To promote design for residential projects which invite pedestrian interest and activity and to bolster Echo Park Lake as a functional amenity of the community;
2. To provide direction for site planning that facilitates ease of pedestrian movement, maintains elements of pedestrian stairways which connect residential areas to the lake and minimizes automobile and pedestrian conflicts;
3. To reemphasize the underlying pedestrian scale that existed within the existing Echo Park neighborhood as an initial streetcar suburb;
4. To provide direction for residential and commercial rehabilitation and guide new infill development that is consistent with the neighborhood character;
5. To preserve architecturally significant buildings in the neighborhood and to ensure that new development is compatible with the surrounding neighborhood context.

The design guidelines and standards are meant to retain the neighborhood character by providing direction for design articulation that is compatible with the area while allowing for projects that contribute to the district in a distinctive way. The application of these guidelines and standards ensures that each project contributes to a pedestrian orientated neighborhood, respects the original streetcar development pattern, and adds to the neighborhood character. The design guidelines and standards also offer a degree of flexibility, so that they do not impose standards that may be challenging to some property owners. By allowing for the retention of neighborhood character through guided rehabilitation of architectural resources and guiding infill development to be compatible with the neighborhood's character, the CDO retains Echo Park's functional attributes of pedestrian orientation and its original streetcar development pattern, and enhances the accessibility and utility of Echo Park Lake as a recreational and aesthetic amenity.

The Echo Park Community Design Overlay area contains a variety of structures representative of period architecture from the early 20th century that significantly contribute to neighborhood character. Any demolition and loss of a period architectural resource can detract from existing neighborhood character. In addition over half of the CDO area contains National Register of Historic Places (NRHP) status codes, identifying structures as potentially historically significant.

The Echo Park Community Design Overlay thus includes regulation of demolition of structures within the CDO area. The CDO creates a process by which demolitions can be reviewed to ensure that any removal of architectural resources and/or potentially historic structures can be

appropriately evaluated. Therefore, the CDO guidelines reinforce the area's unique architectural character and protect the area's existing and potential cultural and environmental interests.

Public Process

During the study of an HPOZ for the Echo Park Neighborhood, two focus groups were conducted in March and April of 2008. The focus groups consisted of residents, occupants and property owners within the boundaries of the Echo Park study area. Input was taken in on community concerns for the area. Stakeholder meetings with the Echo Park Historical Society, Echo Park Chamber of Commerce, the Echo Park Improvement Association and the Greater Echo Park-Elysian Neighborhood Council took place in April of 2008.

Issues that were raised included: (1) the area had its own unique sense of neighborhood character, but was not an intact historic district; (2) that an HPOZ would be too financially burdensome, onerous and lacked flexibility in its implementation; and (3) concern for the potential displacement of low-income households. Favorable comments included: (1) support for establishing an HPOZ, noting that it would increase property values over time; (2) foster a pedestrian oriented environment (particularly along Sunset Boulevard); and (3) preserve the period architecture found in the area and provide for a local board in decision-making.

Upon analysis of the survey, public comment, and planning priorities, staff developed recommendations of a CDO for the area. A series of public meetings were then held to share the staff recommendation and development guidelines and standards for the CDO. Meetings were held with the Echo Park Chamber of Commerce, the Greater Echo Park Elysian Neighborhood Council, and the Echo Park Historical Society. Two public workshops were held in January and April of 2009, and an Open House and Public Hearing were held in June of 2009, wherein notices were mailed to owners and occupants of the study area, as well as interested parties. At these public meetings comments were taken to help develop the goals and objectives of the Echo Park CDO as well as the specific guidelines and development standards.

Changes since the Public Hearing

At the public hearing and during the following one week comment period, staff received an overwhelming number of comments urging the Department to require building breaks after 100 feet in the Medium Residential area as well. Three speakers at the Public Hearing and twelve letters were received reiterating this issue. In order to respond to this tremendous concern, staff further analyzed the potential to apply building breaks in Medium Residential areas. Staff found that in other areas of the city with similar zoning and neighborhood concerns, building breaks have been limited to 190 feet. In those areas, a balance has been achieved by allowing development to occur in a manner that is consistent with existing scale and massing. Staff is recommending a similar application of massing restrictions in Echo Park.

The existing neighborhood fabric in the CDO area consists of residential housing that range from 50 to 100 feet of horizontal building façade. Planning Staff has amended the CDO to limit building massing for Medium Residential properties to approximately 190 feet of horizontal building plane facing a public right-of-way. This change, along with building articulation guidelines, would encourage new developments to be designed in a way that is in keeping with the neighborhood character, while still allowing for the area to function as a Community Center.

Major Issues

APROPRIATE LAND USE REGULATORY TOOL

Discussion

Some felt that the area's architecture wasn't in-tact enough to warrant an HPOZ though acknowledging that some architectural resources that were in good condition were worth preserving. Others advocated for the creation of an HPOZ over the area. Many stakeholders within the community acknowledged that there is a significant amount of historic pre-war residential and commercial structures within the community and that these historic structures and architectural styles create a unique sense of neighborhood character within Echo Park.

Staff Analysis

Upon staff review of the Historic Resources survey, and based both on the concerns raised during the public outreach process and the planning priorities for the area, the Planning Department recommended that a CDO would be the appropriate implementation tool for the area. The Historic Resources Survey identified approximately 61% of the structures in the area as contributing to a potential historic district. About 60% is the typical threshold the Planning Department uses in evaluating HPOZ eligibility. The survey found that 28% of all parcels were pure Contributors, meaning they were not altered, whereas the remaining 'Contributors' to the potential historic district were Altered Contributors. Of those Altered Contributors, 31% were designated as Altered 2, meaning they had a high level of alterations. The difference in the level of alterations between Altered 2 and Non-Contributing structures tended to be minimal at times. The period of significance as defined by the survey was 1889 to 1953, almost the entirety of the development in this area, since only 26 buildings were built after 1953.

In addition, owners and occupants within the survey boundaries were generally not supportive of an HPOZ. This would make the administration of an HPOZ difficult to manage, given that three of the five HPOZ board members would have to come from within the survey boundaries.

The survey found a borderline level of contribution for the area and upon closer analysis of the survey, many of the contributors had significant alterations. While many structures in the study area were altered, the unique development of the area as a streetcar suburb remains intact. The area continues to possess pedestrian orientation with parking in the rear, few curb cuts and unique architecture developed around a neighborhood commercial center.

After analyzing the Historic Resource Survey, public comments and planning priorities for the area, staff recommends a CDO as the appropriate implementation tool that balances the adopted planning priorities as well as the Department's work program. The proposed CDO would preserve period architecture, development patterns and neighborhood character in a more flexible manner than an HPOZ. Additionally, it would promote objective of the objectives of the Framework which designated the area as a Community Center that needs to be conserved as a pedestrian oriented neighborhood district with the lake functioning as the focal point.

AN OVERLAY DISTRICT WOULD BE BURDENSOME

Discussion

There was concern that any overlay designation for the area, including would be financially burdensome to some residents, and bureaucratically tedious and time consuming.

Staff Analysis

Per City regulations, a HPOZ may regulate all facades of a home designated as a Contributor, and through the Secretary of Interior Standards of Rehabilitation, advocate that all historic features of a house be preserved and/or restored. Once an area is designated as an HPOZ district, all projects within the boundaries of the area would be subject to board approval, within a timeline of ranging from 21 days for a minor project to up to 75 days for a major project. In comparison, the staff recommended Echo Park CDO would have a built-in approval process where minor projects that conform to the CDO receive a sign off. All other major projects require a decision in 20 working days provided in LAMC Section 13.08.

The proposed CDO is a much more flexible tool tailored to a community's needs and unique characteristics. It regulates the facades of buildings designated as 'Architectural Resources,' which were formerly identified as 'Contributors' to a potential historic district and if they are visible from the public right-of-way (from the sidewalk at a pedestrian scale). This flexibility allows for homeowners to change architectural features not visible from the public right-of-way as they see fit, while preserving the neighborhood character (Period Architecture) in the area. In addition, if a homeowner is partaking in regular maintenance and repair of their property, which involves repairs of original features or in-kind replacement, and not the removal of, an original feature, then the project is eligible for an over-the-counter sign off upon completion of a Residential Rehabilitation Checklist. If a homeowner is adding an addition to their home which is not projecting vertically or horizontal from the main structures front façade, that project is also an over-the-counter sign off.

Another important feature in the CDO is allowing homeowners who already have non-original features to utilize materials of their choosing, and not be required to restore an unoriginal feature to its original condition, as may be the case in an HPOZ. Given that many of the designated contributors in the Echo Park project area were altered structures, it is a prudent public policy to recommend a CDO that is a more flexible tool for this area.

In addition, those properties that were not designated as Architecturally Significant Structures accounted for approximately 39% of all structures. Under the CDO, these structures are exempt from the review process when it comes to regular maintenance and repairs to their properties. Owners of these properties are also able to remove original features, and add unoriginal features, as they see fit, as long as their project is consistent with neighborhood character and design standards. When infill construction is being proposed, projects are reviewed in order to ensure that new development is in keeping with neighborhood character, while still allowing for new construction that is unique.

MASSING AND SCALE

Discussion

Stakeholders within the community also expressed concern over the prevailing size and height of existing homes, both single and multi-family, that could be diminished by new development. Several commented that there should be no more than two to three lot ties in the district, in order to protect the scale and character of what already exists in the district. Others suggested building breaks (a separate building massing) after 75, 100 or 150 feet of horizontal building plane, to prevent large, monolithic structures which are incompatible with the neighborhood character. Furthermore and related, many within the community expressed concern over additions and new construction that were out of scale with the prevailing massing, configuration and appearance of their streets.

Staff Analysis

The Framework Designation for a portion of the CDO area is Community Center. Consistent with this designation is the classification of some areas in the district as Medium-Residential. A CDO would be tailored to the area's Framework Designation in its regulations for new residential and mixed used projects, thereby allowing for new projects in the area in a manner that is compatible with existing neighborhood character. Such regulations for Low Medium residential areas would include terracing, articulation, height setbacks, and a limitation on the length of a building (approximately 100 feet), tailored to match the existing building forms in the project area. In addition, for parcels in the project area that are designated as Medium Residential, a building break is required after 190 feet of horizontal building plane facing the public right-of-way, in order to be consistent with the existing massing in the area and protect neighborhood character.

DESIGN STANDARDS TOO STRINGENT

Discussion

Some within the development community expressed a concern that Design Guidelines and Development Standards could be inconsistent with existing underlying zoning and that it would therefore be difficult to execute a project because the regulations would prohibit development potential based on underlying zoning.

Staff Analysis

The design guidelines are adapted to meet the underlying zoning, with different criteria in massing for differently zoned areas, in order to allow for full development potential while retaining the neighborhood character of the area. For instance in low medium residential properties a building break is required after a 100 feet of horizontal building plane facing the public right-of-way, while for medium residential properties a building break is required after 190 feet. The Design Guidelines and Standards for medium residential land use design are not new. Other parts of the city with similar zoning and neighborhood contexts have instituted similar development regulations. For instance, an area of Orange Grove Ave (near Fairfax Avenue and Pickford Street) as well as Melrose Avenue (near La Cienega Avenue) have Qualifying [Q] Conditions that require height setbacks after 33 or 35 feet in height, building indentations and a separate building break after a 190 feet. The CDO guidelines are intended to shape the design, massing and layout of a project. However it is important to note that a CDO is a guideline only and the LAMC always takes precedence. A future study of the underlying zoning may be appropriate if a zone change is to be pursued to stay in keeping with what is existing in the area.

PROTECTION FOR SUNSET BOULEVARD

Discussion

There were concerns that the commercial area within the Echo Park project area needed to be protected from incompatible infill and/or alterations to the period architecture. Many emphasized the fact that the Echo Park neighborhood was historically developed around Sunset Boulevard, a prominent commercial corridor, and as such, should also be protected.

Staff Analysis

Staff recommends that ultimately the portion of Sunset Boulevard within the study area become part of the Sunset Boulevard/Echo Park Avenue CDO, as identified in the Silverlake-Echo Park-Elysian Valley Community Plan. Until that time of adoption of the Sunset Boulevard/Echo Park

Avenue CDO, however, staff recommends that the portion of Sunset Boulevard within the study area be a part of this CDO.

Due to impending development occurring throughout the Community Plan area, and the historic and cultural significance of the Downtown corridor, staff recommends interim, targeted guidelines for the commercial area in order to protect its unique neighborhood character and pedestrian orientation. The CDO would help achieve the following: (1) implement Design Guidelines and Development Standards that would provide basic guidance to new development that is compatible with the scale, architectural style and design features of the existing commercial street district; (2) address the rehabilitation of architectural resources; (3) prevent auto-oriented development that typically has the building set back from the pedestrian thoroughfare and (4) facilitate attractive, pedestrian oriented, well designed commercial projects.

The Silverlake-Echo Park-Elysian Valley Community Plan calls for a Proposed Sunset Boulevard/Echo Park Avenue Community Design Overlay District and Streetscape Plan. The proposed guidelines for Sunset are within these boundaries. As such, the Commercial Properties Infill Guidelines and Standards are interim measures to protect and enhance neighborhood character until said measures are initiated, studied and/or implemented.

DISPLACEMENT OF LOW-INCOME RESIDENTS

Discussion

There were concerns that a Community Design Overlay would potentially displace low-income households by being financially burdensome or raising property values.

Staff Analysis

The concern regarding gentrification and the effect of a CDO on low income households was evaluated by the Planning Department. A Community Design Overlay is a flexible tool which can be tailored to a community's unique qualities. The Echo Park CDO only regulates facades that are visible from the public right-of-way, and requires that buildings designated as 'Architectural Resources' retain their original character-defining features. Furthermore, only approximately 60% of the structures in the project area are subject to review as Architectural Resources, while the remaining 40% not subject to review for regular maintenance, repair and minor modifications to the exterior of a home. In addition, the CDO does not require architectural features that are currently existing and not original to the building, to be restored to their original condition. In many cases it can be economical to repair architectural features rather than to replace them. Access to information on how to repair and maintain features of Architectural Resources are available by the Planning Department.

The proposed Echo Park CDO is not the first such design overlay on an area with a large number of low-income households. In the immediate area alone, there is the Cypress Park & Glassell Park CDO, which includes Residential Rehabilitation Guidelines and Standards for the preservation of original architectural features.

EAST LOS ANGELES AREA PLANNING COMMISSION COMMENTS

1. On July 22, 2009, the East Los Angeles Area Planning Commission reviewed the proposed Echo Park CDO and made the following comments:
 - a. Strong support for the Echo Park CDO.

- b. Wanted to know if the Planning Department is addressing the concern over keeping the existing scale intact and clarification on the use and/or need for Qualification [Q] Conditions.
- c. Concern over illegal work in the area and the lack of enforcement in an Overlay District.

Staff Analysis

The East Los Angeles Area Planning Commission supported the Echo Park CDO but was concerned about whether the existing scale of the area will be protected with the current proposed regulations. Planning Staff noted the concern during the public outreach process and has modified the regulations for Medium Residential properties. For Medium Residential properties, a separate massing is required after a 190 feet of horizontal building plane facing a public right-of-way, in order to maintain the current scale of the neighborhood. This allows for the area to function as a Community Center, to allow for new developments under the existing zoning, as well as maintaining the existing neighborhood character, which includes scale and massing.

The use of Qualification [Q] Conditions may be pursued at a later time. A separate evaluation of [Q] Conditions will be pursued when a comprehensive study is initiated.

Illegal work occurs in many Overlay Districts, and is handled by the departments of Building and Safety and the Housing Department. Staff relayed the mechanism of reporting suspected illegal work to the said departments by using their respective websites for reporting, available to all of the public. Although this is one preventive mechanism to stop illegal work, the matter is a city-wide issue that needs to be addressed comprehensively.

CONCLUSION

The Echo Park CDO was developed after a comprehensive public outreach process with various local stakeholders and property owners and occupants. The resulting proposed Echo Park CDO balances the various planning priorities for the area to the extent possible: the Framework Designation of the area as a Community Center, the protection and preservation of Neighborhood Character, the original streetcar development pattern and pedestrian orientation. Therefore the CDO, as presented, is a flexible tool that accomplishes multiple planning objectives while being expedient in its administration.

FINDINGS

CDO Boundaries: Charter, Municipal Code, and General Plan Findings

- 1. Charter Section 253. For the immediate preservation of the public peace, health, and safety, the proposed ordinance contains an Urgency Clause making it effective upon publication.**

The 2004 Silver Lake – Echo Park – Elysian Valley Community Plan Update included a number of implementation programs to carry out its goals and policies. One of these programs called upon the Planning Department to carry out the necessary research to establish either an Historic Preservation Overlay District (HPOZ) or other implementation tool to protect the character and identity of the neighborhood, preserve the area's significant architecture, and to preserve and enhance Echo Park (the lake and park facilities) as a significant open space and amenity in the community, ensuring that surrounding development preserves view sheds and maintains a scale that is compatible with existing development. In order to protect architecturally significant structures and development patterns while the area was being studied Council adopted Ordinance No. 178,454, effective March 19, 2007, establishing the Echo Park Interim Control Ordinance (ICO), which temporarily regulates the issuance of building permits for exterior work on structures within the Echo Park CDO area.

During the full term of the ICO, planning staff has conducted the necessary research and outreach with relevant stakeholders and residents of the project area and has concluded that a CDO is the appropriate tool to 1) protect neighborhood character (including period architecture), 2) protect the original streetcar development pattern and 3) to protect and enhance pedestrian orientation, in order to make Echo Park and Lake a functional recreational and aesthetic amenity for the community.

However, the existing ICO is set to expire in the early Fall of 2009, and during the current term of the ICO development projects have been proposed for the area, which if filed for after the ICO expires but before the CDO is adopted, could result in by-right projects that may compromise the neighborhood character of the project area. In addition, alterations of identified architectural resources have been proposed during the current term of the ICO, which if applied for after the ICO expires and before a CDO is adopted, could result in the alteration of original architectural features to architectural resources in the area, thereby detracting from neighborhood character.

During the full term of the ICO, ten hardship exemptions were approved by City Council that might otherwise have been by right projects. These went through a review process to ensure that an original feature wouldn't be lost and to ensure that new development would enhance the existing neighborhood character. Due to the aforementioned development pressure and proposed alterations of architectural resources, it is necessary that the proposed ordinance become effective upon publication to ensure there is not a lapse in the effectiveness of this Ordinance.

- 2. In accordance with Charter Sections 556 and 558, the proposed CDO boundaries are in substantial conformance with all applicable provisions of the Los Angeles**

Municipal Code (LAMC) and the purposes, intent and provisions of the City's General Plan.

The proposed Echo Park Community Design Overlay District (CDO) and related boundaries are established in accordance with the provisions of Section 12.32 (S) of the Los Angeles Municipal Code (LAMC), and are consistent with the purpose of a CDO as set forth in Section 13.08(A) of the Municipal Code. The establishment of a CDO within the boundaries shown in Exhibit A will enhance the physical qualities—functional and aesthetic—of this community, relative to its unique environmental setting.

The proposed Echo Park Community Design Overlay District (CDO) boundaries are established in substantial conformance with the purposes, intent and provisions of the City's General Plan. The General Plan is divided into 12 Elements, including the Framework Element and a Land Use Element comprised of 35 Community Plans. The Community Plan that contains the CDO boundary area is Silverlake-Echo Park-Elysian Valley. In 2004, the Community Plan was updated and went through its own public outreach process, with over 30 public meetings. The 2004 Community Plan Update calls for the preparation of a historic resource survey or other necessary studies to establish a Historic Preservation Overlay Zone or other Supplemental Use District, as appropriate, to protect the neighborhood character and period architecture of the area generally bounded by Bonnie Brae Street to the West, Echo Park Avenue to the East, Sunset Boulevard to the North and the Hollywood (101) Freeway to the South.

In order to protect the potentially historic structures and development patterns while the area was being studied, Council adopted Ordinance No. 178,454 effective March 19, 2007, establishing the Echo Park ICO for a period of 365 days. The ICO regulated the issuance of building permits for exterior work on structures within the Echo Park ICO area. Two extensions to that ordinance were consequently adopted continuing the ICO for another one year. In addition another six month ICO ordinance was adopted regulating exterior building permits. During the full term of these ordinances, a Historic Resources Survey was prepared for the area. Staff analyzed the survey and recommended a Community Design Overlay as the appropriate permanent regulation to protect the area's unique neighborhood character, original red streetcar development pattern and pedestrian orientation. The CDO would accomplish multiple planning objectives: maintaining the area as a Community Center per the Framework Designation of the Silverlake-Echo Park-Elysian Valley Community Plan Update of 2004 (which is a designated area that serves as a regional downtown and accommodates growth in the community), and through Design Guidelines and Standards to maintain neighborhood character (including the protection of significant Period Architecture), the original red streetcar development pattern and pedestrian orientation.

The proposed project is a design overlay that provides design guidelines which protect architectural resources representative of period architecture and preserve unique neighborhood character in the area. Many buildings retain their original design features depicting the array of period revival styles common during the late nineteenth and early twentieth centuries, predominantly Craftsman, Spanish Colonial Revival, and Colonial Revival. Special rehabilitation guidelines are part of the proposed CDO that serve to protect those structures from incompatible alterations in order to maintain neighborhood character. In addition, the proposed project would ensure that infill development occurs in a manner which is compatible with the neighborhood character. The project area is within the boundaries recommended above.

The General Plan Framework Element designates Sunset Boulevard and the immediate area around it within the CDO as a "Community Center" and directs growth to be accommodated in these areas. Such areas should accommodate new population and residential growth. Mixed use development is encouraged along these boulevards, to be compatible with the surrounding areas in design. The proposed CDO meets the intent of the Framework Designation as the CDO ensures that new development is designed in a manner that is compatible with existing neighborhood character and preserves the original development pattern of the area, as well as pedestrian orientation.

2. In accordance with Charter Section 558(b)(2), the proposed CDO boundaries will be in conformance with public necessity, convenience, general welfare and good zoning practice.

Los Angeles City Charter Section 558 and LAMC Section 12.32(C)(7) require that prior to adopting a land use ordinance, the City Council make findings that the ordinance conforms with public necessity, convenience, general welfare and good zoning practice. The Echo Park Community Design Overlay District (CDO) conforms to these objectives as follows:

Public Necessity. The purpose of the Echo Park Community Design Overlay District (CDO) is to ensure that new development is in line with the existing unique neighborhood character of the district, which is characterized by pedestrian oriented design features, the original streetcar development pattern, compatible architecture that respects the Period Architecture in the area and a scale and massing which is consistent with structures found in the area. In addition, the CDO will protect Period Architecture in order to maintain the neighborhood character in the area. The CDO includes a commercial area along Sunset Boulevard, provides Design Guidelines and Standards that also ensure that new development is in line with the existing unique neighborhood character of the district, and protects Period Architecture in the area.

Echo Park Lake and the surrounding residential and commercial neighborhood is one of the oldest communities in the City, just a few miles from the Pueblo of Los Angeles, the birthplace of the city. Echo Park was an early residential suburb of the City, developed in the late 1800's around the street car system, with a collection of Craftsmen, Colonial Revival, Spanish-style bungalows, and early Period Revival homes and apartments. These structures are characterized by a pedestrian orientation and prioritization in building design, including intricate architectural details that provide pedestrian visual interest, garages and parking areas located to the rear, intact alley ways that provide access to the rear, minimal curb cuts, common prevailing setbacks and a massing and scale that is built to a pedestrian scale. In addition, one of the unique attributes of this community is Echo Park Lake itself, and the surrounding Park, which provides respite from an urbanized setting, and recreational opportunities as well as natural beauty, an amenity which is not readily found in urbanized parts of Los Angeles. The original development pattern of the area makes the lake amenity readily accessible to the neighborhood, including easy access through public stairways. In addition, the Echo Park district is within a few miles of Downtown Los Angeles, making it a prime location in terms of transit and proximity to the urban core.

Although the Echo Park neighborhood retains many of its original attributes, many important features have been altered over time, compromising the neighborhood's character. The area around Echo Park Lake has many structures that have been

altered, with original architectural features lost through remodeling or inappropriate alterations, as well as many that largely remain in tact. The original street car development pattern, which prioritized the pedestrian over the automobile, and which connected pedestrians to the lake and local commercial, is also largely in tact, with garages situated to the rear of structures, a common prevailing setback, minimal curb cuts, alleyways that provide access ways to the rear parking, walkways leading to the lake, public stairways leading to the lake and architectural features and details intended to provide pedestrian interest. These neighborhood characteristics are protected within the Design Guidelines and Standards of the CDO, and further protect the area from new development that may be incompatible with the unique neighborhood character of Echo Park, providing for a District that is cohesive and unique, and instills a sense of pride in the community.

In addition, the Echo Park CDO is tailored to the Framework Designation of the area around Sunset Boulevard as a Community Center, a classification for an area that can accommodate population growth. As such, within the CDO there are a set of development guidelines and standards that protect the neighborhood character, including massing and scale, while allowing for development that is consistent with the underlying zoning of the area, which in the area that is classified as a Community Center, includes the potential for Medium Residential development abutting Sunset. Due to the fact that the area is proximate to Downtown Los Angeles, near public transit, a park amenity and zoned for Medium-Residential development, the area is highly attractive for new development, which may be done in a way which is incompatible with the character and scale of the neighborhood. The Echo Park CDO therefore protects the neighborhood character and ensures that new development is compatible with existing character and scale of the area, while allowing for the area's Framework Designation as a Community Center.

Convenience. The proposed CDO will result in Design Guidelines and Development Standards that are broadly applicable, and require basic design features. The Design Guidelines and Development Standards are flexible in application, providing direction for design articulation without mandating one particular architectural style or form. The implementation of these guidelines ensures that each project contributes to a more functional, walkable, and attractive community while in line with the existing neighborhood character. In this way, improvements to individual properties can, over time, enhance the function of the District as an attractive, unique, pedestrian oriented and vibrant neighborhood. For rehabilitation projects, Guidelines and Standards are also flexible in their application, affecting only portions of homes visible from the public right-of-way, and allowing for minor, reversible changes. These minor projects may be issued an over-the-counter sign-off if in compliance with the CDO. Buildings not listed as architectural resources are exempt from the Rehabilitation Guidelines and Standards.

General Welfare. The Echo Park CDO is intended to protect the physical environment of the unique neighborhood character, and as a result, improve the quality of life for Los Angeles Citizens. The effort was a result of the Silverlake-Echo Park-Elysian Valley Community Plan Update, and adopted by Council to protect/preserve neighborhood character and identity, significant architecture, and Echo Park Lake and other park facilities ensuring that surrounding development preserves view sheds and maintains a scale that is compatible with existing development. Furthermore, the Community Plan Update designates a portion of the area as a Community Center, a designation that allows for the accommodation of population growth. Therefore the proposed CDO

balances and achieves both priorities for the purpose of the general welfare of the Echo Park Community and the City of Los Angeles.

Good Zoning Practice. The CDO is a zoning tool to implement the objectives of the Community Plan; it enhances the visual and aesthetic qualities of an area by imposing design guidelines and development standards, applicable to new developments and to alterations of existing buildings that are listed as architectural resources. The proposed Echo Park CDO will require review of development projects on properties within the District boundaries. The CDO promotes and requires compatible design and building massing, and design features that are compatible with the prevailing neighborhood character, and the original development pattern that is pedestrian oriented. The CDO provides for design guidelines and development standards that are tailored to the land use designations in the project area. As a result medium residential areas have different guidelines and standards than low medium residential areas, each tailored to their particular zoning, while still preserving the prevailing neighborhood character.

CDO Guidelines and Standards: Municipal Code and General Plan Findings

3. The proposed CDO design Guidelines and Standards are consistent with the policies of the General Plan and adopted Community Plans.

Pursuant to Section 13.08(A) of the Municipal Code, one purpose of a CDO is to assure that development within communities is in accordance with design policies adopted in the applicable Community Plans. The Echo Park CDO boundary area is contained within the boundary of the Silverlake-Echo Park-Elysian Valley Community Plan Area. The Echo Park CDO is consistent with the design policies and programs contained in the Silverlake-Echo Park-Elysian Valley Community Plan. The proposed CDO retains and promotes neighborhood character, scale and identity, preserves and protects period architecture, links residents to local commercial and Echo Park Lake, and protects hillside topography and view sheds from the lake. These Guidelines and Standards are consistent with the Silverlake-Echo Park-Elysian Valley Community Plan, which for multiple family residences advocates the following principles: *in neighborhoods where single and multiple family residences are mixed, new development should be sensitive to the topography and the constraints of hillside streets and complement the prevailing scale, character and represented architectural styles. Where appropriate and possible, traditional courtyard-style, multiple family housing developments that incorporate open space, provide a friendly environment for pedestrians, and de-emphasize in their design vehicular access and parking are encouraged.*

The establishment of the Echo Park CDO is consistent with the purposes and intent of the Silverlake-Echo Park-Elysian Valley Community Plan in the following ways:

General. The CDO actively advances the objectives, policies, and programs addressed in the Silverlake-Echo Park-Elysian Valley Community Plan, intended to preserve and protect the neighborhood identity and character of commercial and residential districts; and to encourage pedestrian-oriented uses and development. The Community Plan contains an Urban Design Chapter which establishes the minimum level of design that should be observed in multiple residential, commercial and mixed-use projects within the Plan Area.

MULTIPLE FAMILY RESIDENTIAL**Site Planning**

Where feasible, Multiple Family Residential development of five or more units should be designed around a landscaped focal point or courtyard to serve as an amenity for residents.

1. Provide a pedestrian entrance at the front of each project.
2. Require useable open space for outdoor activities, especially for children.

Design

The design of all buildings should be of a quality and character that improves community appearance by avoiding excessive variety or monotonous repetition. Achievement of this can be accomplished via the following:

1. Encourage the use of articulations, recesses, surface perforations and/or porticoes to break up long, flat building facades.
2. Design projects to conform to the natural topography, in hillside areas, to the extent feasible.
3. Utilize complementary building materials and building facades.
4. Incorporate variation in design to provide definition for each floor.
5. Integrate building fixtures, awnings, and security fences and gates, into the design of building(s).
6. Screen all roof-top equipment and building appurtenances from view.
7. Encourage decorative walls and landscaping to buffer residential uses from parking structures.
8. Enclose trash areas.

Parking Structures

Parking structures should be integrated with the design of buildings they serve.

1. Design parking structure exteriors to match the style, materials, texture, and color of the main building.
2. Landscape to screen parking structures not architecturally integrated with the main building(s).
3. Use decorative walls and/or landscaping to buffer residential uses from parking structures.
4. Maximizing complementary commercial uses on the ground floor in mixed-use projects.

Rehabilitation and Remodeling

Promote rehabilitation and remodeling that is sensitive and appropriate to the architectural style of the subject structure.

1. Rehabilitation and remodeling of existing structures should be done in a manner that is in character with and preserves the character-defining features of the architectural style.
2. Wood siding and wood-frame windows should be preserved whenever they exist in a structure that is being remodeled.
3. Stucco should not be used to cover wood siding and/or other character-defining features of period or historically significant architecture.
4. Smooth stucco only should be used on structures where stucco was the original exterior building material (i.e. Spanish and Mediterranean architecture).

The CDO addresses the site planning policy of providing usable outdoor space, a primary entryway and encouraging a landscaped courtyard. The CDO also achieves the overarching design policy of achieving high-quality projects that avoid

monotony or repetition through guidelines and standards that mandate facades that are well articulated, recessed, and/or perforated; having projects that conform to the natural hillside topography, have complimentary buildings materials and screen mechanical equipment and trash areas. The CDO also addresses parking, by mandating that it be provided to the rear of residences, or screened with landscaping. The CDO addresses Rehabilitation Goals found in the Community Plan, by ensuring that it is done in a manner that is in character with and preserves the original character-defining features of the architectural style of intact Period Architecture.

COMMERCIAL

Site Planning

Structures should be oriented toward the main commercial street where a parcel is located and should avoid pedestrian/vehicular conflicts by:

1. Locating parking areas between commercial and residential uses, (to provide a buffer). Parking should be separated from adjacent residential uses by a solid wall and/or landscaped setback.
3. Maximizing pedestrian-oriented retail and commercial service uses along the street grade level frontages on commercial boulevards.
4. Providing street-front pedestrian entrances for businesses which front on main commercial streets, with building facades and uses designed to promote customer interest, such as outdoor restaurants, and inviting public way extensions.
6. Encouraging pedestrian-only walkway openings, or entries (require at least one ground floor pedestrian entry), in exterior frontage walls of buildings, or between buildings fronting onto plazas or courtyards with outdoor dining, seating, water features, kiosks, paseo, open air vending, or craft display areas.

Pedestrian-Oriented, Building Height and Design

In Community Centers, Neighborhood Districts and along Mixed-Use Boulevards, the mass, proportion and scale of all new buildings and remodels should encourage pedestrian orientation.

The design of all proposed projects should be articulated to provide variation and visual interest, and should enhance the streetscape and preclude opportunities for criminal activity and graffiti.

Building materials should provide visual relief to untreated portions of building facades.

The purpose of these provisions is to ensure that a project does not result in large sterile expanses of blank building walls, is harmonious with the surrounding neighborhood, and creates a stable environment with a pleasant and desirable character. This will be achieved by the following policies:

1. For building frontages, require the use of offset building masses, recessed pedestrian entries, articulations, and surface perforations, or porticoes.
2. Require transparent windows (non-reflective, non-tinted glass for maximum visibility from sidewalks into building interiors).
3. Require recessed doors, entryways or courtyards, decorative planters, pedestrian scale murals or public art, mosaic tiles, or other means of creating visual interest, to break up long, flat building facades and free-standing blank walls greater than ten feet wide.
4. Require each new building to have a pedestrian-oriented ground floor, and maximize the building area devoted to ground level display windows and display cases, store front glass, doors, windows and other transparent elements on front facades to afford pedestrian views into retail, office, and lobby space, and those building surfaces facing rear parking areas.

5. Require each new building to have building frontage on the floor immediately above the ground floor to be differentiated from the ground floor by, for example, recessed windows, balconies, offset planes, awnings, or other architectural details, and on buildings with pedestrian walkway openings, require, for example, continuity of an architectural feature on the facade, to retain continuity of the building wall at the ground floor.
6. Provide color, lighting, and surface texture accents and complementary building materials to building walls and facades, consistent with architectural themes of the neighborhood.
7. Maximize the applications of architectural features and articulations to building facades.
8. Locate new structures to form common and semi-continuous building walls along street frontages and sidewalks of Major and Secondary Highways, and Collector Streets.
9. Locate surface and above-grade parking areas to the rear of buildings, with access driveways on side streets, or from rear streets where project buildings cover the majority of block areas.
10. Integrate landscaping within pedestrian-friendly plazas, green space, pocket parks, and other open space complements.

The CDO is consistent with the above Site Planning policies in that the CDO mandates that buildings be built to the front property line, provides guidelines that the mass, proportion and scale of all new buildings are built to encourage pedestrian orientation and respect the neighborhood character, requiring at least one ground floor pedestrian entryway, encourages plazas with pedestrian amenities and landscaping, and screening from public view mechanical equipment and trash enclosures.

The CDO is consistent with the above pedestrian oriented, commercial 'Building Height and Design' policies in that the CDO, which has its commercial downtown area in a 'Community Center' designated area, regulates the mass, proportion and scale of all new buildings should be built at a pedestrian scale as well as to a scale that respects the neighborhood character of the district, through the creation of a cluster of smaller buildings or the appearance thereof and the differentiation of the ground floor through the use of various architectural treatments.

The CDO also achieves the policy of having projects that do not result in large sterile expanses of blank building walls and is harmonious with the surrounding neighborhood, while maximizing architectural features and details by mandating a break in plane or change in material after every 10 horizontal and 15 vertical feet through architectural detail or articulation. In addition, the CDO requires a minimum amount of transparency to afford pedestrian views into retail establishments and mandates that building materials are consistent with the architectural themes of the surrounding neighborhood.

The Community Plan also addresses Residential Issues and Opportunities that were identified at the time of the Community Plan's preparation and adoption:

RESIDENTIAL Issues

- Need to continue to provide a diversity of housing that is affordable to residents of various socioeconomic backgrounds.
- Need to provide housing for larger families and low-income residents.
- Loss of existing affordable housing.

- Inadequate protections for hillside areas designated for multiple family residential use where hillside ordinance and standards do not apply.
- Size, scale and design of new multiple family residential projects.
- Deterioration of housing stock and architecturally significant or historic structures due to neglect or inappropriate remodeling, particularly in Echo Park.
- Residential development that is insensitive to or incompatible with the Plan area's unique natural, topographical, architectural, cultural and historic features.
- Assembly of lots to build large developments that are incompatible with size, scale and design of neighborhoods and which threaten existing affordable housing.

RESIDENTIAL Opportunities

- Develop guidelines for mixed-use development in designated areas that provides vision for design that is complementary to surrounding development and is pedestrian friendly.
- Maintain and rehabilitate the Plan area's existing diverse and affordable housing stock.
- Locate new residential development in the areas that are near and have good access to employment centers and neighborhood and community shopping districts.
- Promote the unique natural, historic and architectural resources of the community by encouraging development that complements these characteristics.
- Provide design guidelines for multiple family development that complements the rich and varied architectural styles represented in the Plan area and strengthens the existing urban character.
- Identify, preserve and rehabilitate historically and architecturally significant structures.
- Develop and implement regulations and incentives to promote identification and preservation of historically and architecturally significant structures.
- Support efforts of active neighborhood groups to preserve and rehabilitate local neighborhoods and strengthen neighborhood character and identity.
- Preserve the unique character and identity of distinct neighborhoods that exist within the Plan area.
- Use land use policies to support ongoing affordable homeownership and rehabilitation programs in single and multiple family neighborhoods.

The issues raised within the Residential section underscore the deterioration of housing stock and architectural resources due to neglect or inappropriate remodeling or alterations, as well as the design quality and scale of new multiple family residential projects. The proposed CDO contains Design Guidelines and Development Standards that would be an effective means to preserve architectural resources and would reiterate through infill guidelines and standards that new development be compatible with the existing neighborhood character and development patterns. Furthermore, the CDO Design Guidelines provide special design regulations for specified hillside properties that address the character, scale and identity of the residential neighborhood.

COMMERCIAL Issues:

- The aesthetic quality of the Plan area's shopping centers and commercial corridors.
- The quality and vitality of commercial areas.
- Development that erodes urban character of the area and a pedestrian friendly environment.

COMMERCIAL Opportunities:

- Develop design guidelines that retain and promote pedestrian friendly features and enhance the aesthetic quality and economic vitality of shopping areas. Guidelines should address streetscape, parking/access and maintaining solid building walls with retail frontage at the ground level.
- Promote community identity through distinctive development and design along the Plan area's commercial corridors.
- Establish and implement community-based design standards for new construction that is compatible with existing scale, architectural style and other desirable design elements.
- Support efforts to preserve and rehabilitate historic commercial structures.
- Establish guidelines for new construction that reinforces and enhances community and neighborhood identity.

While a CDO over the entirety of Sunset Boulevard (as identified in the Silverlake-Echo Park-Elysian Valley Community Plan Update) would institute a unified vision for development along the corridor, the Echo Park CDO does contain basic Guidelines and Standards that are consistent with the Community Plan. Issues raised within the Commercial section call attention to the impact that inappropriate façade alterations have had on the pedestrian environment and on the commercial districts as a whole. The CDO would implement Design Guidelines and Development Standards that would provide guidance to new development that is compatible with the scale, architectural style and design features of the existing commercial street wall, would address the rehabilitation of potentially significant architecture, and would facilitate attractive, pedestrian oriented, well designed and sited commercial projects that reinforce a sense of Echo Park's unique neighborhood identity and vibrancy. The Echo Park CDO Commercial Infill Guidelines and Standards and Commercial Rehabilitation Guidelines and Standards are an interim measure that are recommended to be in place until the proposed Sunset Boulevard/Echo Park Avenue Community Design Overlay District and Streetscape Plan is implemented in the future, as identified in the Silverlake-Echo Park-Elysian Valley Community Plan Update of 2004.

Plan Objectives

Residential Objectives

Objective 1-2: Reduce automobile trips in residential areas by locating new housing in areas offering proximity to goods, services and facilities.

Objective 1-3: Preserve and enhance the varied and distinct character and integrity of existing single and multiple family neighborhoods.

Objective 1-5: Preserve and enhance neighborhoods with distinctive and significant historic or architectural character.

The CDO provides Design Guidelines and Development Standards that apply to multi-family and single family projects. The residential guidelines and standards apply to the construction of new structures with provisions that will ensure that new structures are appropriate in scale and are thoughtfully designed, incorporating design features and materials that are compatible with the surrounding neighborhood character (such as rear yard garages or parking areas, consistent setbacks and courtyard design). Additionally the guidelines and standards address additions ensuring that those that protrude horizontally or vertically from the main structure are compatible with existing structures

on site and in the surrounding neighborhood context. The Residential Rehabilitation Guidelines and Standards address the preservation of original features of architectural resources representative of Period Architecture.

Commercial Objectives

Objective 2-2: Preserve pedestrian-oriented areas through the use of available overlay zones to provide alternatives to automobile-oriented commercial activity.

Objective 2-3: Enhance the appearance of existing commercial districts.

Objective 2-4: Reinforce the identity of distinct commercial districts through the use of design guidelines and development standards.

The proposed CDO institutes basic design guidelines that strengthen a pedestrian oriented Downtown as well as the appearance and distinct identity of the area by ensuring high quality design, thereby improving the function and attractiveness of the District's commercial corridor. While the Commercial Guidelines are interim until a unified vision for Sunset Boulevard is developed with the Sunset Boulevard/Echo Park Avenue CDO, as identified in the Silverlake-Echo Park-Elysian Valley Community Plan, the proposed Design Guidelines and Development Standards will ensure that development within the area is appropriately scaled to the existing neighborhood character. The CDO ensures that commercial projects will be designed and developed to achieve a high level of craftsmanship, distinctive character and scale, pedestrian oriented design and architectural compatibility with the neighborhood character in the district.

Historic and Cultural Resources Objectives

Objective 16-1. Ensure that the community's historically significant resources are protected, preserved and/or enhanced.

Echo Park was one of the first suburbs to be developed in Los Angeles, and is home to many of the city's cultural historic monuments, including Echo Park Lake, the Angeles Temple and Jensen's Recreation Center. The area is characterized by period architecture of the early 20th century, including Colonial Revival, Victorian, Spanish Revival and Craftsman homes and traditional commercial storefronts. The prevailing character of the neighborhood remains and provides a distinctive identity to the area. The Design Guidelines and Development Standards for all project types within the CDO contain provisions that facilitate the maintenance and preservation of original architectural resources, require building additions that are complementary in architectural style and scale to existing neighborhood character and ensure that new structures are compatible with the surrounding neighborhood character.

4. The proposed CDO design Guidelines and Standards are in conformance with Section 13.08 of the Los Angeles Municipal Code (LAMC)

The proposed Echo Park CDO Design Guidelines and Development Standards are consistent with the purposes of a Community Design Overlay District as stated in Section 13.08 of the Los Angeles Municipal Code. According to 13.08 A, the purpose of a CDO is to (1) Assure that development within the communities is in accordance with community design policies adopted in the Community Plans, and with the Community Design Guidelines and Standards, (2) Promote the distinctive character, stability, and visual quality of existing neighborhoods and communities by ensuring that development visually provides a sense of place in terms of design within the Community Design

Overlay District by considering the unique architectural character and environmental setting of the district; (3) Assist in improving the visual attractiveness of multi-family housing available to meet the needs of all social and economic groups within the community; and (4) Protect areas of natural scenic beauty, cultural or environmental interest, among others. Implementation of the CDO assures that development in the area takes place in accordance with the Plan Objectives and Design Policies contained in the adopted Community Plan for Silverlake-Echo Park-Elysian Valley. The CDO promotes and maintains the neighborhood character, the original streetcar development pattern, and pedestrian orientation of Echo Park in terms of design, which pursuant to Section 13.08 of the LAMC, promotes the distinctive character and visual quality of the existing neighborhood by considering the unique architectural character and environmental setting of the district. The Echo Park CDO also includes guidelines for multi-family residential structures surrounding the Echo Park Lake, in conformance with LAMC 13.08 A3 and A4.

Section 13.08 C 2 defines a project as "the erection, construction, addition to, or exterior structural alteration of any building or structure, including but not limited to pole signs and/or monument signs located in a Community Design Overlay." The Echo Park CDO includes demolition in the project description as a structural alteration of a building that is critical in protecting the area's cultural and environmental interest, per the CDO's purpose in LAMC 13.08 A 4. Demolition of structures detract from the visual attractiveness, quality, and stability of existing neighborhoods, all critical components of establishing a CDO over an area, per LAMC 13.08 A 2. Therefore the inclusion of demolition in the Echo Park CDO project description is in conformance with the purpose of a CDO and in line with effectively implementing the intent of the CDO.

The proposed CDO consists of residential design guidelines that encompass Development Standards applicable to new developments and to alterations of existing buildings designated as architectural resources. Residential Design Guidelines address setbacks and parking/vehicular access, and massing, scale, and articulation, including specific standards for hillside properties fronting the lake in order to protect view sheds. Commercial design guidelines encompass development standards applicable to new developments and to alterations of existing buildings designated as architectural resources. Commercial building design guidelines address ground-floor façade articulation, transparency, setbacks and massing. These Guidelines and Standards for both residential and commercial properties, pursuant to Section 13.08 of the LAMC, protect areas of natural scenic beauty, cultural or environmental interest and discourage the development of structures which are not compatible with the surrounding neighborhood.

Geographic Area Findings

5. The boundaries of the proposed Echo Park Community Design Overlay District (CDO) include those parcels on approximately 90 acres of land in the Silverlake-Echo Park-Elysian Valley Community Plan area; the subject area spans from areas north of the Hollywood Freeway, South of, and including Sunset Boulevard, west of Echo Park Avenue and the Angelino Heights HPOZ and east of Bonnie Brae Street, as shown on Exhibit A.

CEQA Findings

6. A Negative Declaration (ENV-2009-1334-ND) was prepared for the proposed project on May 28, 2009. On the basis of the whole of the record, the Department of City Planning, the lead agency, determines that there is no substantial evidence that the proposed project will have a significant effect on the environment. The attached Negative Declaration (*Exhibit C*) reflects the lead agency's independent judgment and analysis. The records upon which this decision is based are with the Environmental Review Section of the Department of City Planning in Room 750, 200 North Spring Street.

PUBLIC HEARING AND COMMUNICATIONS

A Public Hearing was held for the proposed CDO on June 20, 2009 in the Echo Park neighborhood and the public comment period regarding the project was left open through June 26, 2009. A public notice was sent out on May 25, 2009. The following information and feedback below is a synthesis of public comments received:

June 20, 2009 Public Hearing

1. A public hearing on this matter was held at the Echo Park Recreation Center at 1632 Bellevue Avenue at 12 pm.
2. Attendees: 19 people signed in
3. Speakers in Support: 5 people spoke in favor of the plan:
 - a. Several speakers commented that the area has a rich array of historic resources;
 - b. Speakers indicated that the rest of the area deserves some kind of protection;
 - c. Several speakers commented that although they wanted an HPOZ, a CDO would be a good compromise;
 - d. Several speakers commented that they wanted no more than 3 lots tied, and/or no more than 75, 100, or 150 feet of building frontage before mandating a building separation;
 - e. Several speakers emphasized the unique neighborhood character in Echo Park, including hillsides, natural spaces, historic homes, walkable spaces, public stairs and interesting architecture.
 - f. Several speakers expressed a fear of demolition of valuable historic resources, and supported Demolition Guidelines to further protect these resources.
 - g. Several speakers commented that the CDO should be stricter in regulating historic rehabilitation and new construction.
 - h. Several speakers felt the CDO Commercial Guidelines should extend to other commercial properties besides Sunset Boulevard.
4. Speakers in Opposition: 5 people spoke in opposition to the plan
 - a. Two speakers wanted no restrictions on their property and believed any restriction would further delay the permitting process.
 - b. One speaker expressed that all church properties should be exempt.
 - c. One speaker felt the CDO is exclusionary, particularly to the Hispanic community, when it comes to architectural design standards.
 - d. One speaker felt the CDO would place a disproportionate burden on the local church, Angeles Temple.
 - e. Two speakers felt the CDO isn't an implementation tool that was recommended by a report issued 5 to 6 years ago and believed there should be a greater focus on a comprehensive plan for the city.
 - f. One speaker believed the process for community input has not been thorough.
5. General Comments: 1 person made a general comment

Written Communications Received

- Seventeen letters and emails were received during, or in response to, the Public Hearing that indicated support of the plan.
 - a. Support efforts to shape new development through CDO;
 - b. Echo Park area deserves same protection as other historic neighborhoods;
 - c. Planning staff has done an excellent job communicating with stakeholders and responding to local input;
 - d. CDO is an acceptable compromise over an HPOZ to ensure neighborhood's character is preserved;
 - e. Additional review needed before allowing the demolition of historic structures;
 - f. Neighborhood's request for a local set of design rules around Echo Park Lake goes back to nearly a decade, to the first hearing on the Silverlake-Echo Park-Elysian Valley Community Plan;
 - g. Since the last community plan update, community has had several buildings declared monuments, and community has greater awareness and appreciation of historic preservation;
 - h. Area west of the lake deserve guidelines that ensures development fits in with character of the neighborhood, as was done east of the lake;
- Of those correspondences, twelve letters were received that indicated support of the plan with modifications.
 - a. CDO should limit oversized residential developments with building breaks of 100 feet for new development and approval of Q conditions to allow no more than three lots tied;
- Of those correspondences, three letters were received that indicated support by local organizations.
 - a. Support from: The Echo Park Historical Society, The Echo Park Improvement Association, and the HPOZ Alliance of Los Angeles
- 6. One letter was received during or in response to the Public Hearing that indicated opposition to the plan.
 - a. Object to the CDO on the basis that the Church Properties qualify as noncommercial property owned by a religiously affiliated organization and are therefore exempt from any special conditions or regulations imposed by the City of Los Angeles, including the CDO, pursuant to Government Code section 37361, subd. (c). Request that the City exempt the Church Properties from the CDO.
 - b. The Church and the Foundation will suffer substantial hardship; including demolition and rebuilding, or renovation, unreasonable height restrictions on buildings and arbitrary labeling of buildings as historic and unreasonable building breaks.

Summary of Communications Received during the 2 workshops (01/20/09 & 04/04/09) and Open House (06/08/09)

- At least 6 property owners expressed support for the CDO.
- At least 2 property owners expressed opposition for the CDO.

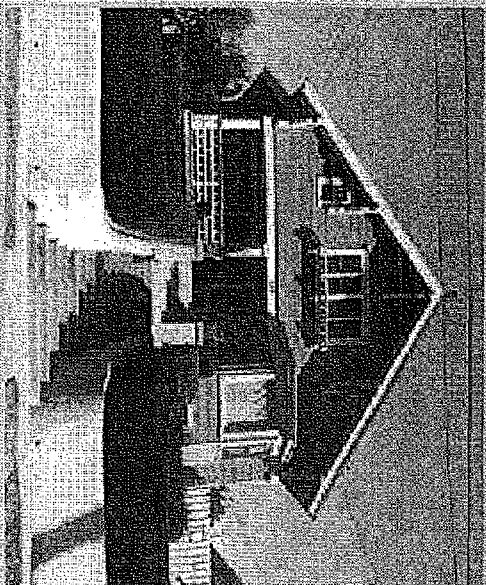
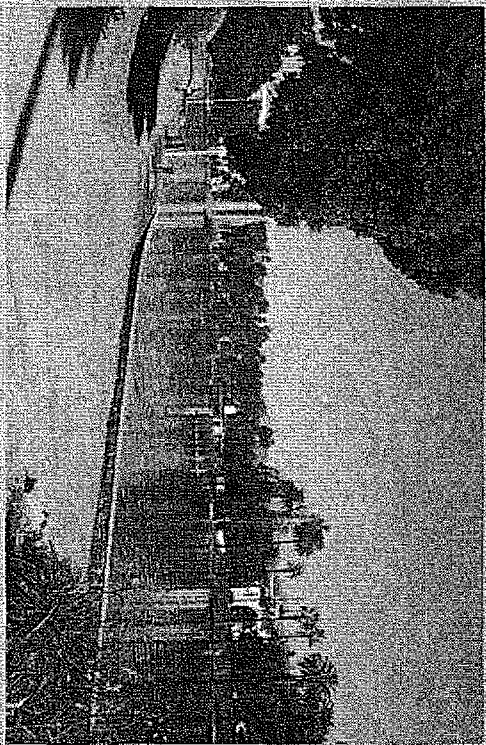
Exhibit A



Echo Park Interim Control Ordinance Area/ Echo Park CDO Study Area

Prepared by City of Los Angeles Planning Department • Graphic Services Section • Winter 2009

Not to Scale  N



Echo Park

Community Design Overlay District

A Part of the General Plan
City of Los Angeles
www.lapd.org/gp
[General Plan]

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SECTION 1 INTRODUCTION

Plan Overview

The Echo Park Community Design Overlay District (CDO) Plan provides guidelines and standards for public and private development projects within the District. The intent of the CDO District is to provide guidance and direction in the design of new buildings and the rehabilitation and repair of existing homes and buildings that contribute to an attractive community with a walkable and desirable residential neighborhood. In addition, the CDO would protect the culturally and architecturally significant architecture of the area, including the historic development pattern of the community as a streetcar suburb. These Guidelines and Standards bring about an overall pedestrian orientation and neighborhood beautification for the Echo Park Neighborhood.

District Goals

The purpose of the Echo Park Community Design Overlay District is to retain the neighborhood character and foster pride in the community by bolstering the District's strength as a livable residential neighborhood and to reinforce its designation in the General Plan as a Community Center while preserving architectural and cultural resources, the original, pedestrian-oriented streetcar suburb development pattern and its unique neighborhood character. The CDO seeks to create a walkable community that takes advantage of the unique characteristics of the area: historic homes, scenic hillslides, winding roads, all nestled between a lush park and lake that provides respite from the urban core and opportunities for greater physical health and wellbeing.

The Echo Park Neighborhood exhibits several important attributes, among them: substantial pedestrian traffic, a central location, monumental and historic architecture that provides a sense of uniqueness to the area, a diverse population, a lake amenity within a lush park and a pedestrian-oriented development pattern.

The goal of the CDO is to build upon these unique physical strengths to enhance this community.

The specific goals of the Echo Park CDO District are as follows:

1. To promote design for residential projects which invite pedestrian interest and activity and to bolster Echo Park lake as a functional amenity of the community;
2. To provide direction for site planning that facilitates ease of pedestrian movement, maintains pedestrian stairways which connect residential areas to the lake and minimizes automobile and pedestrian conflicts;
3. To reemphasize the underlying pedestrian scale that existed within the existing Echo Park neighborhood as an initial streetcar suburb;
4. To provide direction for residential rehabilitation and guide new infill development that is consistent with the neighborhood character;
5. To preserve architecturally significant buildings in the neighborhood and to ensure that further incompatible alterations do not occur, and to encourage new development that is compatible with the surrounding neighborhood context.

Design Principles

The Design Guidelines and Standards for Echo Park are based on a set of principles found in vibrant, walkable and attractive communities. Essential to community life is the physical environment created by the arrangement and design of buildings, streets, parking lots and open spaces. Echo Park possesses many architectural assets that are vital to a vibrant community. The Echo Park CDO provides site planning,

architectural and design standards for projects which are based on the following six principles:

1. *Activity*: Sidewalk activity defines a vibrant district, development in the District should promote an active street life. The most important feature of Echo Park is the opportunity to provide much needed open and green space along the existing park that readily connects with the adjacent neighborhoods.

2. *Pedestrian Friendly*: Pedestrian friendly refers to the perceived size or bulk of a building with respect to the size of the human body as well as the reduction of vehicular/pedestrian conflict. A pedestrian friendly neighborhood can be achieved through the reduction of blank surfaces, building articulation, color, texture, ornamentation, massing, landscaping, curb cut reductions and limiting the size of driveways and garages.

3. *Individuality*: Just as a sign might show the name of a business or the nature of goods and services sold, the physical appearance of a building provides important information about the content of the neighborhood. A residential building should express clarity and distinctiveness within the context of the overall design guidelines.

4. *Contribution*: Residential design should contribute to the existing architectural character of the District as a whole. A building design can achieve the principle of contribution by using materials and architectural features that are representative of the District as a whole while at the same time fostering a sense of individuality and creativity. Buildings can achieve the principle of contribution through appropriate massing, site planning and use of materials and architectural features that take into account the physical realities of the surrounding context and not just the individual site.

5. *Relationship to the Lake*: Residential buildings abutting the lake shall emphasize the lake's importance as an amenity for passive recreation and exercise. Structures may relate to the lake through the use of paved walkways, decorative architectural features on the front facade entry way, native landscaping, and a subordinate massing.

SECTION 2 BOUNDARIES

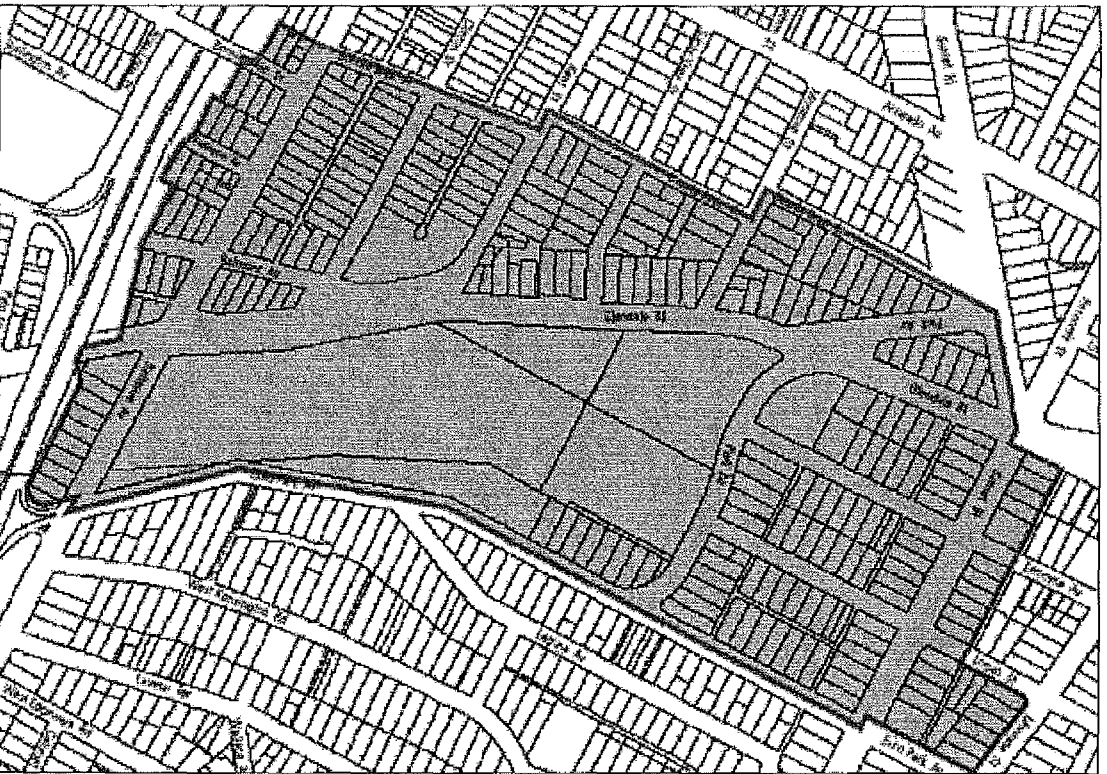


Figure 1 Echo Park CDO District Boundary

The Echo Park CDO District Encompasses the area generally bounded by Sunset Boulevard to the north, Bonnie Brae Street to the West, Echo Park Avenue to the East, and the Hollywood (101) Freeway to the South. The CDO provides Design Guidelines and Development Standards for the residential land uses in the area for rehabilitation, infill and additions, and interim regulations for the commercial land uses in the area.

SECTION 3 ADMINISTRATION

A. CDO Projects

All projects within the Echo Park Community Design Overlay will be reviewed for compliance with the Design and/or Rehabilitation Guidelines and Standards prior to being issued a building permit. No person shall perform any construction work on a project until a Design Overlay Plan has been submitted and approved. No building permit shall be issued for any project, and no person shall do any construction work on a project except in conformance with the approved Design Overlay Plan.

Project Definition: The erection, construction, addition to, or exterior structural alteration of any building or structure, including demolition. A project includes all residential and commercial buildings in the project area.

Procedures for Major Projects: The procedures for processing a case are provided in Section 13.08 E2 of the LAMC.

Application Requirements: The materials that are required to apply for review of a project are provided in 13.08 of the LAMC, section C1.

Procedures for Minor Projects: Notwithstanding the procedures established in Section 13.08 of the LAMC regarding Design Overlay Plan Approvals for all other projects, the Director of Planning may issue a Building Permit clearance for the following minor projects that comply fully with the Design Guidelines and Development Standards.

1. The installation of mechanical equipment that complies fully with the Design Guidelines.
2. Requests for repairs and/or modifications to the exterior of a residential property shall be made through the completion of the Echo Park CDO Residential Checklist found in Appendix

C of this CDO. Modifications to the exterior of residential properties that are determined through the checklist not to constitute a substantial change to the appearance of the home as viewed from the public right-of-way and that comply fully with the provisions of the CDO shall be issued a building permit clearance sign off.

Exemptions from CDO:

1. Signs on Sunset Boulevard.
2. Interior remodeling, interior rehabilitation or interior repair work.
3. Alterations of, including structural repairs, or additions to any existing building or structure in which the aggregate value of the work, in any one 24-month period, is less than 50 percent of the building or structure's replacement value before the alterations or additions, as determined by the Department of Building and Safety, unless the alterations or additions are to any building facade facing a public street.
4. Historic Cultural Monuments are exempt from review for any type of project.

Project & Procedure Reference Charts. The following project reference charts specifies the section of the CDO that provides the Guidelines and/or standards based on type of project. The Procedure Summary Chart provides an overview of the process based on whether the project is a major or minor project.

Project Reference Chart

Type of Project	Section of CDO
Residential new addition and infill projects.	New Construction Guidelines & Standards (p.9)
Residential rehabilitation/repair work.	Rehabilitation of Residential Properties Guidelines (p.20)
Commercial Repair work and/or additions.	Commercial Properties Rehabilitation Guidelines & Standards (p.15)
Commercial Infill projects.	Commercial Properties Infill Guidelines & Standards (p.16)
Demolition of residential and commercial properties.	Demolition Guidelines (p.19)

Procedure Summary Chart

Type of Project	Section of CDO
Major Project	Design Overlay/ Plan Approval filed, fee paid & Director's Determination issued.
Minor Project	Over the counter review based on CDO Checklist. Director approved sign-off on building permits.
Exemptions	Not subject to CDO approval.
Demolition	Design Overlay/ Plan Approval filed, fee paid & Director's Determination issued.

B. Relationship to Other Plans and Other Provisions of the LAMC.

Wherever the provisions of the CDO conflict with provisions of the LAMC and any ordinance therein, the LAMC shall supersede the CDO unless an ordinance, such as a Qualifying Condition has been adopted to support the provision of the CDO.

SECTION 4 DEFINITIONS

Site Planning

Site Planning refers to how buildings and uses are placed on the site.

Building Design

Building Design refers to the configuration of massing, height, lot coverage and openings on individual buildings. Building Design also addresses issues such as fenestration, roof configuration and facade articulation.

Architectural Features

Architectural features are individual adornments and specific details that begin to define the character and appearance of a building. Whereas Building Design would relate to the number and pattern of window openings, Architectural Features will address the type of window used, the surrounding sills and frames, etc.

Addition

An addition is any new construction to a residential or commercial property. An addition includes porches, decks and verandas.

Mechanical Features

Mechanical Features are any mechanical apparatus related to the functioning of a building or site. This would include large items such as HVAC equipment loading docks and wireless communication facilities. Mechanical Features also include security equipment such as retractable security grills, window bars and other anti-theft devices. Lastly, Mechanical Features include items such as trash and recycling enclosures, irrigation/potable water backflow preventers and transformers.

Architectural Resources

Structures that represent Period Architecture and contribute to neighborhood character identified in Appendix D.

Articulation

The term articulation refers to a variation in a wall, facade or roofline. Such a variation can be accomplished through the

changing of a plane, variations in materials, coloration or the introduction of architectural features.

Partial Demolition

Partial demolition includes the removal of a portion of an exterior wall visible from the public right-of-way.

Finished Grade

Final grade of the site after excavating or filling which conforms to the approved final grading plan.

Original feature

Pertains to the original architectural features that were present at the time the property was developed.

Pedestrian Entrance

A Pedestrian Entrance is the primary entrance that serves a building or individual business on a building facade facing the sidewalk. A Pedestrian entrance is demarcated by architectural features such as columns, canopies or steps and helps promote use of the building.

Stucco

A smooth plaster composed of Portland or masonry cement, sand and hydrated lime, mixed with water and applied in a plastic state to form a hard covering for exterior walls

Usable Outdoor Public Space

Usable outdoor public space refers to outdoor areas that facilitate pedestrian activity and act as a focal point to community activity. Usable public spaces can be implemented into site design through the use of plazas, courtyards, outdoor dining areas and other such outdoor spaces.

Visible from the Public Right-Of-Way

Includes anything that is visible on a human scale from the adjacent sidewalk.

SECTION 5 NEW CONSTRUCTION RESIDENTIAL INFILL GUIDELINES & STANDARDS

1. Setbacks

Guideline 1: Encourage an inviting pedestrian environment and provide for streetwall continuity by locating buildings with a consistent setback, orienting buildings to the street and providing pedestrian amenities along the front of buildings.

Design Standard 1a.

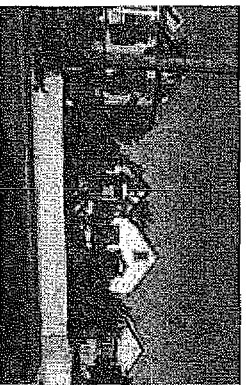
New construction shall match existing setbacks on adjacent properties to the greatest extent possible allowed by zoning code.

Design Standard 1b.

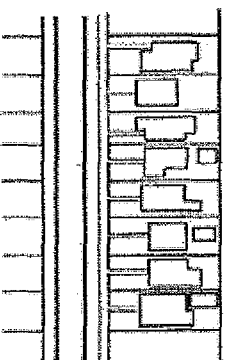
If adjacent properties have different setbacks, new setback should be an average of the two, to the greatest extent possible allowed by zoning code.

Design Standard 1c.

Low Medium Residential properties designated as Hillside Viewshed protection areas (see Appendix B) are exempt from matching existing setbacks and/or averaging of setbacks.



Standard 1a example. Historic setbacks in project area.



Standard 1a example. Setbacks are consistent in this diagram.

2. Front Yards

Guideline 2: Front yards should encourage an inviting pedestrian environment and provide for transition between the



Standard 2a-2b example. Inviting pedestrian entrance with landscaping.

public right of way and the residential building. Front yard areas should remain open and used for landscaping and passive recreation space.

Design Standard 2a.

A pedestrian entrance shall be provided on the facade of structures fronting the street.

Design Standard 2b.

The entrance shall be emphasized by employing one of the following paving treatments:

- Brick or tile
- Precast pavers
- Stamped concrete

Design Standard 2c.

Where projects have multiple residential units at ground level, individual entrances are encouraged.

3. Open Space, Landscaping & Rec Areas

Guideline 3: Encourage the use of open space, landscaping and recreation areas. In addition to aesthetic benefits, landscaping provides shade, reduces glare and minimizes surface runoff during rainy periods. Projects should provide landscaping that complements existing architecture, provides shade to pedestrian areas and that provides a high level of surface permeability. Front yard and outdoor spaces such as common and private open space should be developed to an extent that encourages use and enhances the livability of residential structures.

Design Standard 3a.
All multifamily residential developments with six units or more are encouraged to be designed around a landscaped focal point or courtyard open to the street, when appropriate.



Standard 3a example.
Central courtyard layout.

Design Standard 3b.
Landscaping which includes grouping of plant materials, consisting of small trees, shrubs, planter boxes or tubs of flowers shall be placed at entrances to courtyards and along walkways.

Design Standard 3b.
At least 50% of front yard open space should be landscaped, excluding driveways.



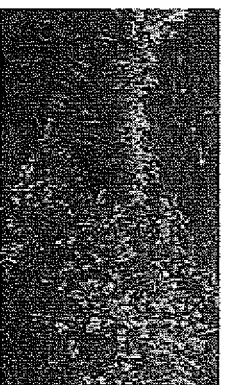
Standard 3a-5c example. Multifamily development with central courtyard

Design Standard 3c.
Drought tolerant plant species shall be utilized within required open space areas to the greatest extent possible.



Standard 3a example. Central courtyard with lush landscaping.

Design Standard 3d.
Concrete block walls, concrete block pilasters, masonry walls, and chain link fences shall not be used for front yard fences or any fences along a public street, unless the fence is a retaining wall.



Design Standard 3e.
Design projects to conform to

Standard 3c example. Drought-tolerant chaparral.



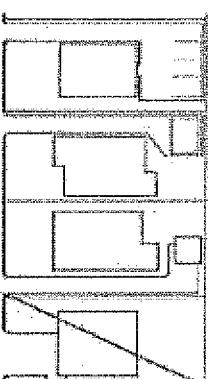
Standard 3f example. Bromus Tectorum, a California Invasive Plant.

the natural topography to the extent feasible.

Design Standard 3f.
California Invasive plants classified as moderate or above are discouraged in projects facing the lake.
(California Invasive Plant Council.)

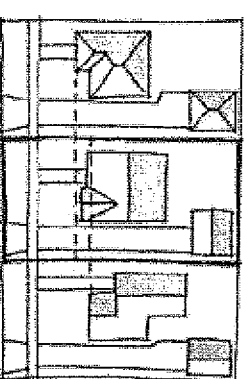
4. Parking Areas & Driveways

Guideline 4: Parking areas and the driveways that accompany them can contribute to a cluttered appearance and can diminish the pedestrian livelihood of a street. Such areas should be kept out of view from the public street to the greatest extent possible.



Standard 4a example. Parking areas are located to the rear of property.

Design Standard 4a.
Parking areas shall be located underground, at the rear of properties or at other suitable locations that are not visible from the public street, unless topography makes it infeasible.



Standard 4a example. Parking garage is located to the rear of property.

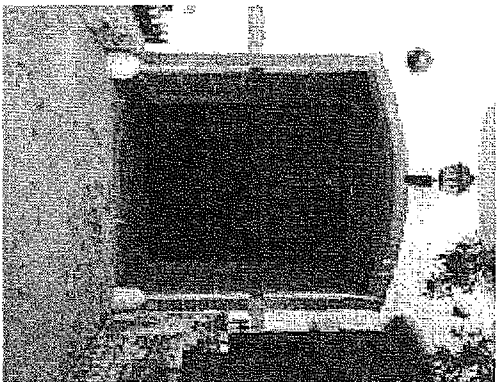
Design Standard 4b.
Driveways within the front yard area shall be no wider than 12 feet unless required by Building and Safety and/or the Department of Transportation.

Design Standard 4c.

Multiple garage bays for buildings with subterranean parking along the front of a building should be avoided. Surface parking areas and driveway "back-up" space between a structure and the public street (regardless of setback requirements) are prohibited.

Design Standard 4d.

Garage Bays into subterranean parking shall be no wider than 12 feet, unless required by Building & Safety or the Department of Transportation.



Standard 4d-4e example. Example of a 12 foot wide garage entryway.

Design Standard 4e.

Garage bays/Driveway entryways into subterranean parking along the front of the building shall be partially submerged below ground floor level, if feasible.



Standard 4f example. Single-car garage doors.

Design Standard 4f.

Single-car garage doors are preferred. When a double car garage door is necessary, the door shall be designed so as to give the appearance of a single-car garage door. A landscaped

strip of at least 6 inches should divide the driveway into two halves.

Design Standard 4g.

Any portion of a parking level, which exceeds finished grade, shall be screened from the view of the public right-of-way by landscape features including trees, shrubbery, planter boxes or berms at least three (3) feet in height. The exterior design of the structure should include variations in color, materials and/or texture to create pedestrian interest and scale.

- i. Parking Structure Openings exceeding finished grade should be occupied by decorative wroughtiron, horizontal louvers, intricate latticework or the appearance of windows or other decorative architectural feature. It is preferred that openings be covered with vines.
- ii. Parking Structure Openings should be minimized.

Design Standard 4h.

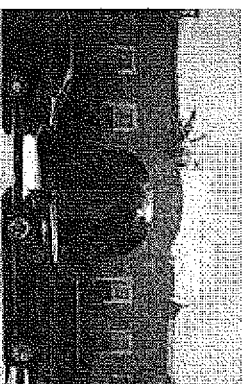
If an alleyway is present, parking areas shall be provided to the rear of a property. If an alleyway is present, additional curb cuts are prohibited. Properties are exempt if there is a substandard alleyway and/or topographic issues are present.

5. Building Fronting

Guideline 5: Buildings fronting the lake should include

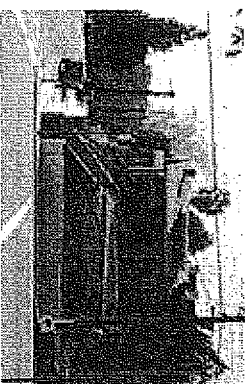
walkways, paseos or other features relating it to the lake. Properties fronting the lake act as a gateway to the community, providing scenic views of the hillsides and displaying the architectural history of the area. Properties fronting the lake should provide a seamless transition between the public and private realm, with lush landscaping that transition into Echo Park and architecture that does not detract from the area's character. The following standards apply only to properties fronting the lake.

Design Standard 5a.
Orient primary entrances toward the street nearest the lake. Emphasize entrances through architectural features such as front porches, awnings, columns and/or prominent walkways.



Standard 5a example. Prominent Walkway.

Design Standard 5b.
Paving surfaces shall be provided for driveways.



Standard 5d example. Private Walkway leading to the lake

Design Standard 5c.
For buildings with 6 units or more on properties fronting the lake and occupying a parcel at least 100 feet in width, as part of the open space requirement, a courtyard and/or paseo is preferred and encouraged to be visible to the street and to the lake. Paseos shall be paved.

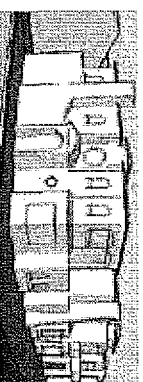
Design Standard 5d.
Walkways on private property leading from the structure's primary entrance to the lake are encouraged and should be paved.

Design Standard 5e.
Multi-family buildings with 6 units or more shall contract with a licensed landscape architect, a landscape or garden designer to design and install a landscape of native plants arranged into naturalized patterns.

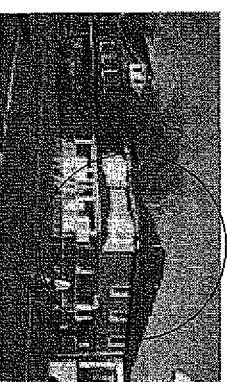
Design Standard 5f.
Use hardscape materials (pervious encouraged) on no

more than 50% of the site area of any street-facing yard. The balance of the area shall be planted with native and/or drought tolerant species.

Design Standard 5g.
At least 50% of the required open space shall be landscaped.



Standard 6a example. Well-articulated facade.



Standard 6a7a example. Complimentary Infill.



Standard 6a7a example. Example of well-articulated new construction.

5. Fenestration

Guideline 6: Buildings should have fenestration that establishes a clear pattern on the facade (with special attention paid to facades that are visible from the street) and that provides depth and additional articulation. The design of all buildings should be of a quality and character that improves community appearance and should be representative of an overall architectural theme. Buildings should be composed of a variety of forms, contrasting shapes and should employ attractive and complimentary building materials and architectural features.

Design Standard 6a.
All exterior building walls shall provide a break in the plane, or a change in material, at least every 10 feet in horizontal length and every 15 feet in vertical length, created by an

articulation or architectural detail, such as:

- A change in plane of at least 18 inches.
- Windows that are recessed at least six inches, when appropriate to architectural style.
- Incorporation of varied window treatments such as multiplane, octagonal, circular, or bay windows.
- Perforations on the surface of the building plane
- Building overhangs, porticoes, or projections
- Terraces, balconies, porches or cantilevered designs
- Wood accents and wood trim for windows and doors
- Varying roof forms and heights.
- Other architectural features or building materials that create a visual break.

7. Cohesive Neighborhoods

Guideline 7: The overall scale, massing, roof form, materials and architectural style of new structures shall be consistent with the surrounding neighborhood context and provide a variety of forms, depth and texture. Encourage a cohesive neighborhood character by building new structures and additions at a scale that is appropriate to the street and the surrounding neighborhood context. The visual impact of large structures may be fashioned by creating a cluster of smaller buildings or the appearance of a series of smaller buildings. Building massing should include a variation in wall planes and height as well as roof forms to reduce the perceived scale of the building. Hillside properties fronting the lake should preserve hillside viewsheds from the lake by creating a massing that contours the hillside through terracing.

Design Standard 7a.

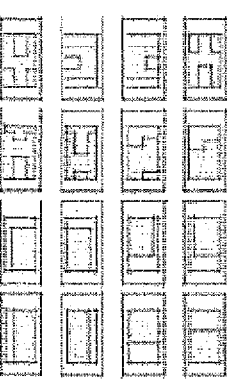
All building fixtures shall complement and be architecturally integrated to the design of the building and should be compatible and complimentary with the immediate area's architecture.



Standard 7e example. Example of stepbacks in the area.



Standard 7f example. The third floor of this home does not occupy more than 75% of the second floor.



Standard 7f example. Examples of different roof forms not occupying more than 75% of 2nd floor footprint.

Design Standard 7b.

For Low Medium Residential properties a new separate massing shall occur approximately after 100 feet of horizontal building plane facing the public right-of-way.

Design Standard 7c.

For Medium Residential properties there shall be a building modulation at least every 100 feet of horizontal building plane, with a building indentation of approximately 15 feet in depth and 20 feet in width. Indentation may occur in a stepwise fashion.

Design Standard 7d.

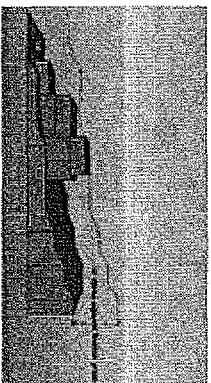
For Medium Residential properties a new separate massing shall occur after approximately 190 linear feet of horizontal building plane facing the public right-of-way.

Design Standard 7e.

For Low Medium Residential hillside properties designated as Hillside Viewshed Protection Areas Fronting the lake (see Appendix B), buildings or structures shall not substantially exceed 30 feet in height from adjacent finished grade, measured as the vertical

distance from the adjacent finished grade of the site to an imaginary plane located above and parallel to the finished grade.

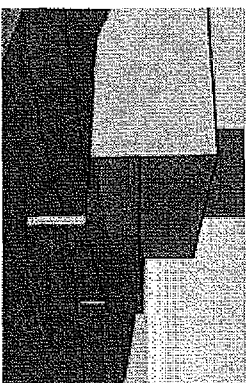
- i. The finished floor elevation directly above an exposed underfloor area shall be limited to 6 feet above finished grade.



- ii. Attached decks shall be limited such that no portion of the walking surface of a deck with visible underpinning shall exceed a height of 6' above grade and decks shall be integrated into the architecture of the house, and not appear as an add-on to the primary building mass.



Standard 7f example. Height does not exceed 30 feet at any finished grade with a pitched or flat roof. Refer to Appendix A.



Design Standard 7f.
For low Medium Residential properties the third floor of a building shall occupy approximately 75% of the 2nd floor footprint.

Standard 7f-ii example. Deck underpinning does not exceed 6 feet.

- i. The setbacks may be occupied by a sloped roof. The roofline from the second to third-floor may incorporate dormers or other ancillary architectural features.
- ii. The majority of the third-floor square footage should be concentrated towards the rear.
- iii. Buildings that are designed around a centralized courtyard are exempt from this requirement.

- iv. Low Medium Residential properties designated as Hillside Viewshed Protection Areas Fronting the Lake are exempt from this requirement.

Design Standard 7g.

For Medium Residential properties, an 8 foot setback is required after approximately 30 feet of building height on the front facade in a manner that diminishes massing and provides for varied articulation.

8. Architectural Compatibility

Guideline 8: Encourage architectural compatibility by designing additions to have compatible architectural features and forms.

Design Standard 8a.

Locate additions to the rear of existing structures away from the front facade of an existing building where possible.

Design Standard 8b.

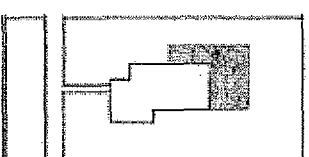
Significant architectural features such as porches, pitched roof, bay windows, decorative roof brackets etc. should be repeated on addition.

Design Standard 8c.

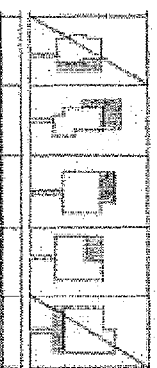
Second-story additions to one-story buildings should repeat the original pitched roof of the original structure.

Design Standard 8d.

Additions should use similar finish



Standard 8a example. Addition is situated to the rear and appropriate in size.



Standard 8a example. Appropriate and inappropriately sited additions.

materials and fenestration patterns as the original structure. A stucco addition to a wood clapboard house, for example, would be inappropriate.

Design Standard 8e.

Additions shall be compatible in size, and scale with the original structure.

Design Standard 8f.

Addition roofing forms and materials should echo those of the original structure.

Design Standard 8g.

Second floor additions to garages or carriage houses should not be larger than the length and width of a standard three-car garage.

9. Trash Enclosures

Guideline 9: Trash enclosures

should be designed so that trash and recycle bins are not visible to the general public.

Design Standard 9a.

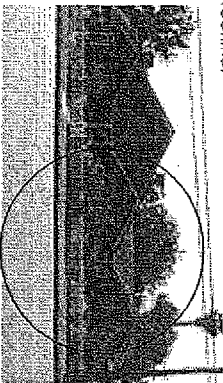
For buildings with 6 units or more, all trash collection areas should be enclosed with a minimum six-foot high decorative wall or fence.

Design Standard 9b.

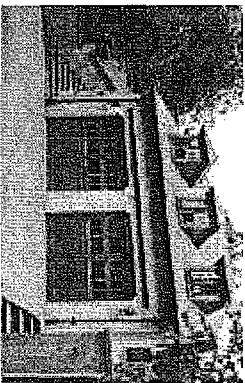
For buildings with 6 units or more, it is recommended that a



Standard 8e-8f example. 2nd floor addition is not to scale with the original structure and does not repeat original roofline.



Standard 8e-8f example. Addition is compatible with repeated architectural features and forms.



Standard 8g example. Two-story carriage house.



Standard 9a-9b example. Decorative fence enclosing trash collection area.

should be designed so as to appear compatible with or complementary to surrounding architecture and structures.

Design Standard 10a.

Where possible, wireless telecommunication facilities shall be incorporated into existing buildings and other structures and shall appear unobtrusive.

Design Standard 10b.

Where possible, rooftop wireless facilities shall be located so as to be least disruptive to the primary visible facade of the building and shall be screened by materials that are simple and do not compete with or attempt to replicate the architectural features of the existing building.

10. Wireless Telecommunications Facilities

separate enclosure area for recyclable materials be provided for each trash enclosure.

Guideline 10: Wireless

telecommunications facilities

should be designed so as to appear compatible with or complementary to surrounding architecture and structures.

SECTION 6 COMMERCIAL PROPERTIES REHABILITATION GUIDELINES & STANDARDS

Guideline 1: Commercial properties in Echo Park were built as neighborhood commercial in the early 20th century at a pedestrian scale served by the streetcar in an effort to allow easy access and walkability. As such, the period architecture is characterized by generous transparency and articulation to promote visual interest.

Projects identified as Architectural Resources in Appendix D are subject to the Secretary of the Interior's Standards for Rehabilitation of Historic Buildings, using the following standards:

Design Standard 1a

The original appearance of publicly visible facades shall be preserved. The removal of original materials or alteration of features and spaces that characterize a property shall be avoided.

Design Standard 1b

Deteriorated original features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials.

Design Standard 1c

Replacement elements shall match the original materials, design and finish as closely as possible.

Design Standard 1d

Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Design Standard 1e

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Design Standard 1f

New additions shall be designed to be compatible with the massing, size, scale and architectural features of a structure or site, while clearly reflecting the modern origin of the addition. Additions shall be designed to preserve the significant original fabric of structures or sites.

Design Standard 1g

Chemical or physical treatments, such as sandblasting, that cause damage to materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

SECTION 7 COMMERCIAL PROPERTIES INFILL GUIDELINES & STANDARDS

Guideline 1: Consider the design character of the nearby historic properties.

Design Standard 1a

Do not imitate historic architectural styles; a modern interpretation may be appropriate if architectural features are borrowed and replicated to a simpler form.

Guideline 2: Maintain the setbacks and form of buildings in the surrounding context.

Design Standard 2a

New construction shall be built to the property line.

Design Standard 2b

Other outlines, such as those seen from similar eave heights, porch heights and the relative alignment of window and door moldings, shall be complimentary in scale and size.

Design Standard 2c

Building may be set back an additional 15 feet if a paved courtyard is provided with a pedestrian amenity (water feature, benches, shade trees, landscaping).

Guideline 3: Relate to the scale of nearby architecturally significant buildings. Buildings along Sunset are characterized by a pedestrian scale and interest, which add variety to the surrounding commercial district. A new building should relate to the general size, shape and proportions of those buildings seen on Sunset.

Design Standard 3a

Minimize the visual impact of large monolithic structures by creating a cluster of smaller buildings or the appearance of a series of smaller buildings in line with the horizontal building divisions seen along Sunset.

Design Standard 3b

Building frontage on the floor(s) immediately above the ground floor shall be differentiated from the ground floor by recessed windows, balconies, offset planes or other architectural details.

Design Standard 3c

All exterior building walls shall provide a break in the plane, or a change in material, at least every 10 feet in horizontal length and every 15 feet in vertical length, created by an articulation or architectural detail, such as:

- A change in plane of at least 18 inches.
- Windows that are recessed at least six inches, when appropriate to architectural style.
- Incorporation of varied window treatments such as multipane, octagonal, circular, greenhouse or bay windows.
- Perforations on the surface of the building plane
- Building overhangs, porticoes, or projections
- Terraces, balconies, porches or cantilevered designs
- Wood accents and wood trim for windows and doors, when appropriate to architectural style.
- Varying roof forms and heights.
- Other architectural features or building materials that create a visual break.

Design Standard 3d

At least 50 percent of the building frontage between 2 and 8 feet of the ground floor of a building shall be devoted to:

- entrances for pedestrians
- display windows
- windows affording views into retail, office or lobby space

Design Standard 3e

Every building establishment must have a pedestrian entrance fronting the main commercial street.

Guideline 4: It is equally important for a new building to use similar primary building materials, at least in appearance.

Design Standard 4a

Employ materials that relate to the established architectural vocabulary of the neighboring buildings and district.

SECTION 8 DEMOLITION GUIDELINES

Buildings that are listed as Architectural Resources in the Echo Park CDO Index are subject to CEQA and shall conform to the following guidelines. These guidelines only apply to main structures and not secondary structures found in the Echo Park CDO Index.

1. The replacement project shall confer substantial benefits consistent with the residential goals and objectives of the Echo Park-Elysian Valley Community Plan, including, but not limited to, preserving neighborhood character.
2. The replacement project shall have a positive impact on neighborhood character, and that impact shall be so substantial as to offset the Silverlake-Echo Park-Elysian Valley Community Plan's policy of preserving period architecture.
3. The replacement project shall meet the design guidelines in the Echo Park CDO.

And/or

4. The continuance and non-demolition of the building will deprive the owner of the right to exit the rental market or cause a substantial denial of all economically viable use or economic return of the property. In the latter case, the applicant shall supply to the Planning Department with the following information:
 - a. The amount paid for the property, the date of purchase and the party from whom purchased (including in the description the relationship, if any, between the owner and the person from whom the property was purchased).
 - b. Photographs of existing conditions.
 - c. Engineer's report or other report on the condition of the structure.
 - d. Estimate by Engineer of cost of repairing structure, if applicable.

And/or

5. The demolition is required as a correction of Emergency or Hazardous Conditions where the Department of Building and Safety, Housing Department, or other enforcement agency has determined that emergency or hazardous conditions currently exist and the emergency or hazardous conditions must be corrected in the interest of the public health, safety and welfare. When feasible, the Department of Building and Safety, Housing Department, or other enforcement agency should consult with the Director on how to correct the hazardous condition, consistent with the goals of the Community Design Overlay. However, any other work shall comply with the provisions of this section.

SECTION 9 REHABILITATION OF RESIDENTIAL PROPERTIES GUIDELINES

General Rule: The Rehabilitation guidelines apply to structures identified as Architectural Resources in Appendix D of the Echo Park CDO. The Appendix shall serve as a reference for determining the presence of original features on a property. Existing features not original to the home are not subject to these guidelines. These guidelines shall apply to the portions of the residential structures visible at the public right-of-way.

1. Pedestrian Orientation

Guideline 1: Architecturally significant structures traditionally were sited on their lots in a way that emphasized a progression of public to private spaces and contribute to a sense of pedestrian orientation. Preserve and retain original landscaping, fences, walks, and open space to the extent feasible.

Design Standard 1a.

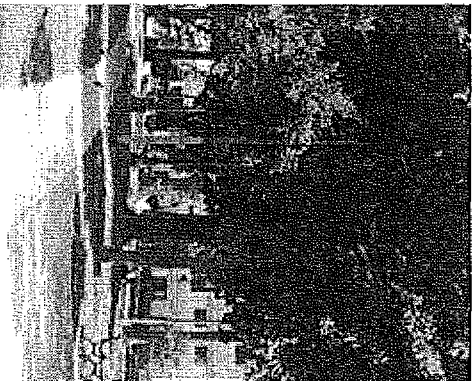
Mature trees and hedges should be retained whenever possible. If replacement is necessary, in-kind plant materials are recommended.

Design Standard 1b.

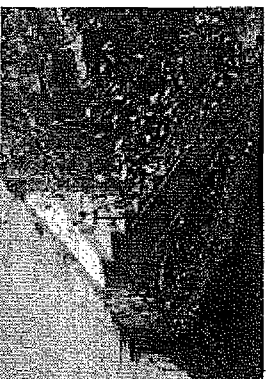
Historic topographic features shall be preserved whenever possible, leveling or terracing a lot that was traditionally characterized by a steep hillside or raised lawn shall be avoided when possible.

Design Standard 1c.

Original walkways and other hardscape features in the front yard should be preserved. If these elements are replaced, they should be replaced with materials similar to those historically present in the area.

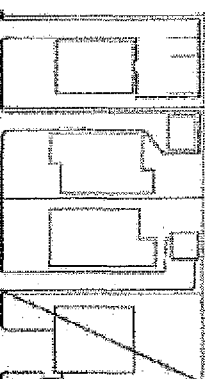


Standard 1a example. Mature trees should be retained.



Standard 1d example. Historic retaining wall.

Design Standard 1d.
New or replacement retaining walls shall be constructed in a style and with materials that harmonize with the house and with other existing historic retaining walls in the area.



Standard 1g example. Parking areas shall be located to the rear of the property.

Design Standard 1f.

The traditional character of residential front and side yards should be preserved. These areas should be reserved for planting materials and lawn, and non-porous ground coverings should be minimized.

Design Standard 1g.

Parking areas and carports shall be located to the rear of a

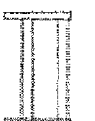
Wood



Picket Fence



Stockade Fence



Split Rail Fence

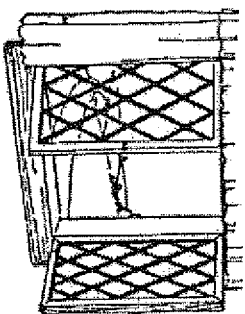


Board and Batten Fence

Standard 1e example. Appropriate wooden fences.

structure, and driveways to the side or rear, whenever possible. Paving the front yard is inappropriate.

Design Standard 1h.
Widening a driveway is inappropriate. "Hollywood" driveways, in which the tracks for the car are separated by a planted strip, are appropriate.



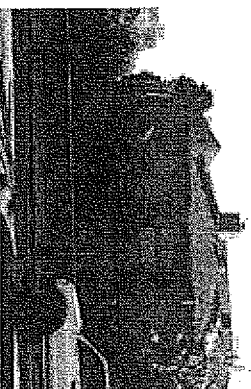
Casement

Standard 2c example. Preserve original pattern of fenestration and openings to the extent feasible.

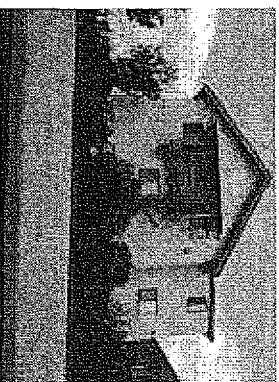
2. Fenestration
Guideline 2: Preserve original pattern of fenestration and openings to the extent feasible.

Design Standard 2a.

Repair original windows or doors whenever possible instead of replacing them.

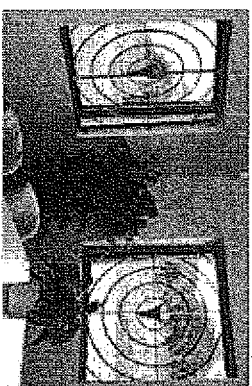


Standard 2c example. The original windows to this home contribute to the home's character.



Design Standard 2b.
When the replacement of windows/doors on street visible facades is necessary, replacement shall match the original windows/doors in size, shape, arrangement of panes, materials, hardware, method of construction, and profile. True divided light windows shall be replaced with true divided light windows, and wood windows with wood windows.

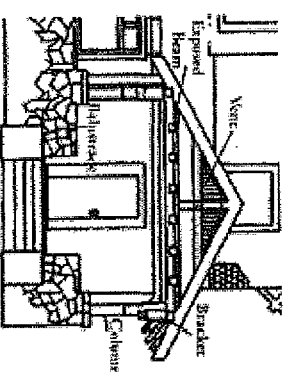
Standard 2c example. This home had its original windows removed and inappropriate window openings added.



Standard 2e example. Interior burglar bars do not match the muntin and mullion patterns of the window.

Design Standard 2e.

Burglar or safety bars should only be installed on secondary facades (not visible from the public right of way). Bars should match the muntin and mullion patterns of the window on which they are mounted as closely as possible, and should be painted to match the predominant window trim. However with respect to significant security concerns, any necessary bars on the front facade should be installed on the interior of a window or opening, match the muntin and mullion patterns of the window on which they are mounted, and be painted to match the predominant window trim.



Standard 3b example. Craftsman Style porch.

Design Standard 2c.
The original pattern, location, size and proportions of windows/doors onto a facade shall be maintained. Filling in or altering the size of original windows/doors is inappropriate.

Design Standard 2d.
Adding new windows/doors to building facades is inappropriate.

Design Standard 2f.
Decorative bars or grillwork that is original to the structure shall be retained.

3. Porches

Guideline 3: Porches are one of the most important character defining features of historic structures and original porches and features should be preserved to the extent feasible.

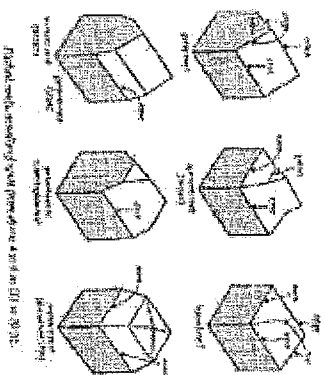
Standard 3d-3e example. Enclosed porch fitted with windows.

Design Standard 3d.
Additional porch elements should not be added if they did not exist originally.

Design Standard 3f:
Addition of a handrail on the front steps of a house for safety or handicapped access reasons may be appropriate, if the handrail is very simple in design.

Guideline 4: Varied roof forms add to the neighborhood

Standard 4a example.
Various roof forms.



Design Standard 4b.
Original Roof and eave details, such as rafter tails, vents, corbels, dormers, built in gutters, chimneys and other architectural features and/or materials shall be preserved. If these elements are deteriorated, they shall be repaired if possible.

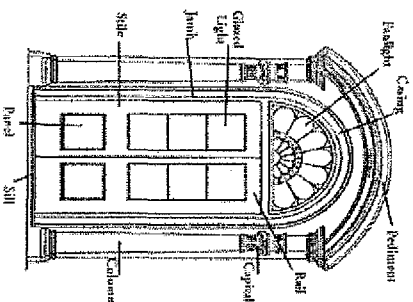
A black and white photograph of a traditional Chinese building. The image shows a section of the building with a tiled roof and a small square window. The building appears to be made of brick or stone. The photograph is grainy and has a high-contrast, almost abstract quality.

Design Standard 4c.
Replacement roof materials shall be substantially similar in appearance to those used originally, particularly when viewed at a distance from the public sidewalk, and shall convey a scale, texture, and color similar to those used originally.

5. Architectural Details

Design Standard 5c.
Original architectural details or features shall be preserved and maintained.

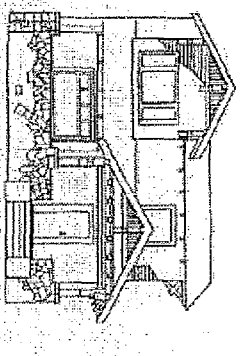
Deteriorated materials or features shall be repaired in place, if possible.



Standard 5a example.
Elements of a door.

Design Standard 5c.

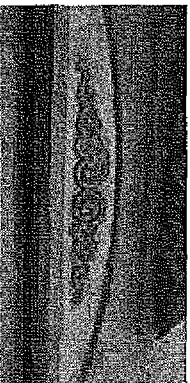
When it is necessary to replace original materials or features due to deterioration, replacement shall be or appear to be in kind, matching materials, texture and design.



Standard 5a example. Architectural elements of a Craftsman home.

Design Standard 5d.
Original building materials and details shall not be covered with non-original materials.

Design Standard 5e.
Architectural details and features that are not appropriate to the architectural style of a building or structure shall not be added.



Standard 5a example. Original terracotta detailing should be preserved.

6. Original Building Materials & Finishes

Guideline 6: Original building materials and finishes shall be preserved to the extent feasible.

Design Standard 6a.
Original building materials shall be preserved whenever possible.

Design Standard 6b.
Repairs through consolidation or "patching in" are preferred to replacement.

Design Standard 6c.

If replacement is necessary, replacement materials shall match or appear to match the original in material, scale, finish, details, profile, and texture.

Design Standard 6d.

Original building materials shall not be covered with vinyl, stucco, or other finishes.

Design Standard 6e.

If resurfacing of a stucco surface is necessary, the surface applied should match the original in texture and finish.

7. Mechanical Features

Guideline 7: The presence of mechanical features can detract from neighborhood character. Screen mechanical equipment when feasible.

Design Standard 7a.

Satellite television dishes and other mechanical appurtenances (including electrical masts, headers and fuse boxes) shall be placed in a location that is not visible from the public way whenever possible and that does not damage significant architectural features.

Design Standard 7b.

Mechanical apparatus not mounted on the structure shall not be located on street visible facades, whenever possible. In addition, consider placing such apparatus out of sight and sound of neighboring homes.

Design Standard 7c.

Mechanical apparatus that must be placed in a street visible location shall be obscured from view whenever possible, including the use of landscape screening and the use of paint colors to match the surrounding environment.

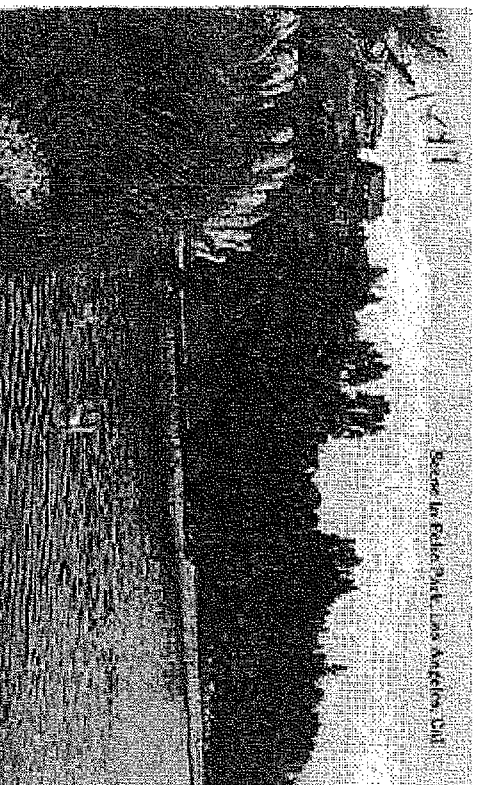
SECTION 10 APPENDIX A

Exhibit B

Echo Park Overview¹

Echo Park developed around Echo Park Lake, which traces its origins to the earliest remnants of the City of Los Angeles water system. The Echo Park area is located in one of the earliest suburbs that developed around downtown Los Angeles. Echo Park Lake was a reservoir that was created in 1870 as a part of the City's original water system, and Echo Park, one of the City's earliest municipal parks, was established in the 1890s. The CDO area is generally bounded by Sunset Boulevard on the north, Hollywood (U.S. 101) Freeway on the south, Bonnie Brae Street on the west, and Echo Park Avenue on the east. These boundaries are not entirely consistent with the extent of development within historic tract boundaries. On the western edge of Echo Park, Glendale Boulevard abuts a steeply ascending hillside terrain, and several municipal staircases link the hilltop neighborhood. Echo Park Lake is nestled between two hills: the hill to the west in the Echo Park CDO and to the east in the Angelino Heights HPOZ.

First established as Reservoir No. 4 by the Canal & Reservoir Company in 1870, Echo Park Lake was essentially a basin that



served to capture runoff from the "upper flows" of the Los Angeles River. Water from the reservoir powered the City's first woolen mills. In 1872, the Canal & Reservoir Company sold the property to a group of investors, including Thomas Kelley, which began years of legal wrangling with the city over water rights. Despite uncertain ownership, Kelley and his associates platted the Montana Tract in 1887 to capitalize on the real estate boom occurring during the 1880s. After years of litigation with the City of Los Angeles, Kelley and his associates abandoned their water-rights claim, and donated one-third of the land to create a city park.

In 1903, developers Hoge & Gaylord and Moses Wicks subdivided the Echo Park Tract and the Lake Side Tract for residential purposes in the western portion of the project area. A 1906 Sanborn map indicates a smattering of residential development along Bonnie Brae Street, Montrose, Kent, Lake Shore Avenue, and Sunset Boulevard, with the majority of parcels vacant.

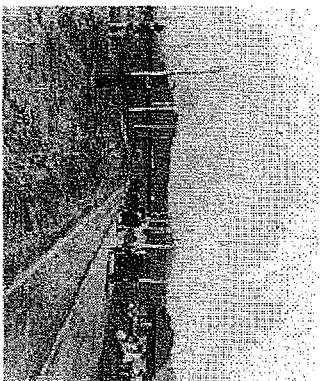
Craftsman style houses began to appear in Echo Park after the turn of the century. Derived from the Arts and Crafts movement in California, architects and contractor-builders of the Craftsman style produced bungalows and mid-size middle class homes. Typically wood frame, sheathed in clapboard or shingles, these homes made extensive use of local Arroyo stone or brick for garden walls, foundations, chimneys, and porch supports. Low-pitched gable roofs, projecting rafters, and numerous porches defined the style. Extant Craftsman single-family homes in the project area can be

found on Clinton Street and Burlington Avenue, for example, though some have been altered.

Other architectural styles which predominated in the twentieth century single-family residential subdivisions of the Echo Park CDO area included the Classical or Colonial Revival style bungalows, and the Mediterranean or Spanish

Colonial Revival style homes which still stand in many neighborhoods throughout Echo Park. Set back from the street, low in scale, the Classical or Colonial Revival style houses were detailed with classical columns and pediments. The Spanish Colonial Revival houses were ornamented with tile roofs and shutters. These small structures, in either style, expressed the desire for home ownership and growth of community through residential development.

Early Modern styles began to appear in Los Angeles during the 1930s and fine examples of modern styles exist in the survey area, some with significant historic associations.



Glendale Blvd. by Sunset Blvd., 1904.

Echo Park was developed as a streetcar suburb, which was designed with an eye toward neighborhood walkability and the convenient use of public transportation. Echo Park was characterized by carriage houses in the rear, which often included parking garages accessible through a rear alleyway, driveways and built-in garages were less common. Local community shops such as groceries, bakeries and drug stores were usually built near the intersection of streetcar lines or directly along more heavily traveled routes, such as Sunset Boulevard. These shops would sometimes be multi-story buildings (Jensen's Recreation Center is the prominent commercial building in the immediate area), with

apartments on the upper floors. These provided convenient shopping for household supplies for the surrounding neighborhoods that could potentially be visited on ones way to or from work.

The CDO project area was primarily developed by three different developers, beginning in 1887 when Thomas Kelley and his associates platted the Montana Tract. The Montana Tract includes parcels located on Park Avenue to Sunset Boulevard and Montana Street. The Echo Park Tract, stretching from the west side of Glendale Boulevard at Kent Street on the south to Sunset Boulevard on the north, was subdivided by Hoge & Gaylord in 1903. Due west, remaining parcels in the survey area are located within the boundaries of the Lake Side Tract, platted by Moses L. Wicks and Stephens Investment Company in 1903. A few miscellaneous parcels in the CDO are not included within these tract boundaries.

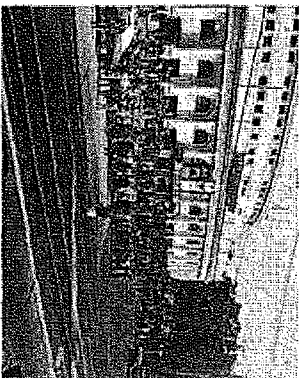
The majority of development ended by the 1930's. Modern style houses were built in the 1940's and 1950's. While the majority of the area was developed by this point, the construction of the Hollywood (101) Freeway in 1953 marked a physical barrier to the nature of the neighborhood, separating the lake area from other residential communities. Also in 1953 two major buildings were constructed for the Church of the Foursquare Gospel, a National Historic landmark.

Also within the CDO project area along Sunset Boulevard is a 1920s-era commercial district, distinguished by the Beaux-Arts style Jensen's Recreation Center, built in 1924. The strip, modest in scale, has historically serviced the survey area and adjacent neighborhoods, and it remains one of the few commercial districts from its era that retains an integrity of feeling and association in the City. The modest commercial centers in the area were part of the neighborhood-serving, street-car integrated layout of the district, where walkability and ease of access were paramount. In addition, this portion of Sunset Boulevard, between Figueroa Street and Santa Monica Boulevard, was originally Route 66,

and the commercial buildings along Sunset Boulevard retain their associations with this historic road. The CDO provides Interim Design Guidelines until permanent regulations are adopted for Sunset Boulevard.

Angelus Temple

The Angelus Temple remains one of the most significant structures in Echo Park, and the presence of the Church of the Foursquare Gospel may have influenced development patterns in the area. In 1923 Aimee Semple McPherson established the Angelus Temple on Glendale Boulevard to house her International Church of the Foursquare Gospel. The Foursquare Gospel, based on Pentecostal teachings, such as baptism and the Second Coming, eventually sprouted 240 churches in Southern California, and 200 across the country.



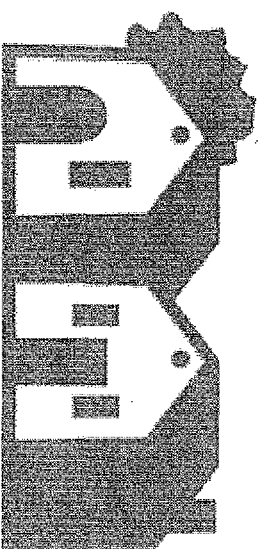
¹ Adapted from the Echo Park Historic Resources Survey, by Jones & Stokes, December, 2007.

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Section 10 Appendix C

Residential Rehabilitation Checklist



Projects that do not involve a "Yes" answer to all questions and/or that are not visible from the public right-of-way may be found in substantial conformance with the provisions of the Echo Park Design Guidelines and Development Standards and may be issued a Building Permit Clearance Sign-off. Projects that do involve a "yes" answer to any of the following questions must submit a formal application to the Department of City Planning for Community Design Overlay Plan Approval subject to the provisions of LAMC 13.08.

Applicant Name: _____ Application Signature _____

Property Address: _____

Phone: (____) _____

Planning Case No: _____ Building Permit No: _____

**NOTE: Architectural Resources listed in the Echo Park Appendix*

1. Yes ☐ No ☐ Does the project involve repair work, which does not include in-kind replacement and does involve a change in the original design and/or materials?

Site Planning

2. Yes ☐ No ☐ Does the project involve the removal or relocation of a primary entrance?
3. Yes ☐ No ☐ Does the project involve the relocation of a parking area to an area on the site that is not the side or rear yard?
4. Yes ☐ No ☐ Does the project involve demolition? Or partial demolition?

Building Design

5. Yes ☐ No ☐ Does the project involve the enclosure of, removal or alteration of a front porch?
6. Yes ☐ No ☐ Does the project involve the modification of window or door openings?
7. Yes ☐ No ☐ If the project involves an addition, does the addition protrude from the existing roof line as viewed from the sidewalk?
- Does the addition contain a building facade facing a public street?

Architectural Features

8. Yes ☐ No ☐ Does the project involve a change in original building material (such as wood cladding to stucco)?
9. Yes ☐ No ☐ Does the project involve the removal of an original door?
10. Yes ☐ No ☐ Does the project involve the removal of an original window?
11. Yes ☐ No ☐ Does the project involve the removal of decorative features such as corbels, brackets, railings, or other architectural features that are original to the house?

Hardscape

12. Yes ☐ No ☐ Will the project result in a percentage of non-permeable surfaces in the front yard that exceeds 50%?
13. Yes ☐ No ☐ Does the project involve a new chain link fence?
14. Yes ☐ No ☐ Does the project involve the removal of mature trees?
15. Yes ☐ No ☐ Does the project involve the installation/repair of hardscape materials located in the front yard?
16. Yes ☐ No ☐ Does the project involve grading that equals or exceeds 500 cubic yards and site development visible from the street or sidewalk?
17. Yes ☐ No ☐ Does the project involve the construction/repair of decks, with part of the deck visible from the street or sidewalk?
18. Yes ☐ No ☐ Does the project involve the installation/Repair of swimming pools, where part of the swimming pool or pool equipment is visible from the street or sidewalk?

***NOTE: Architectural Resources Not Listed in the Echo Park Appendix**

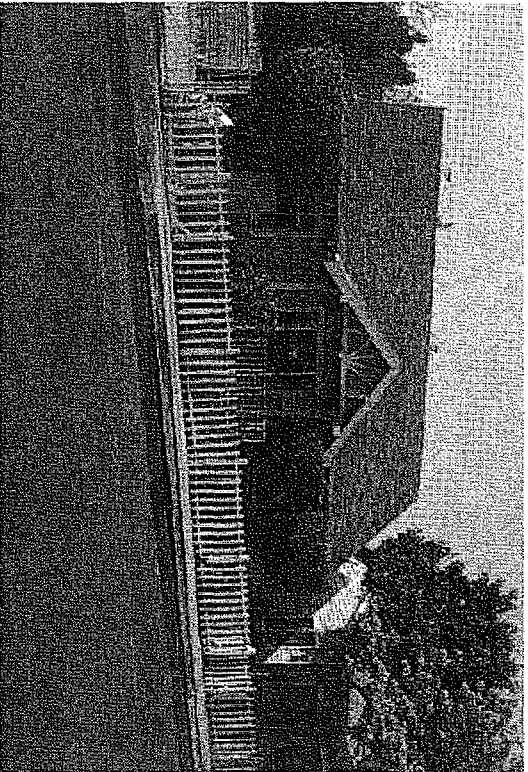
1. Yes ☐ No ☐ Does the project involve an addition; does the addition protrude from the existing roof line as viewed from the sidewalk?
Does the addition contain a building facade facing a public street?
2. Yes ☐ No ☐ Does the project involve demolition or partial demolition on a facade facing a public street?

The project does not necessitate a "Yes" answer to any of the above, therefore I find that the project substantially complies with the adopted Community Design Overlay Guidelines and Standards and is within the scope of Minor Project Review as defined by Section 3 of the Echo Park CDO. I further find that the project, and any applicable structure, site plan and landscaping are compatible in scale and design with existing development and any cultural scenic or environmental resources adjacent to the site and vicinity.

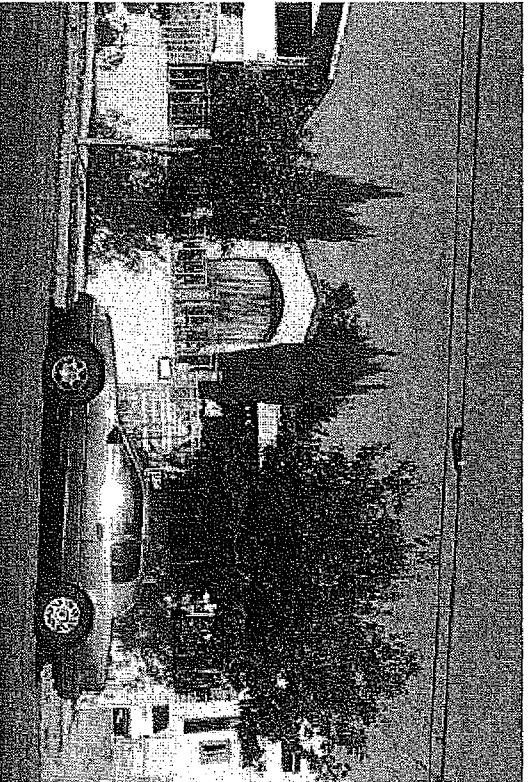
Staff Name _____	Staff Signature _____	Title _____
		Date _____

SECTION 10 APPENDIX D

Architectural Resources



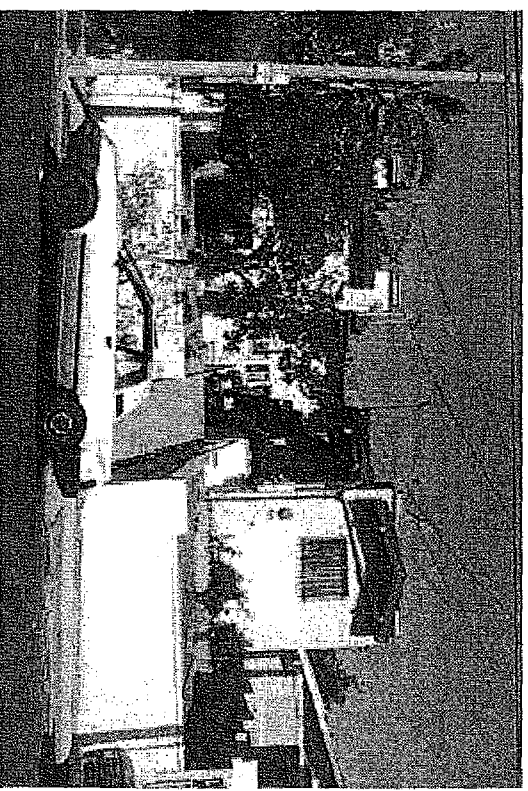
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1717-1719 Bellevue Ave.



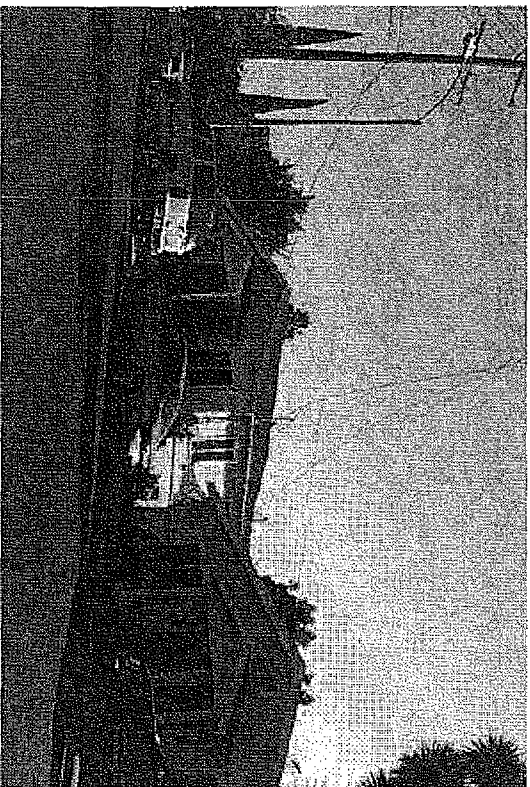
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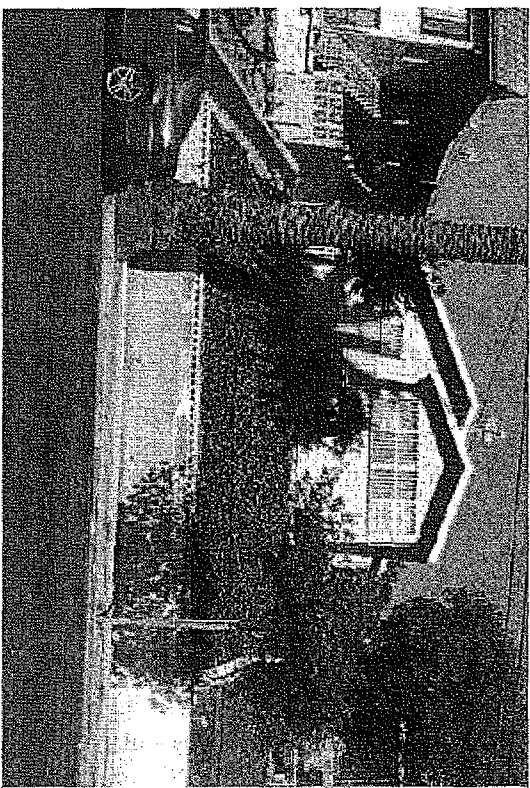
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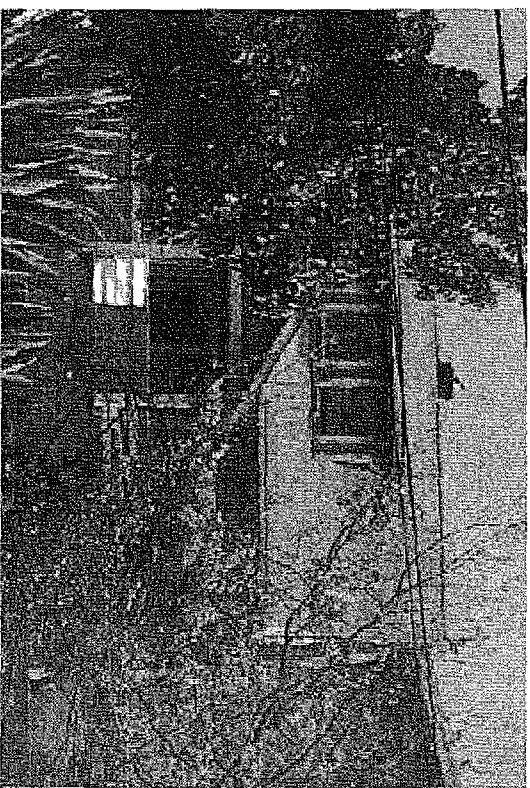
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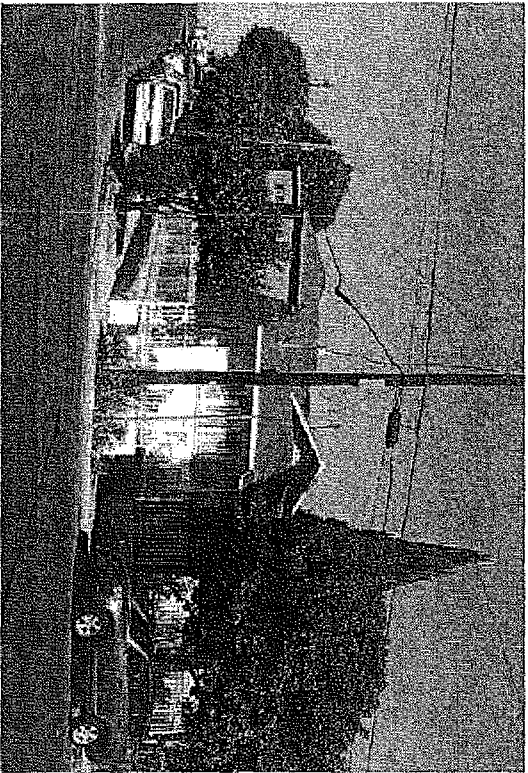
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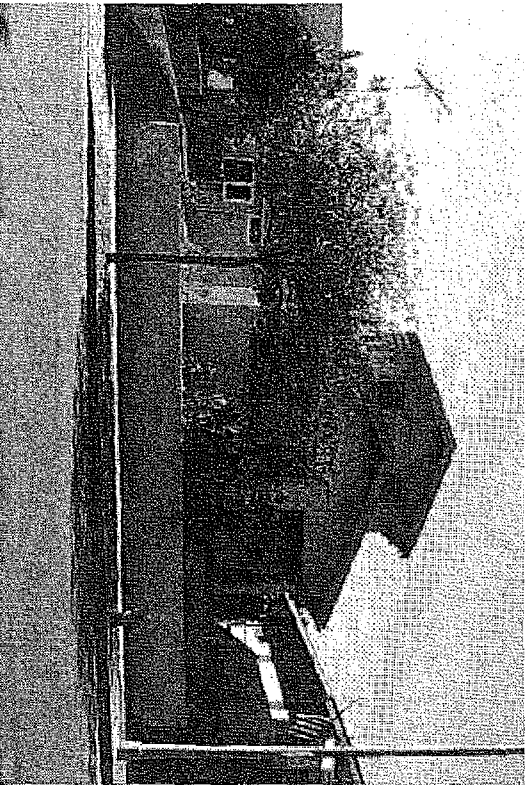
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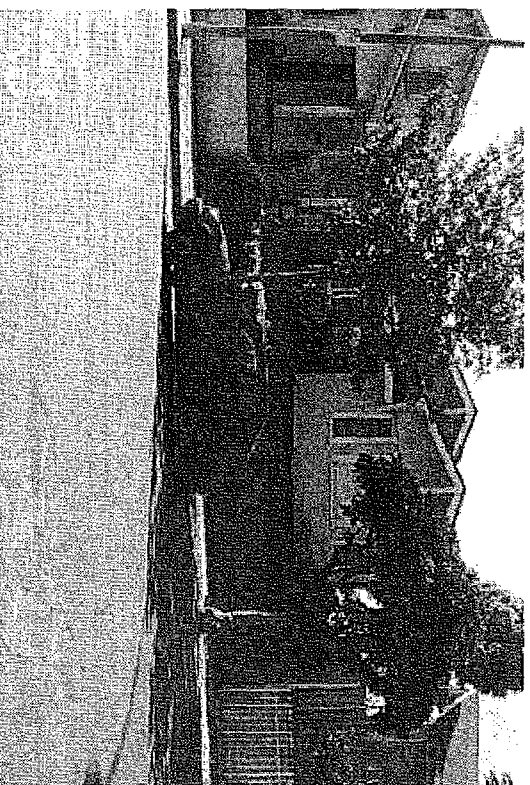
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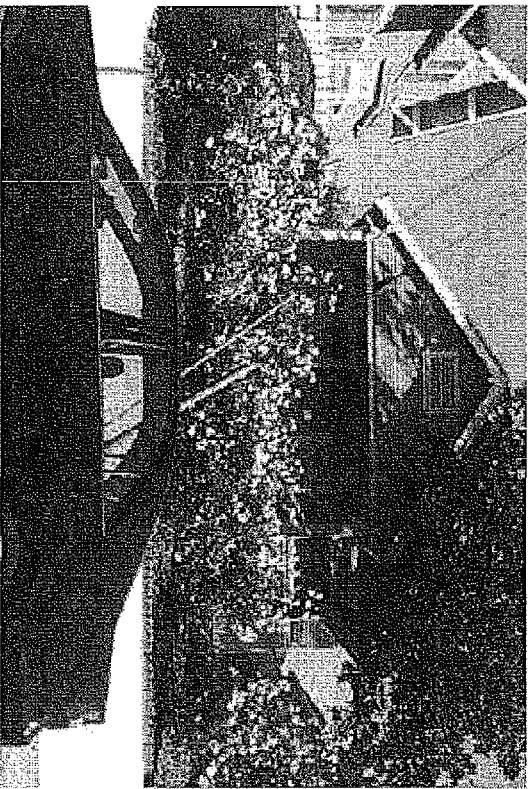
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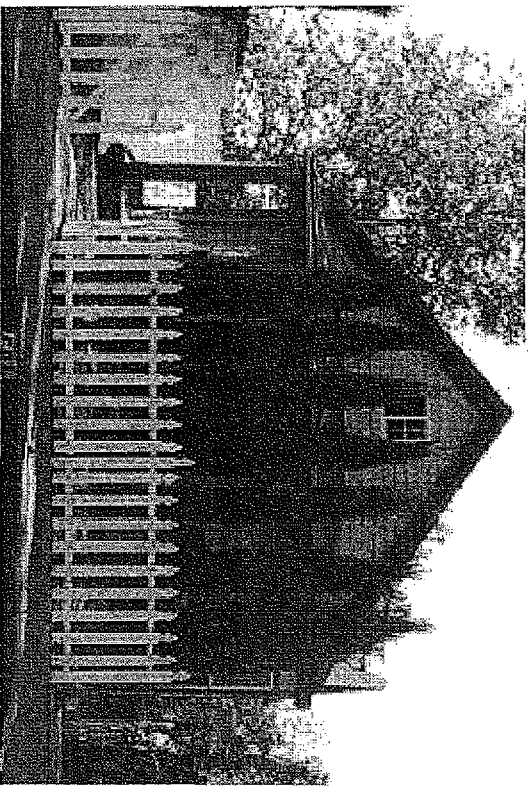
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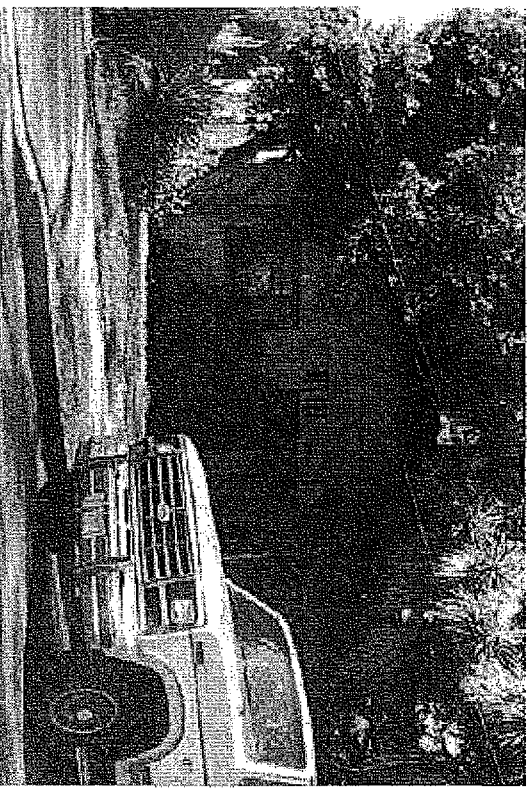
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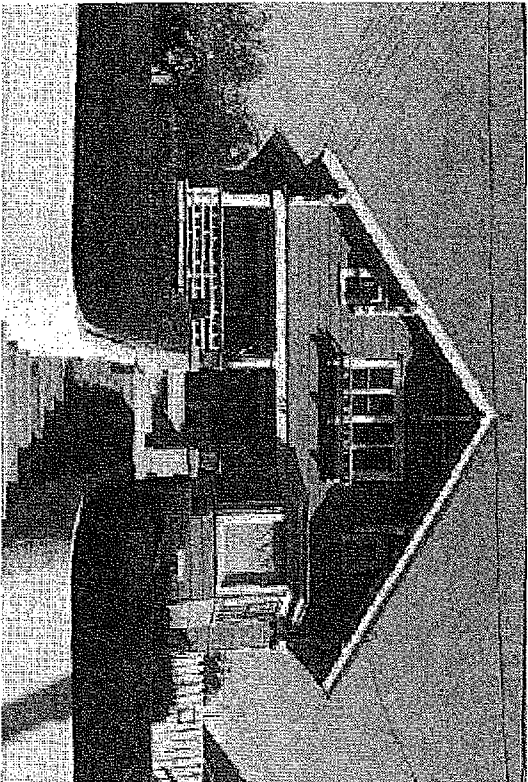
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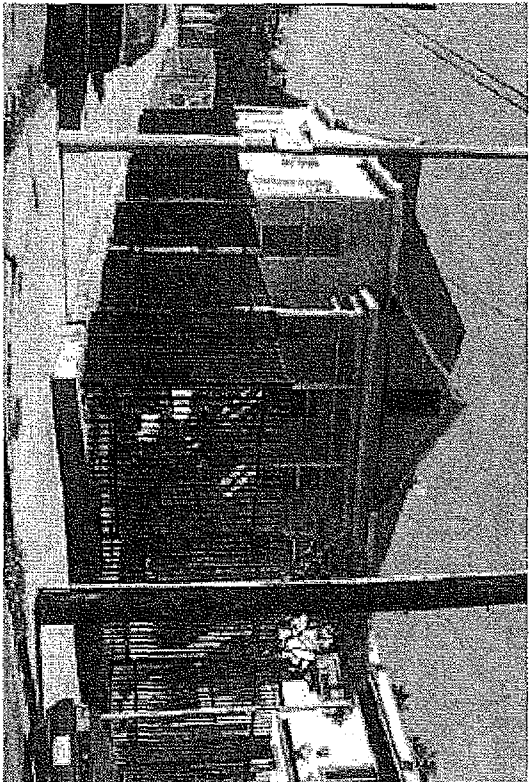
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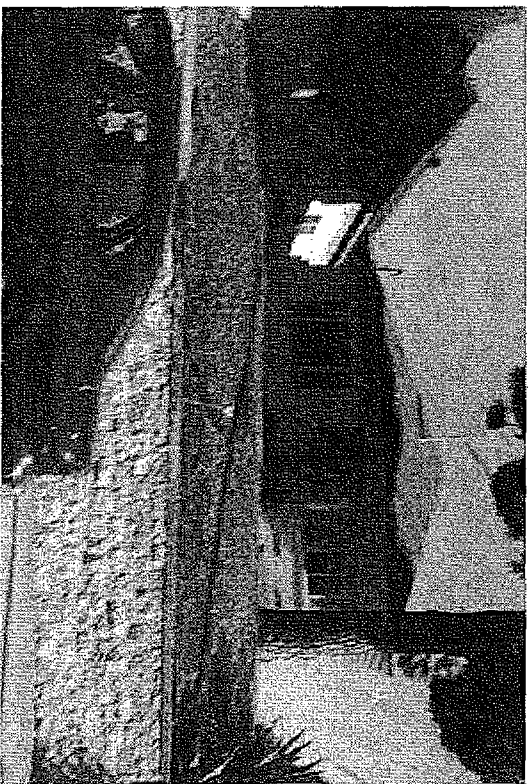
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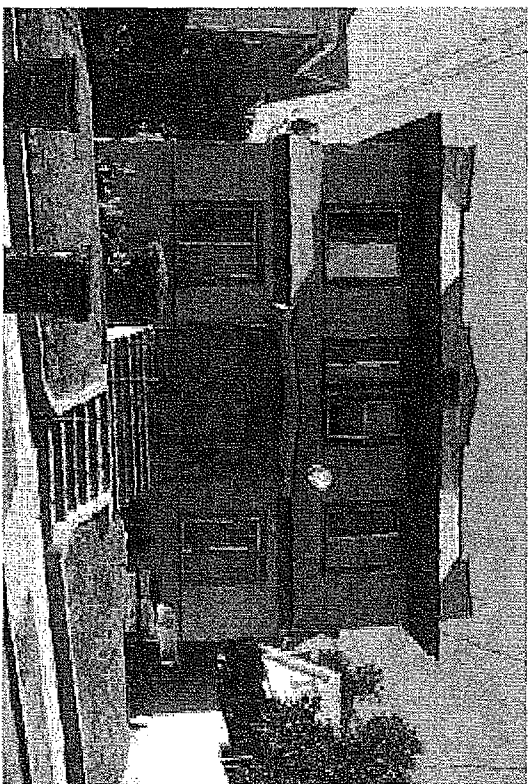
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601 Belmont Ave.



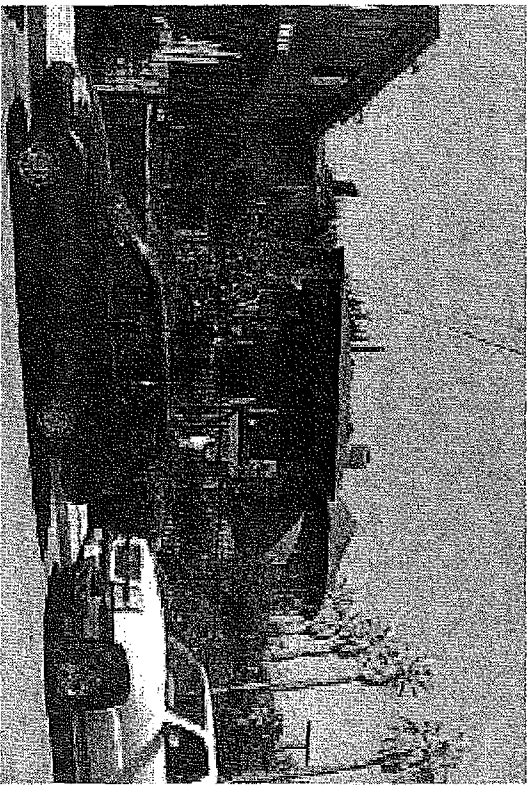
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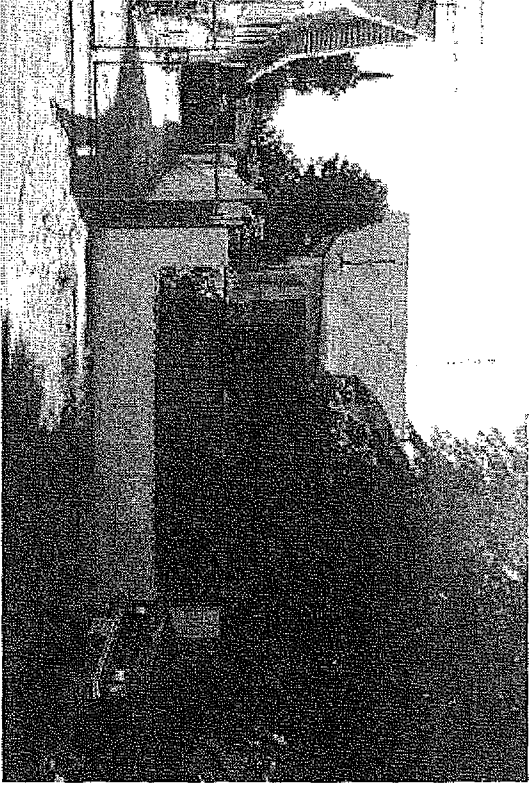
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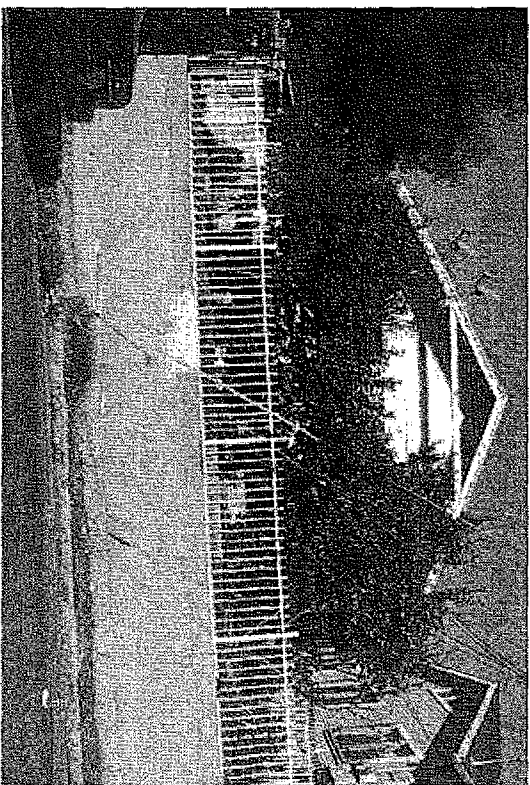
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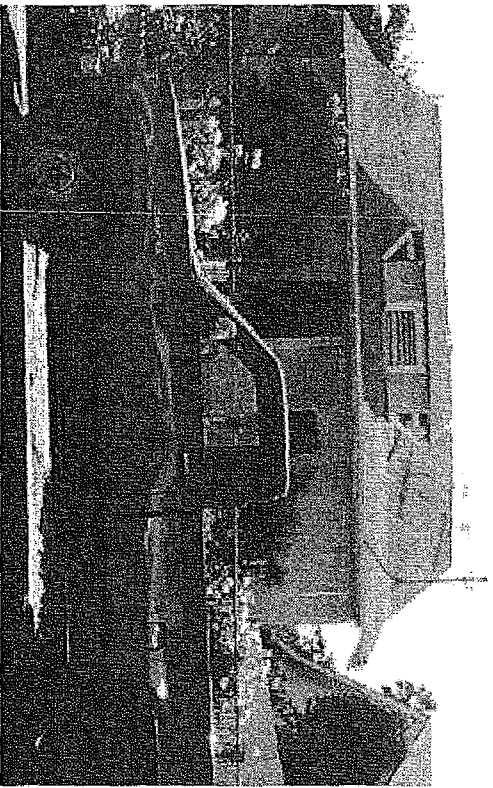
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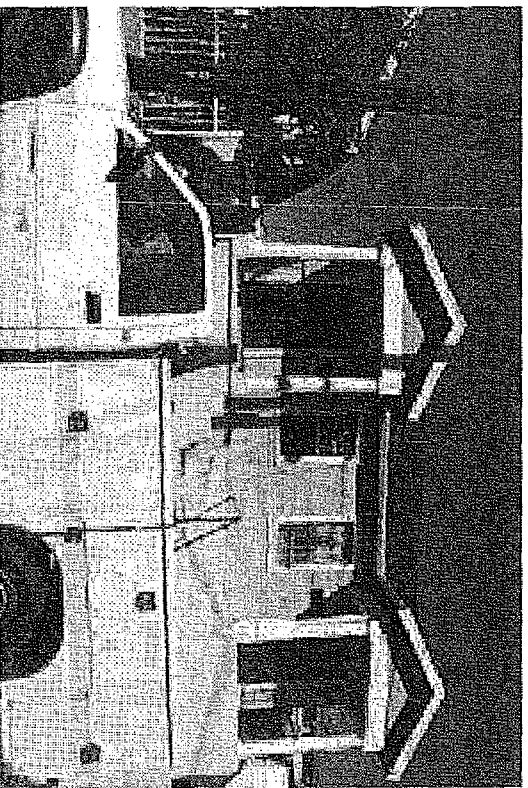
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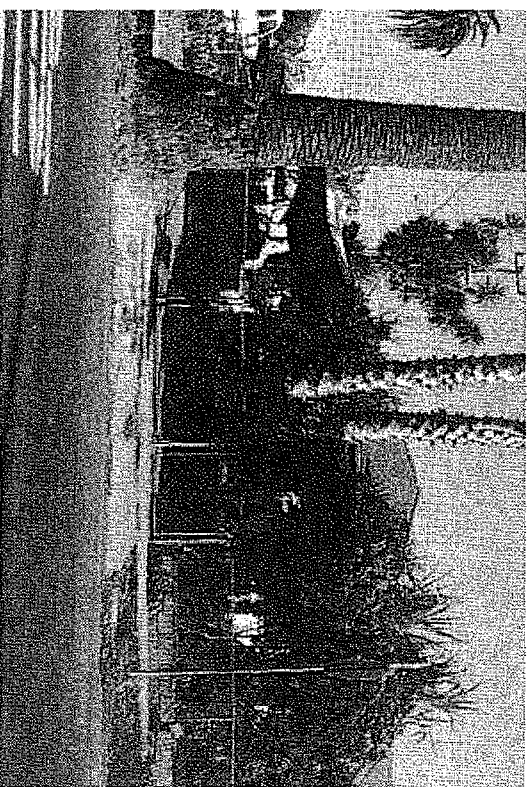
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526 N. Bonnie Brae St.



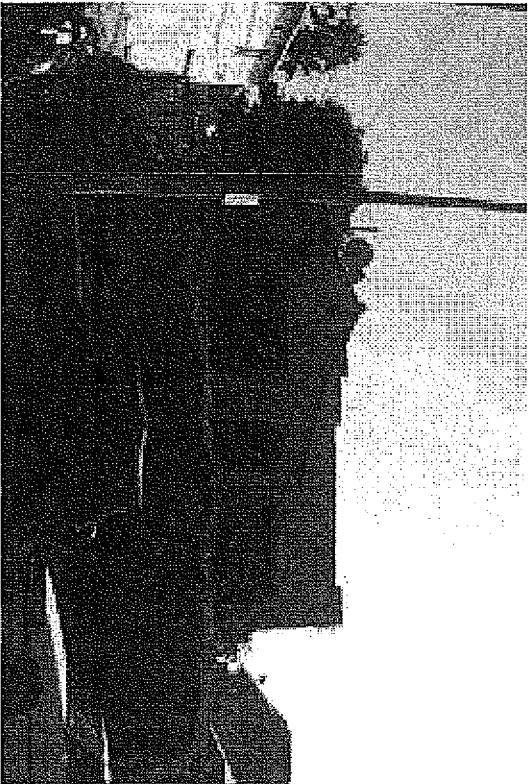
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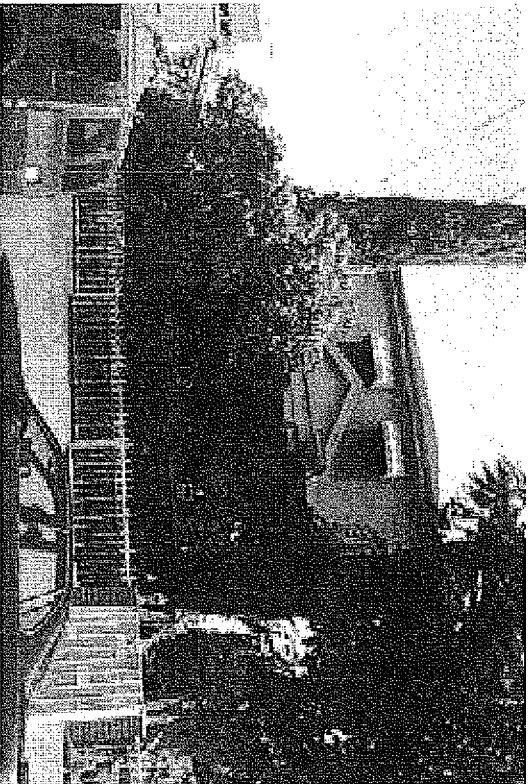
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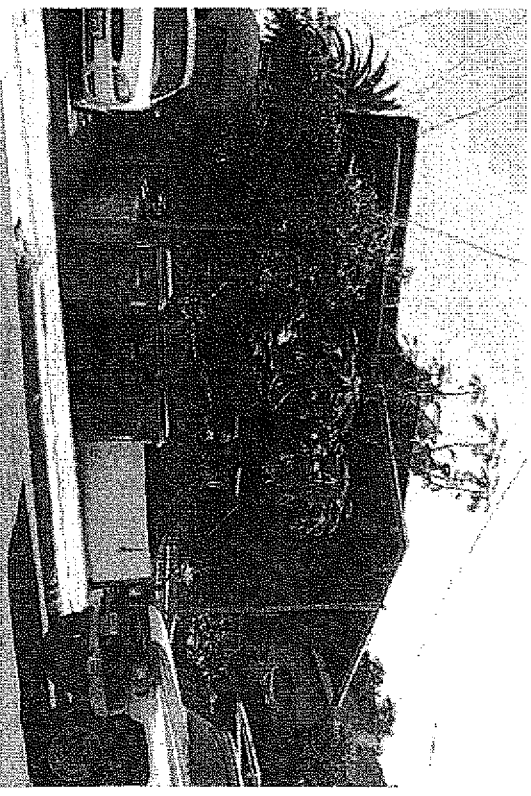
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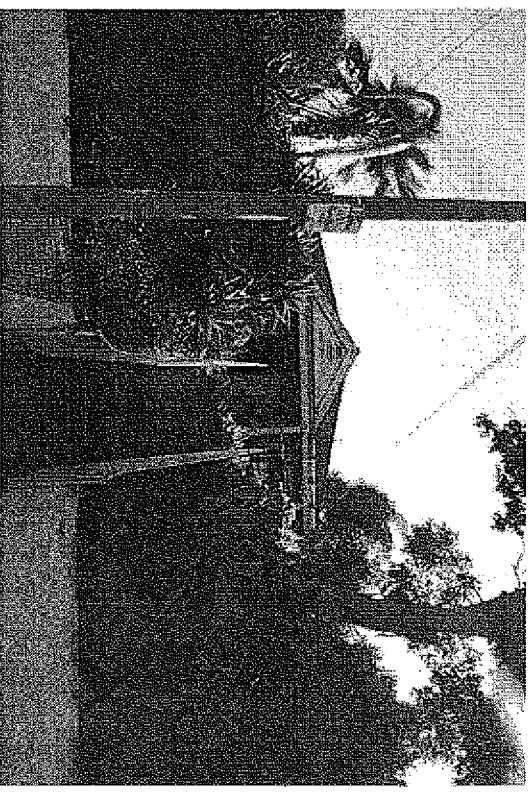
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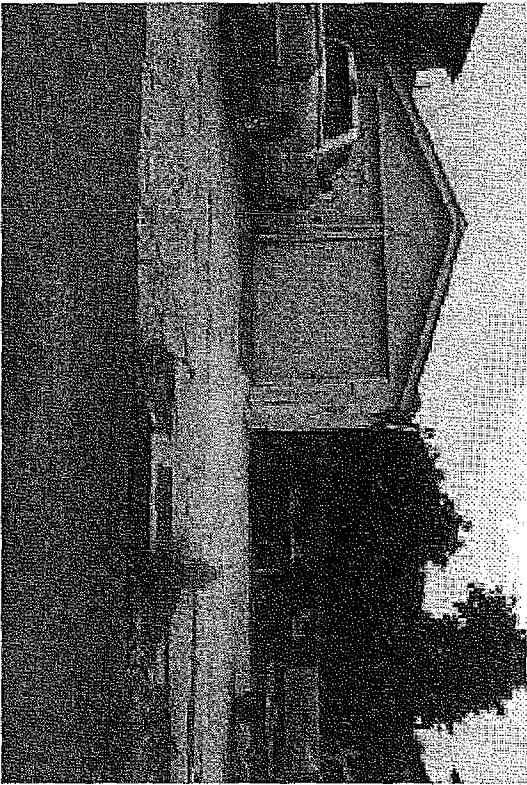
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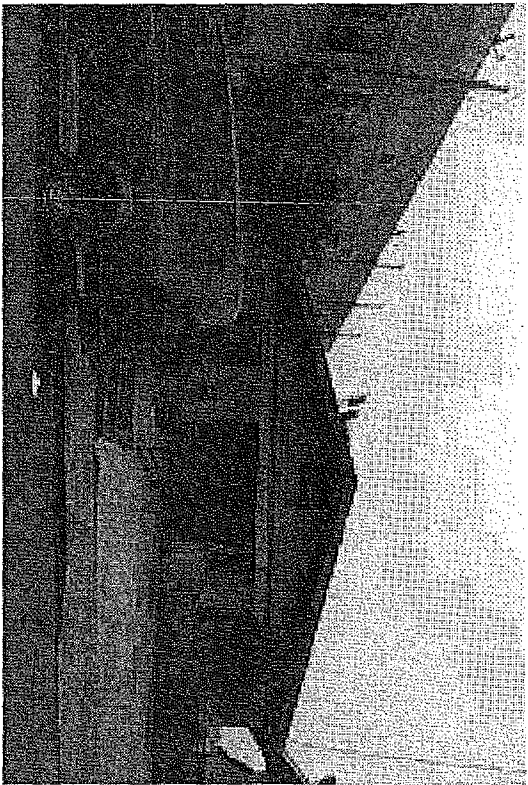
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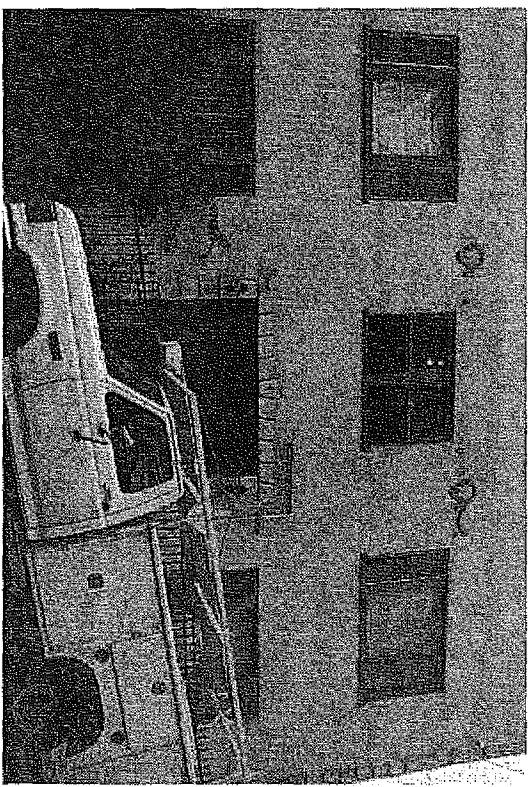
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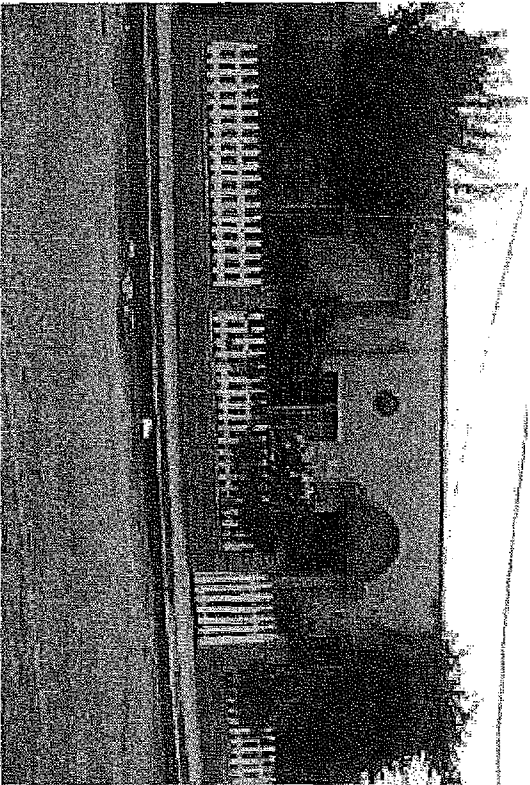
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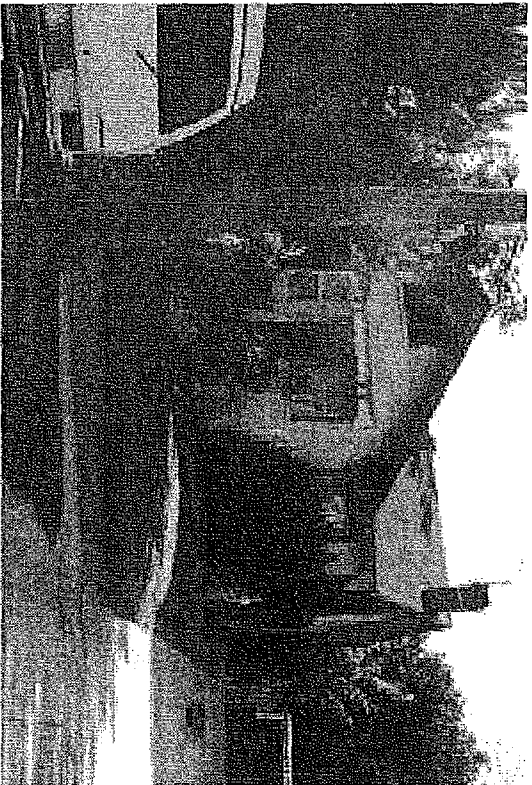
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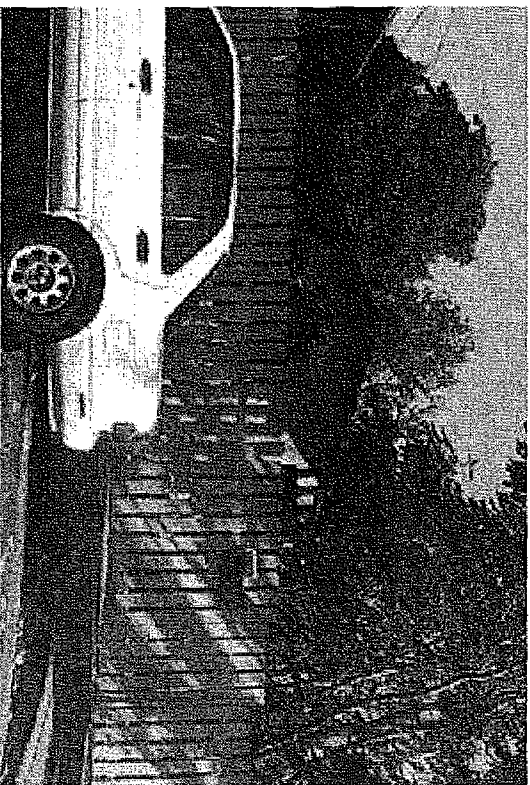
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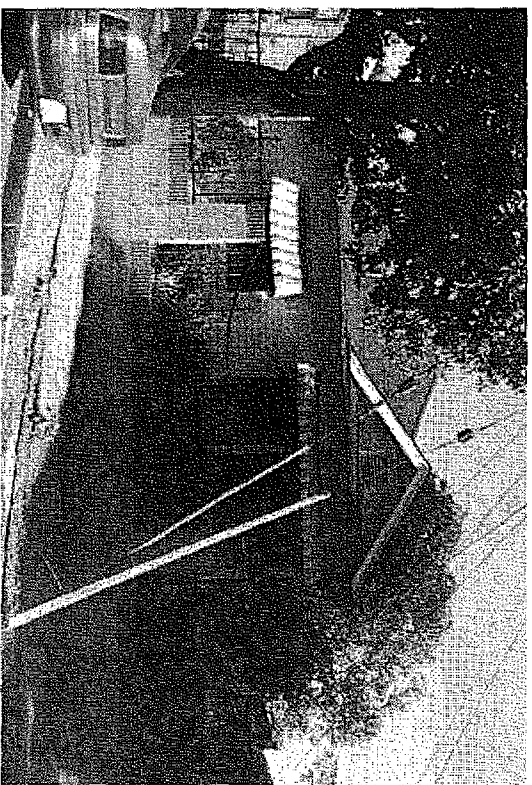
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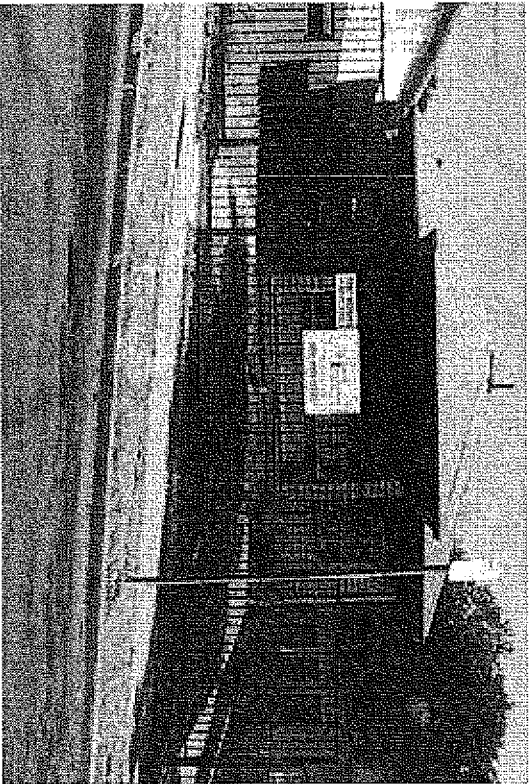
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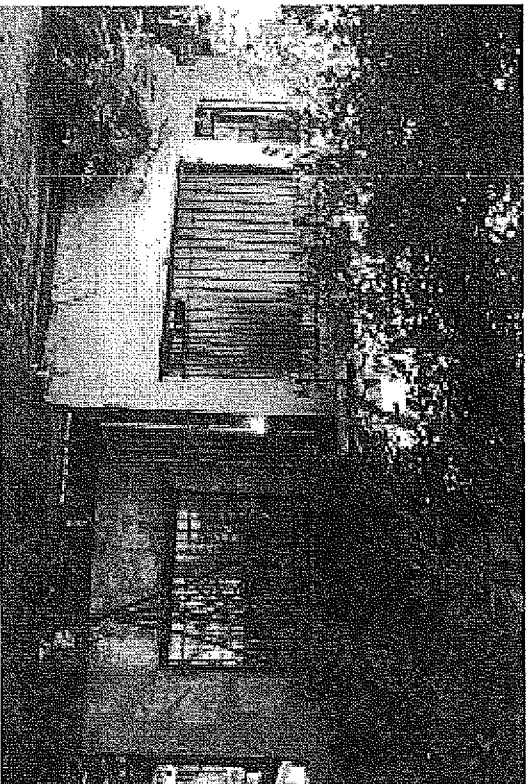
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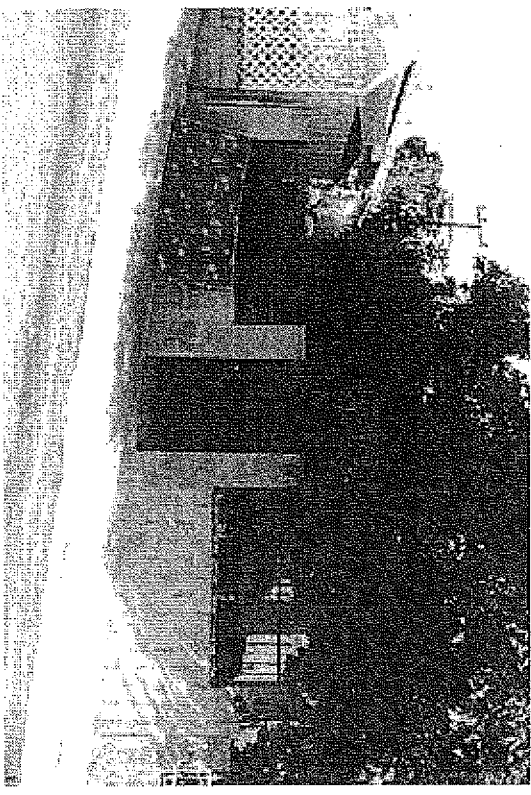
504 N. Burlington Ave.



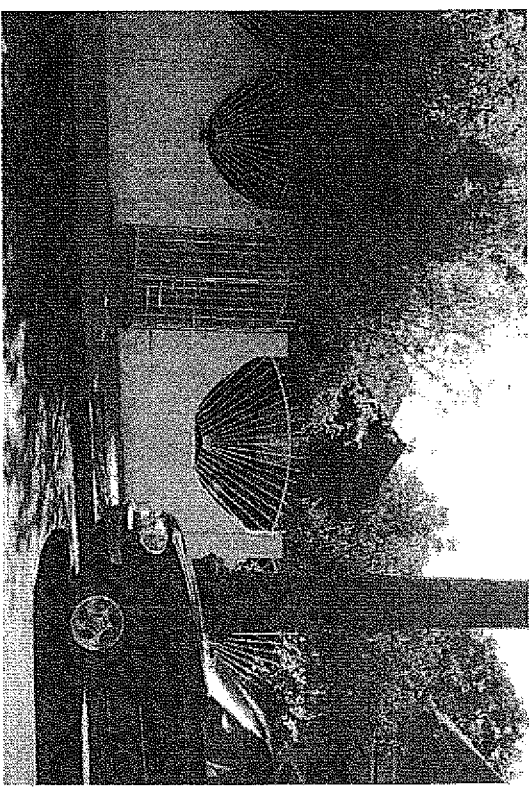
508 N. Burlington Ave.



1712 Clinton St.



516 N. Burlington Ave.



1718 Clinton St.



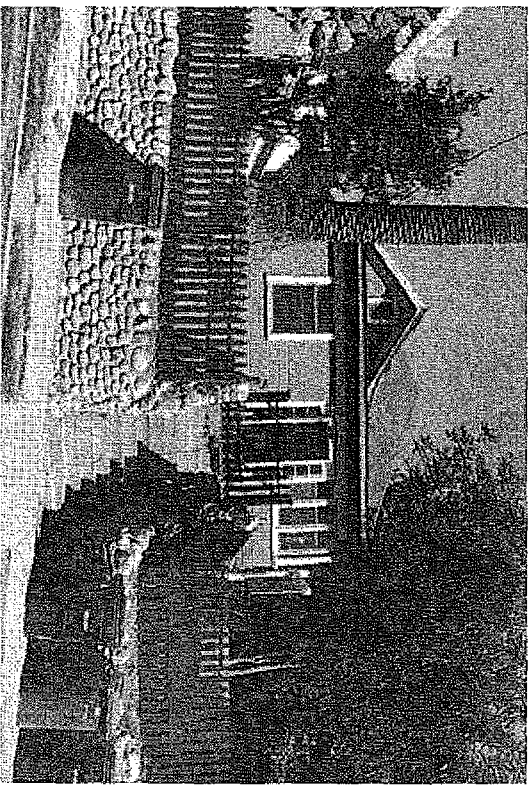
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1728 Clinton St.



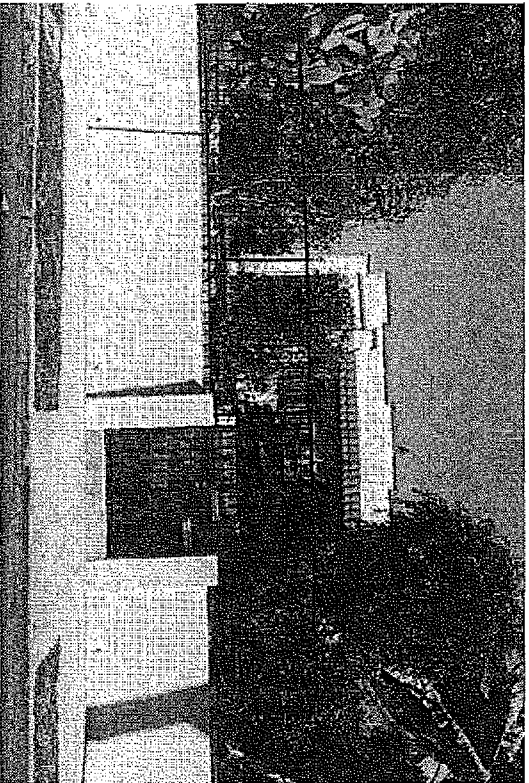
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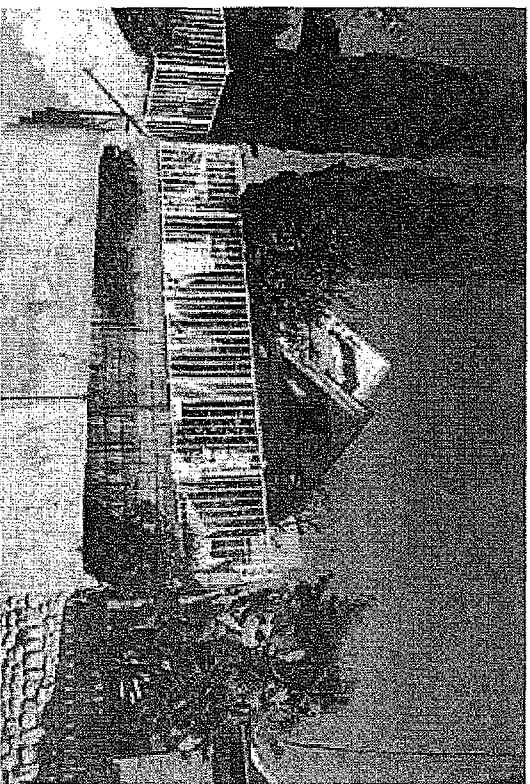
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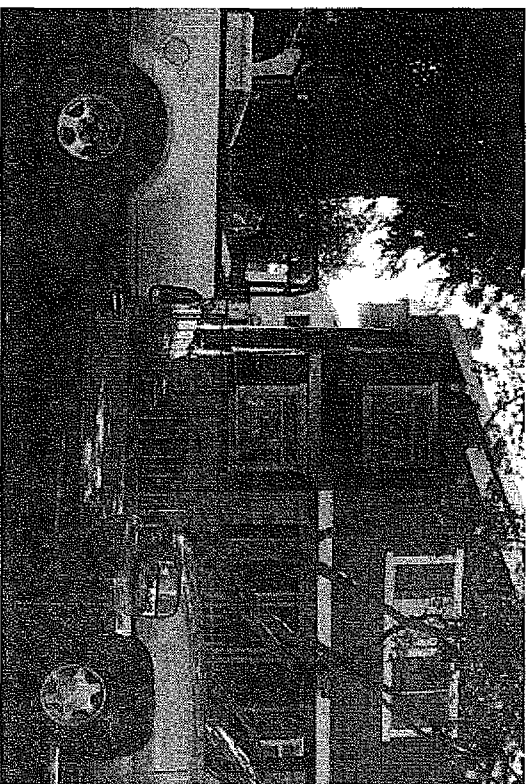
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1737 Clinton St.



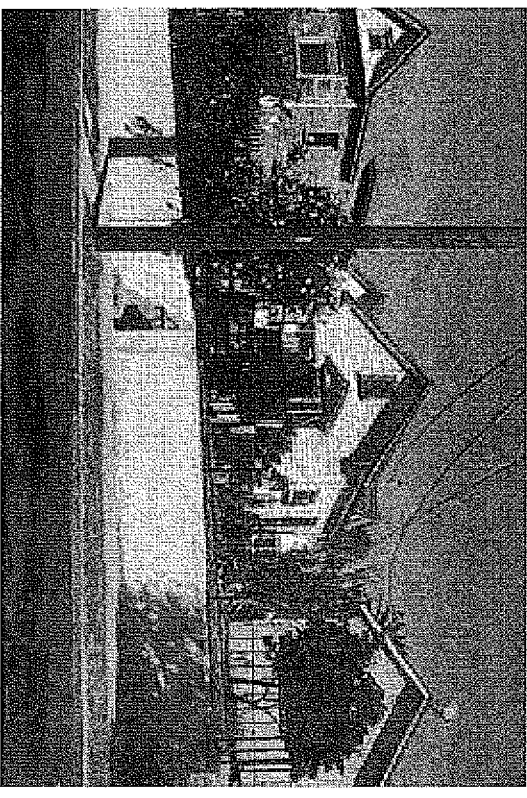
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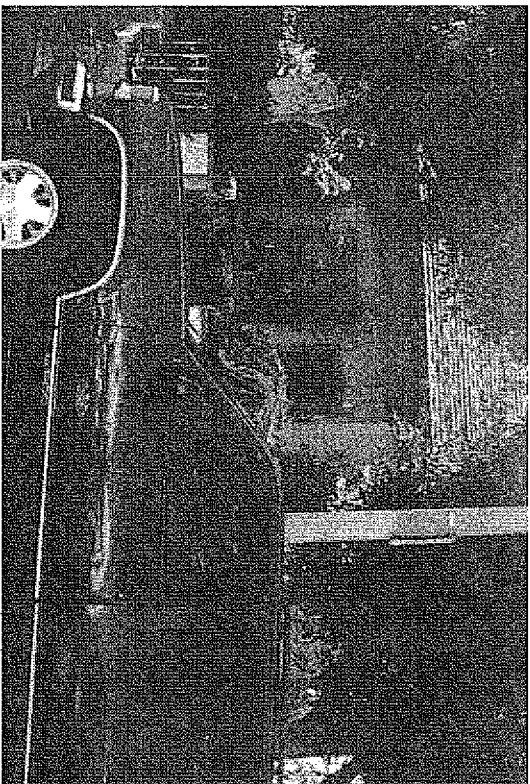
1738-1746 Clinton St.



1743 Clinton St.



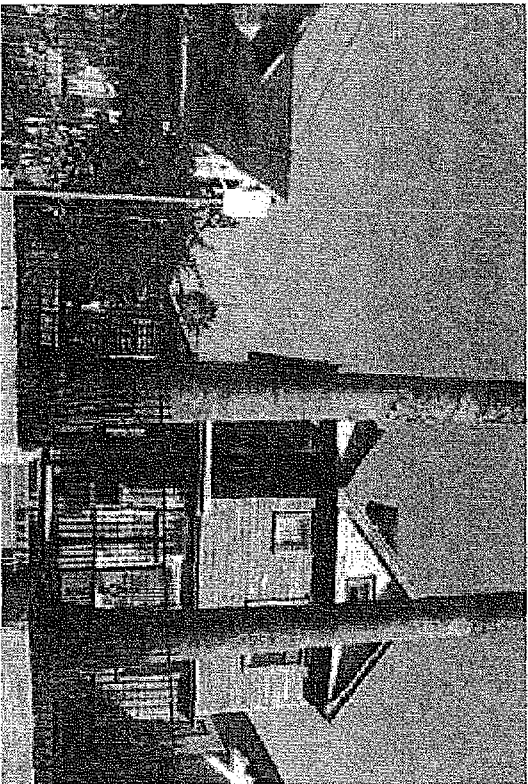
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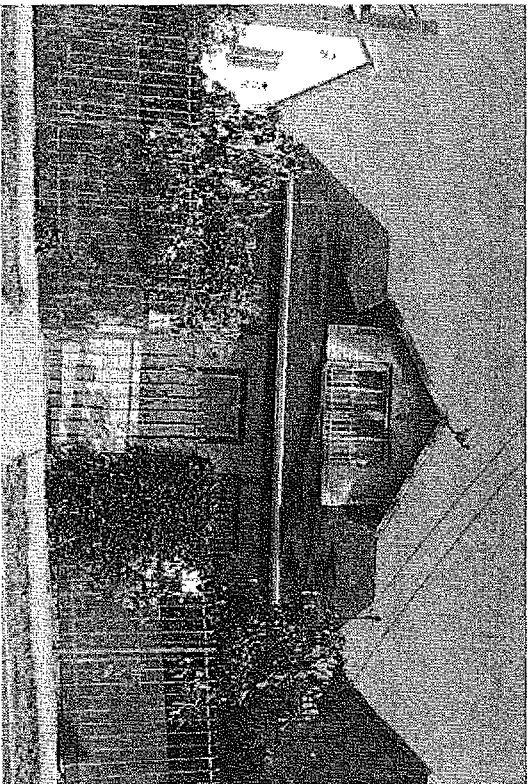
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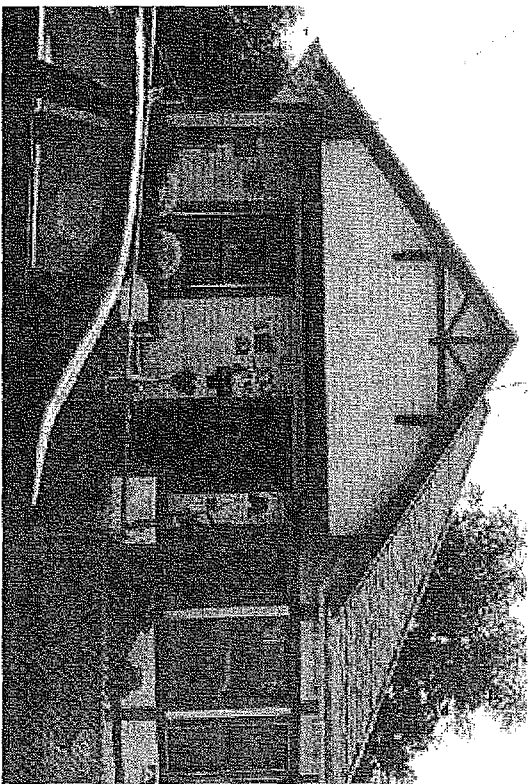
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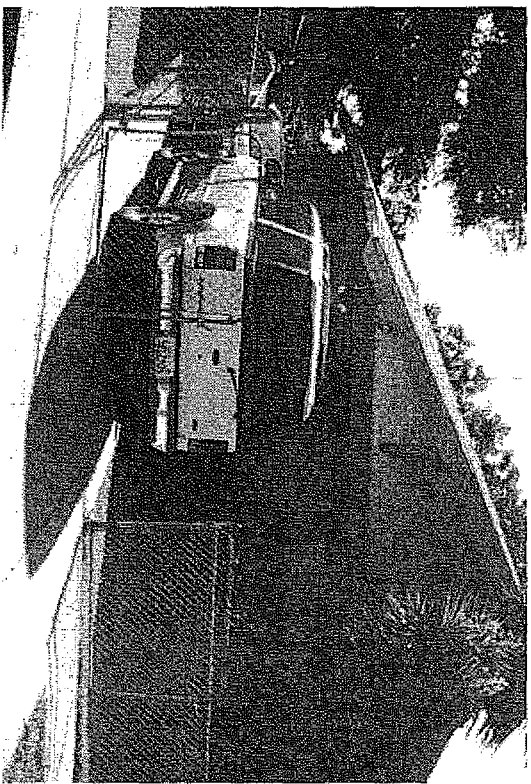
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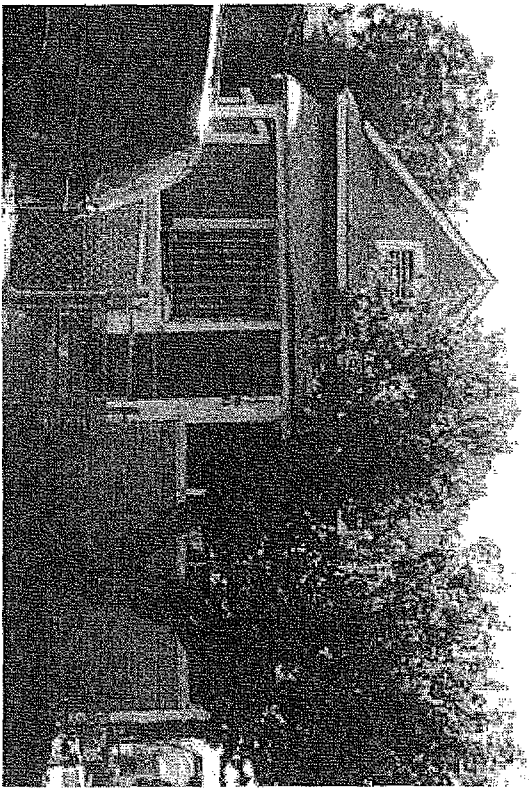
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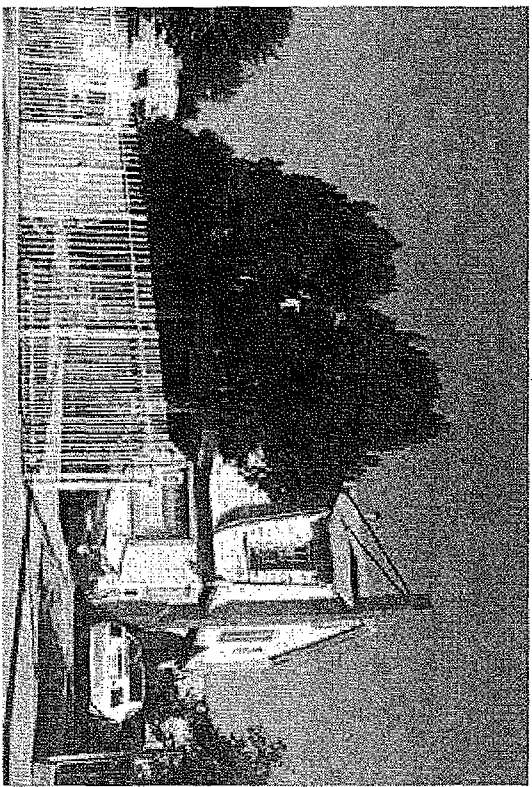
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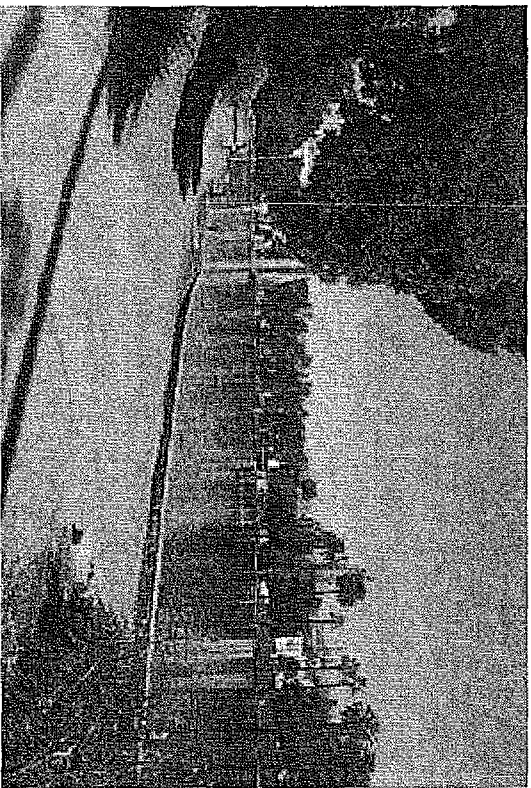
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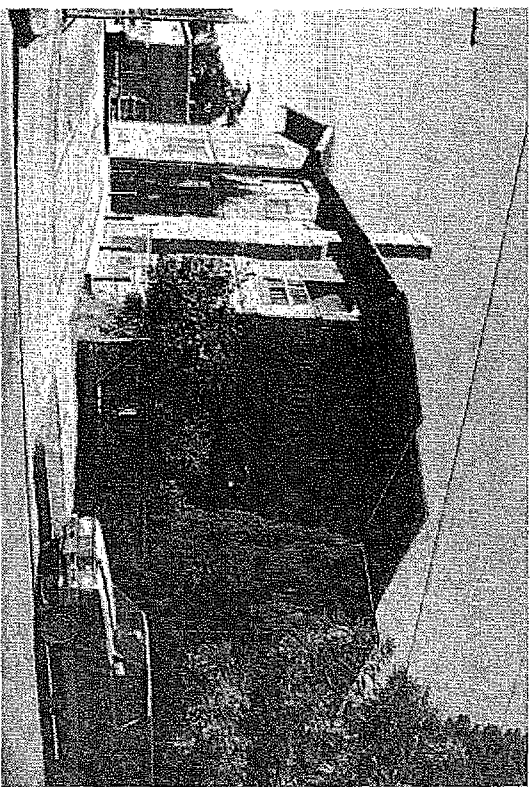
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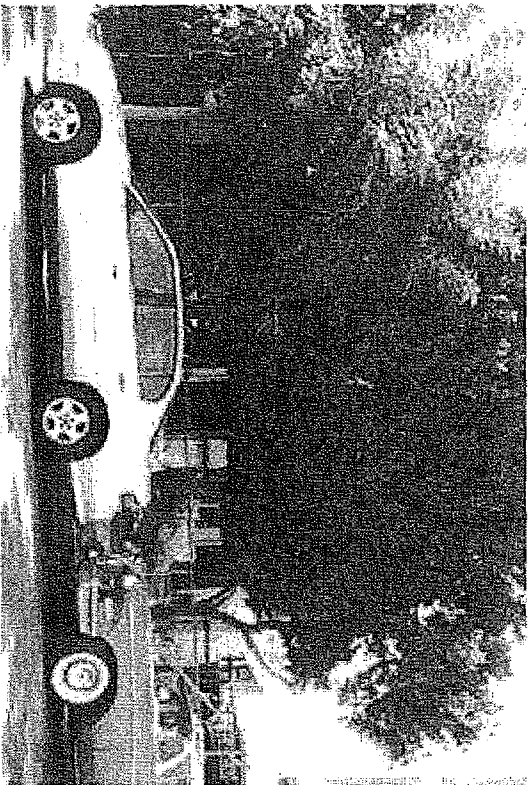
1763-1765 N. Clinton St.



751 Echo Park Ave.



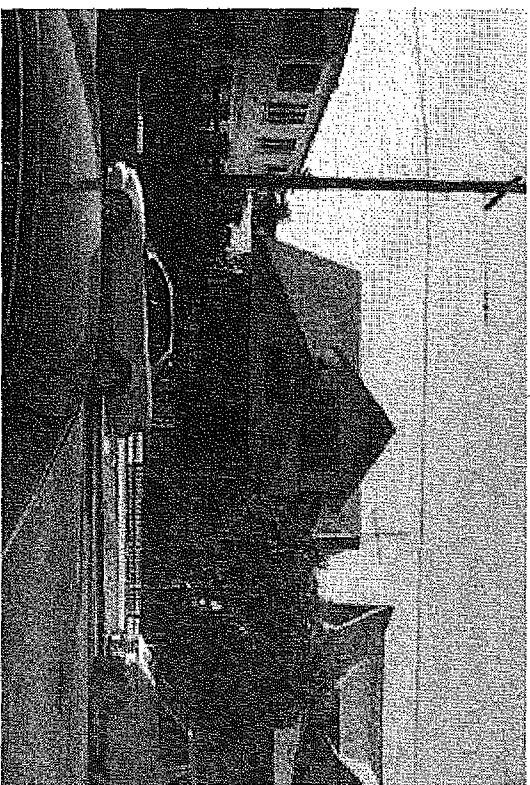
1121 Echo Park Ave



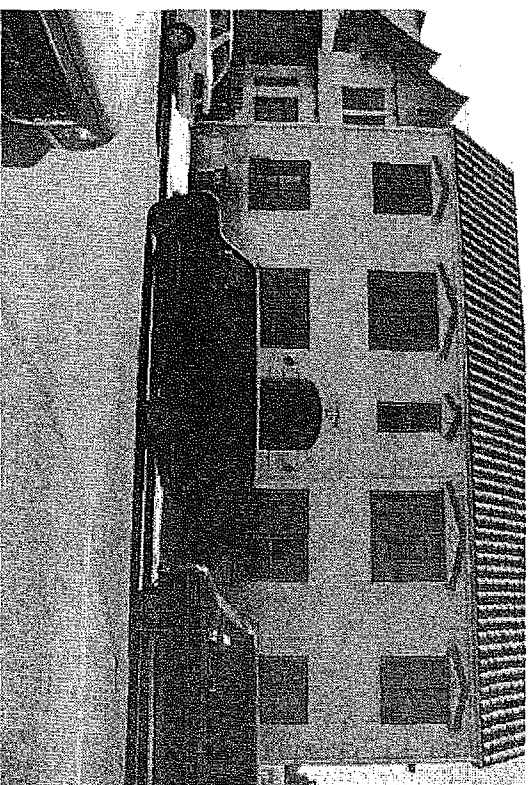
1127 Echo Park Ave.



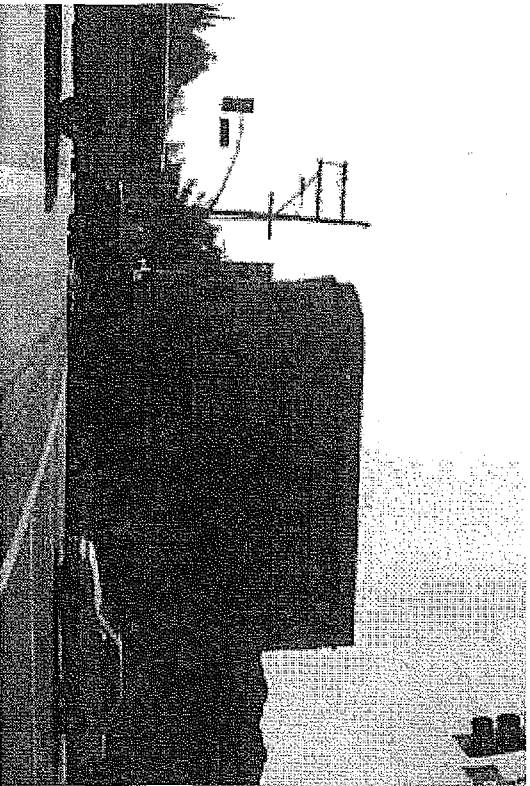
1135 Echo Park Ave.



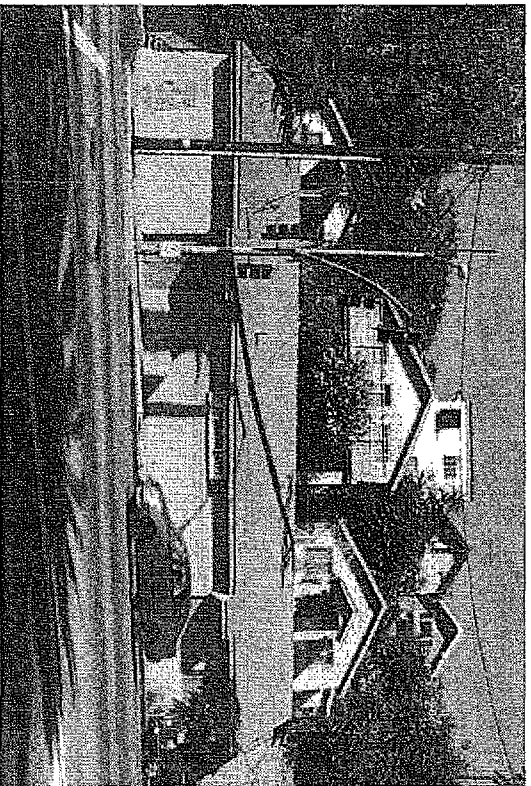
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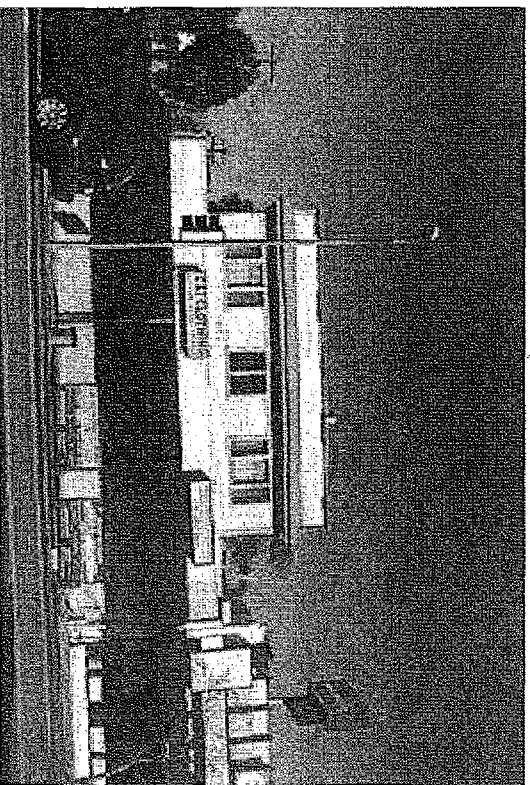
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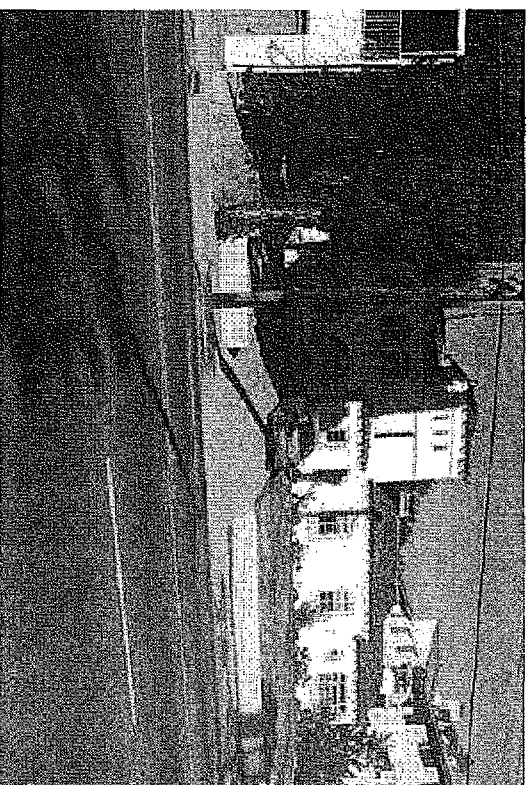
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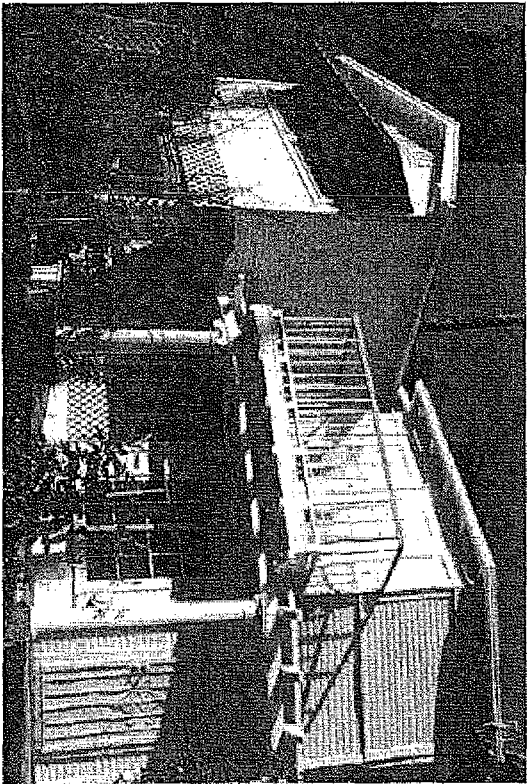
581, 585 Glendale Blvd.



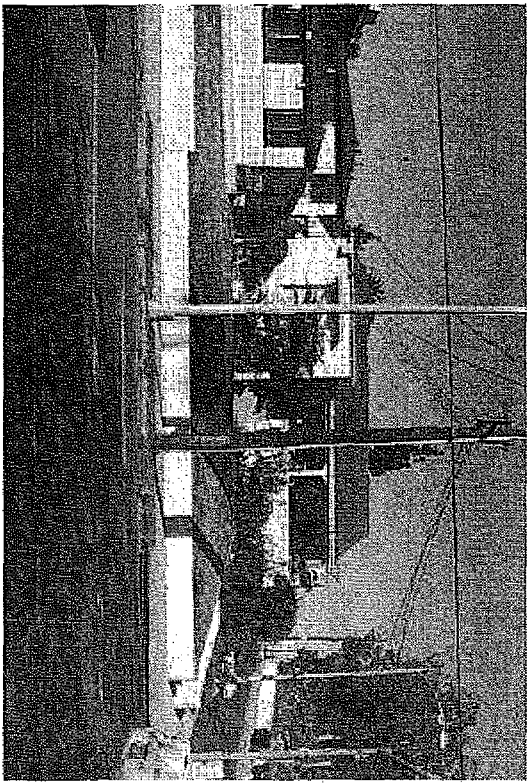
1321 Echo Park Ave



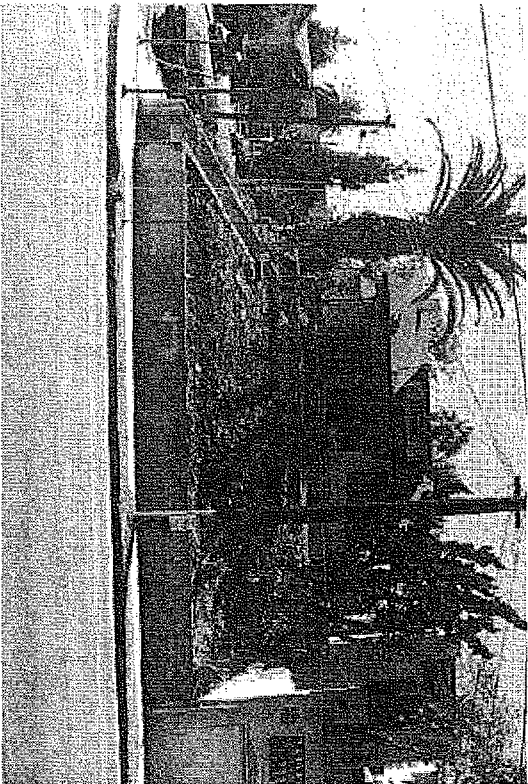
817 Glendale Blvd.



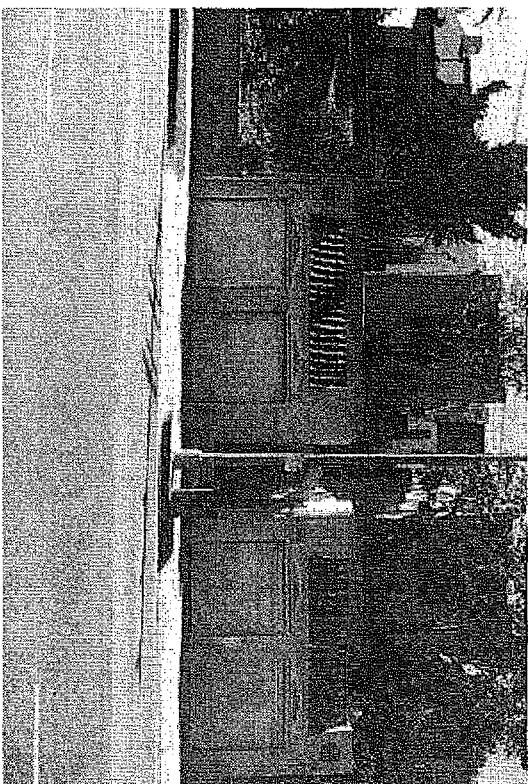
823 Glendale Blvd.



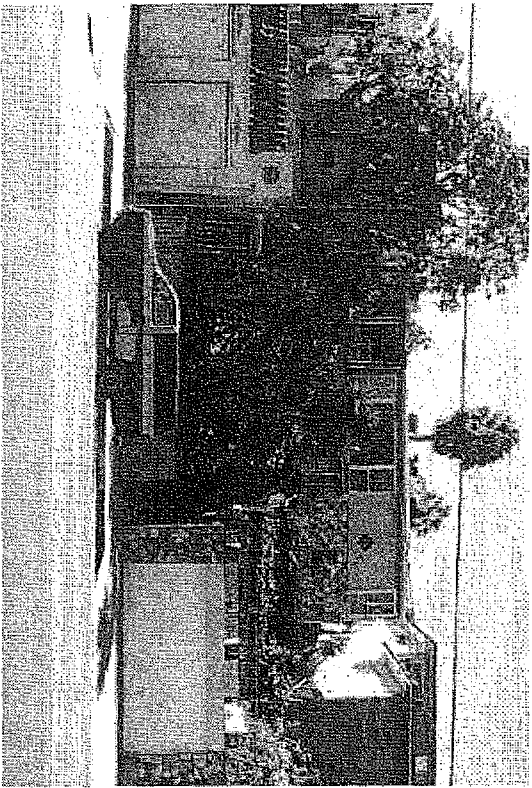
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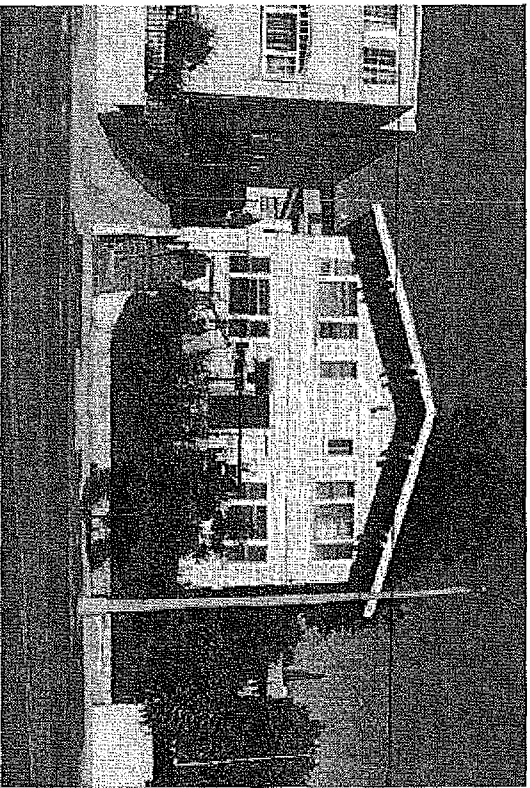
903 Glendale Blvd.



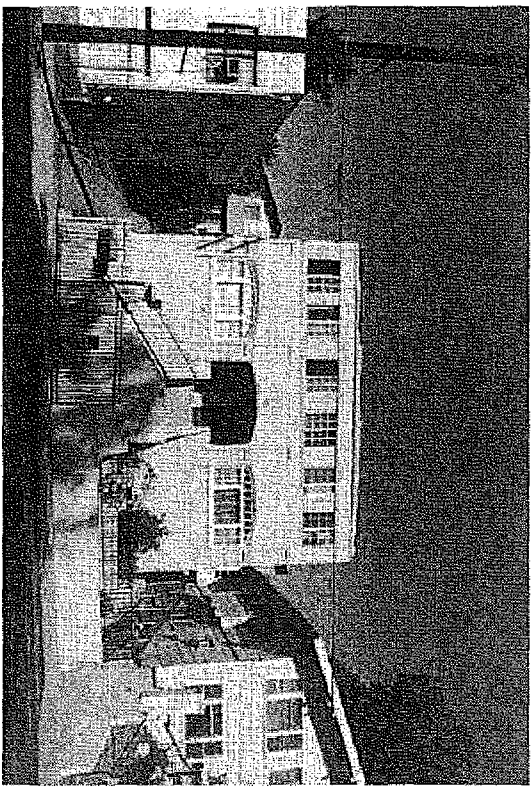
907 Glendale Blvd.



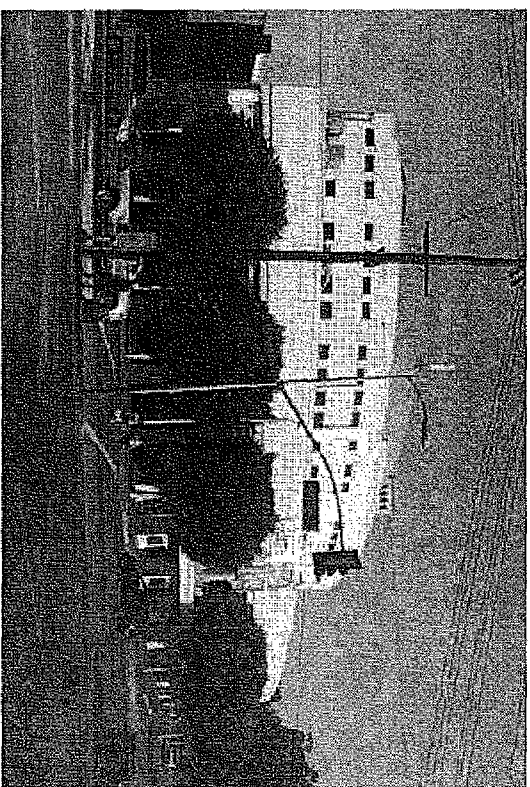
913 Glendale Blvd.



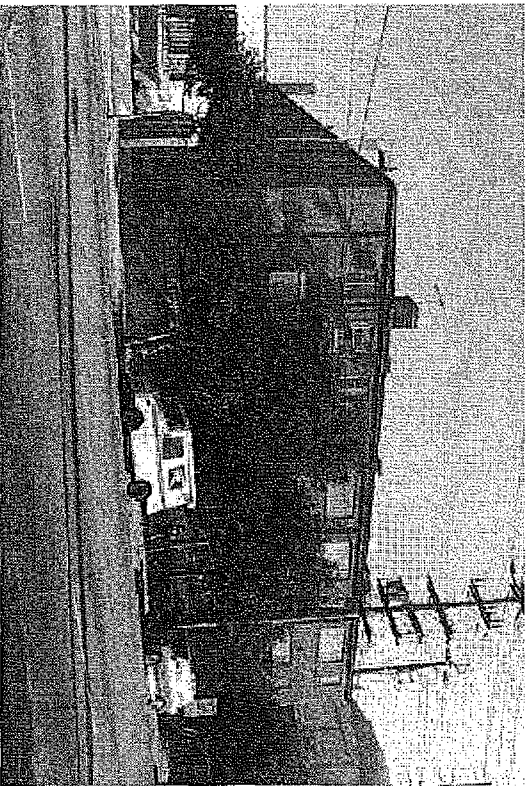
1015 Glendale Blvd.



1005 Glendale Blvd.



1100 Glendale Blvd.



1132 Glendale Blvd.



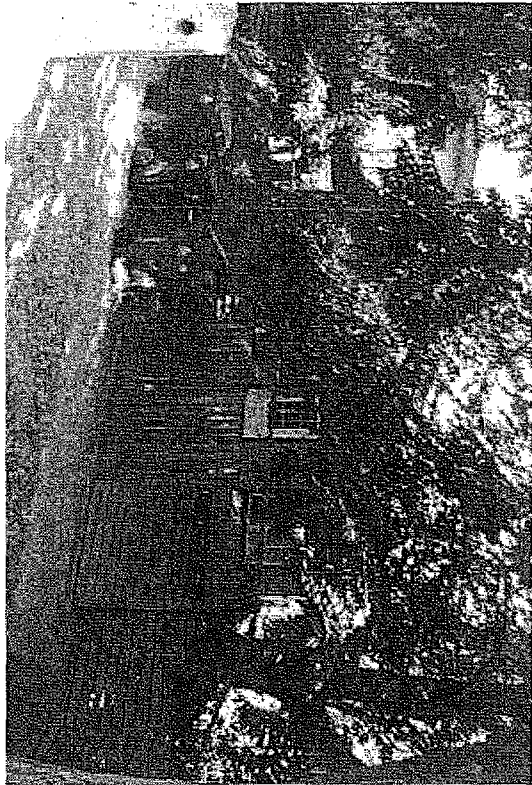
1136 Glendale Blvd.



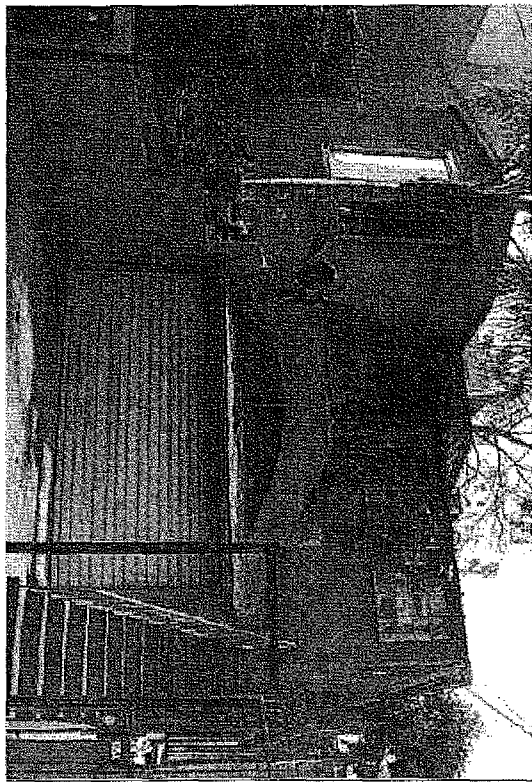
1715 Kent St.



1723 Kent St.



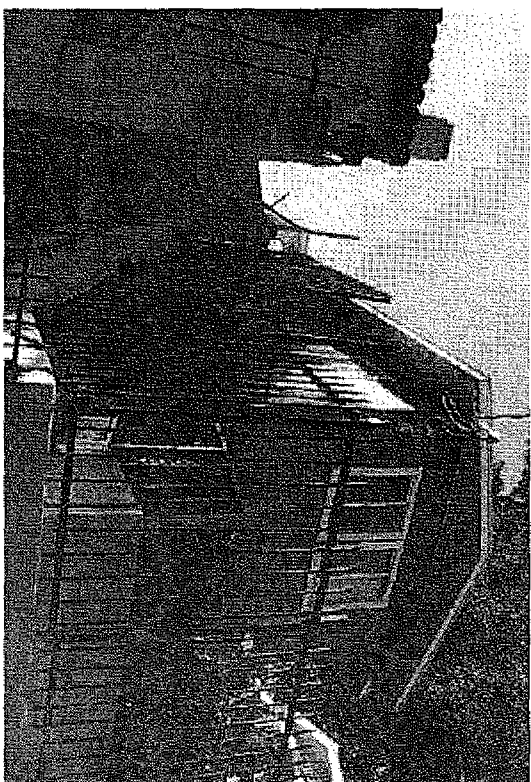
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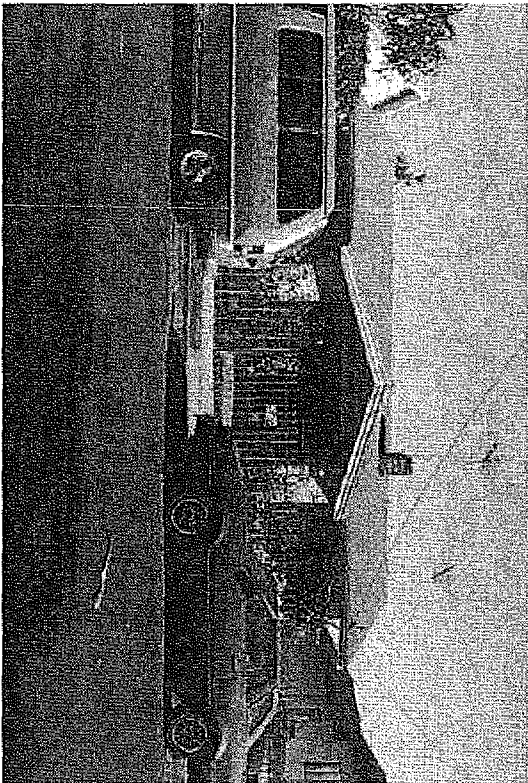
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1728 Kent St.



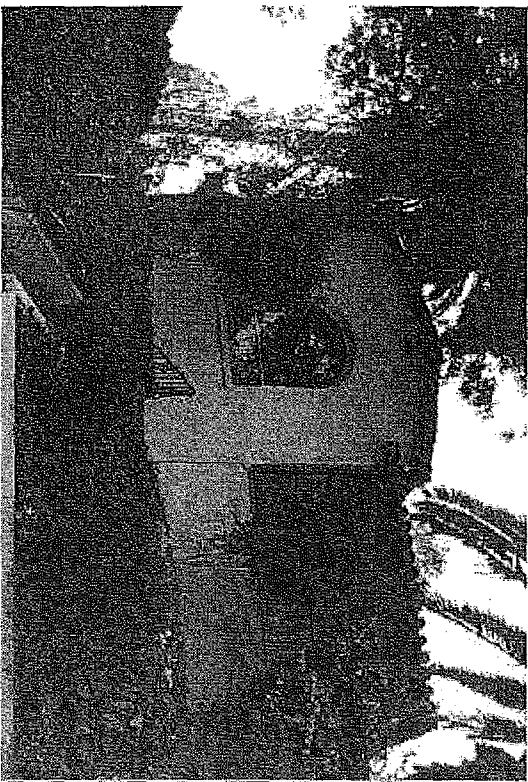
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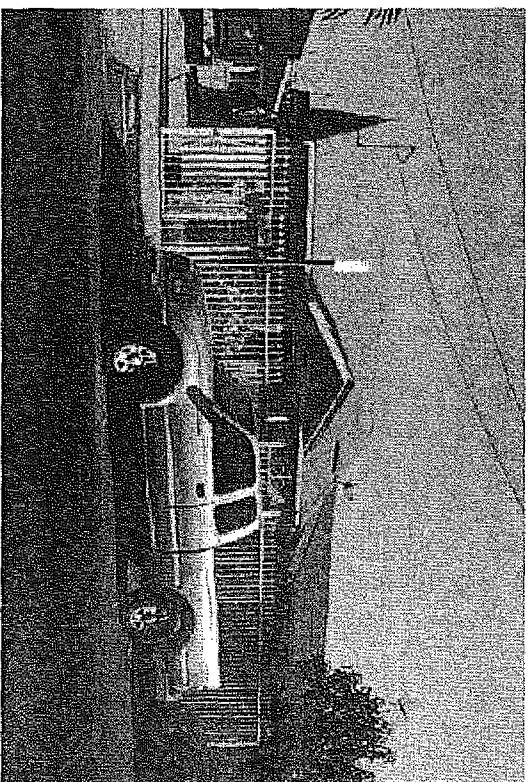
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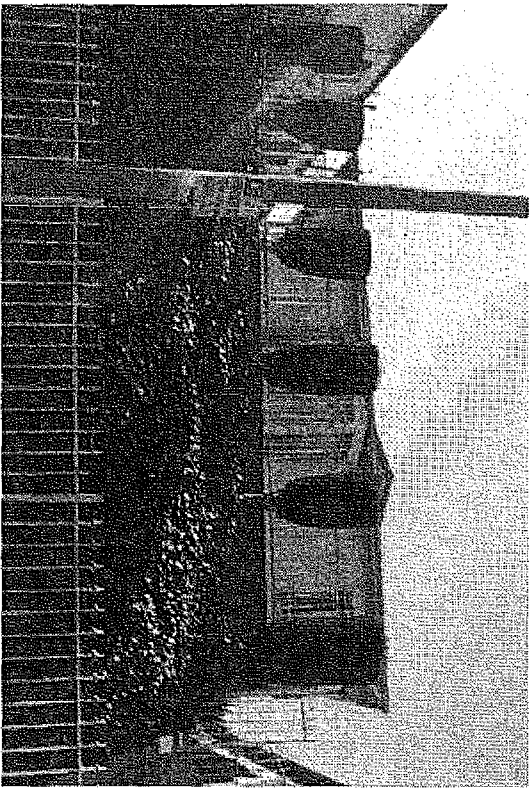
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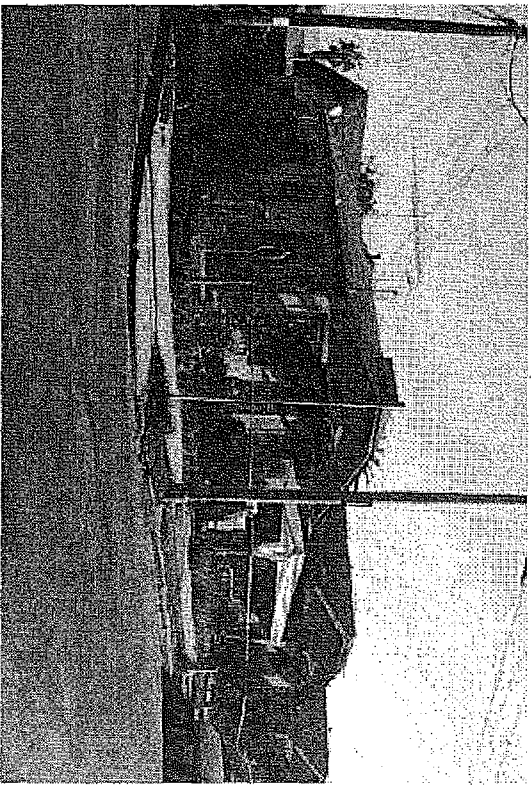
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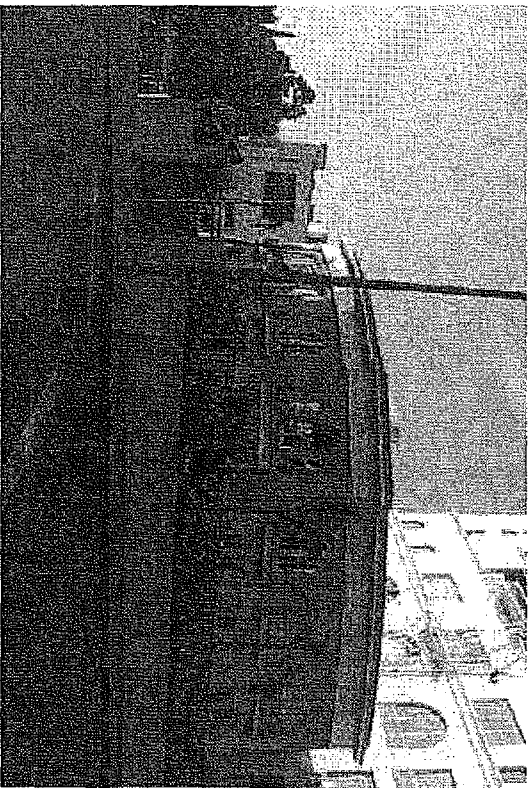
1747 Kent St.



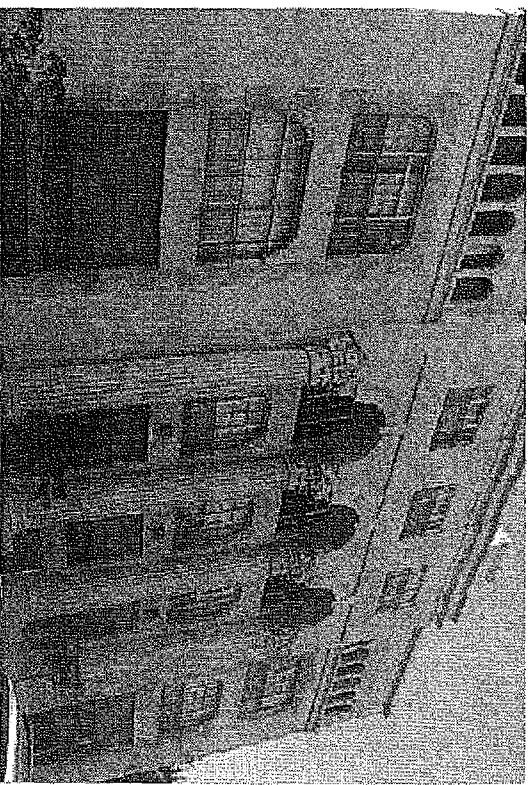
1748-1750 Kent St.



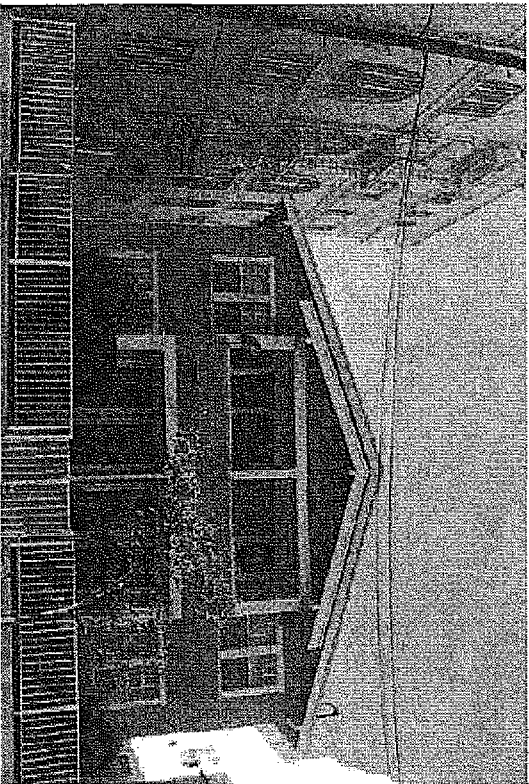
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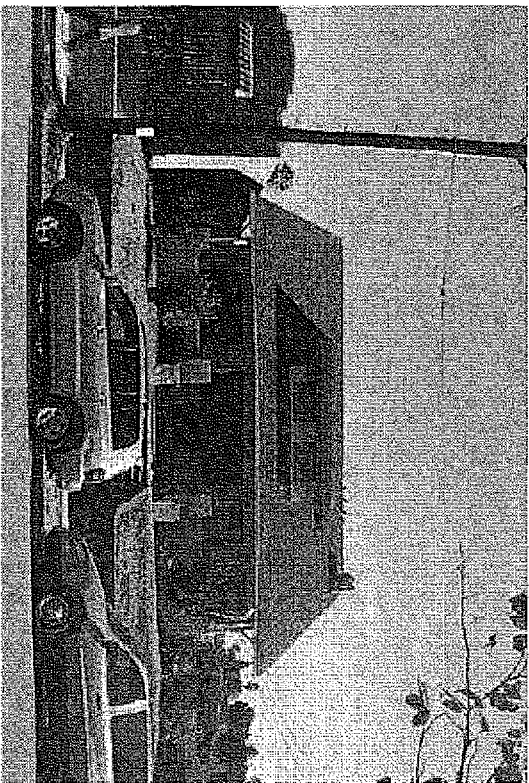
1121 Lemoyne St.



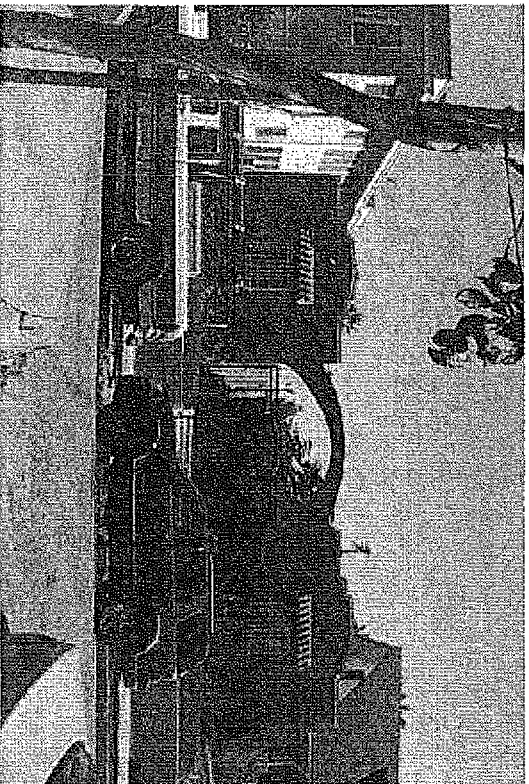
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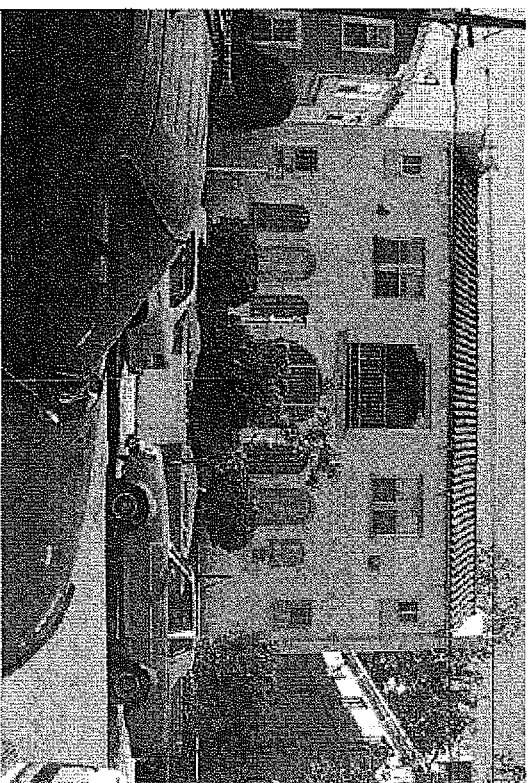
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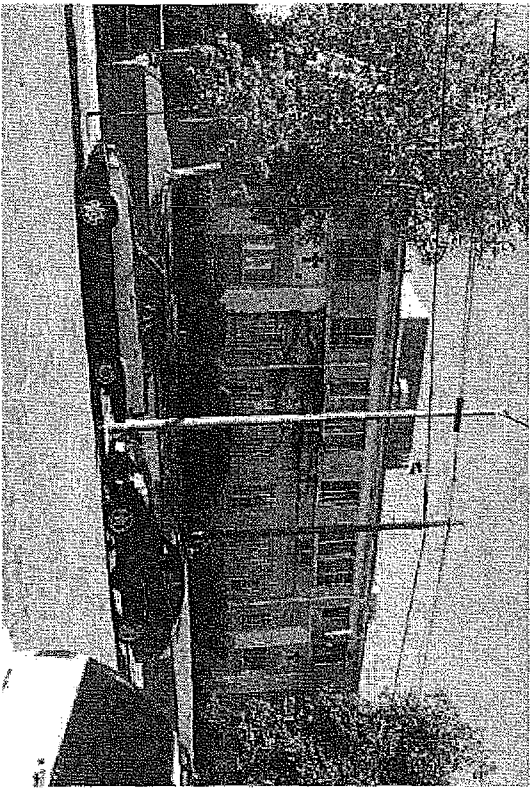
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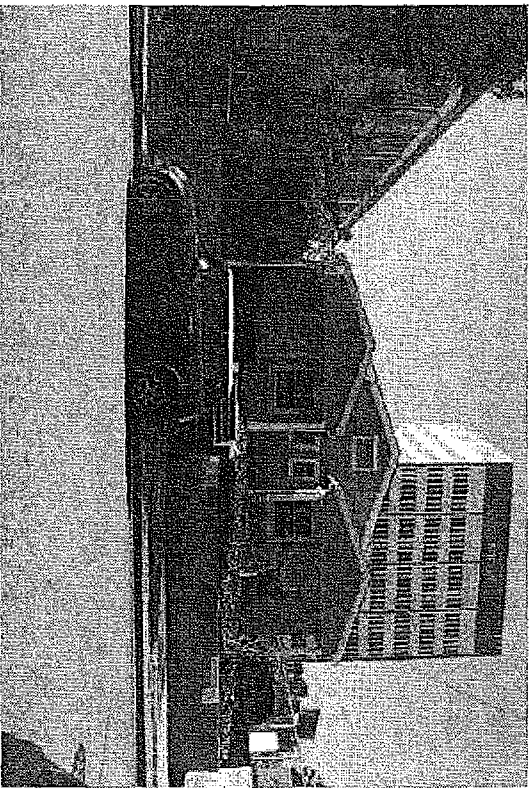
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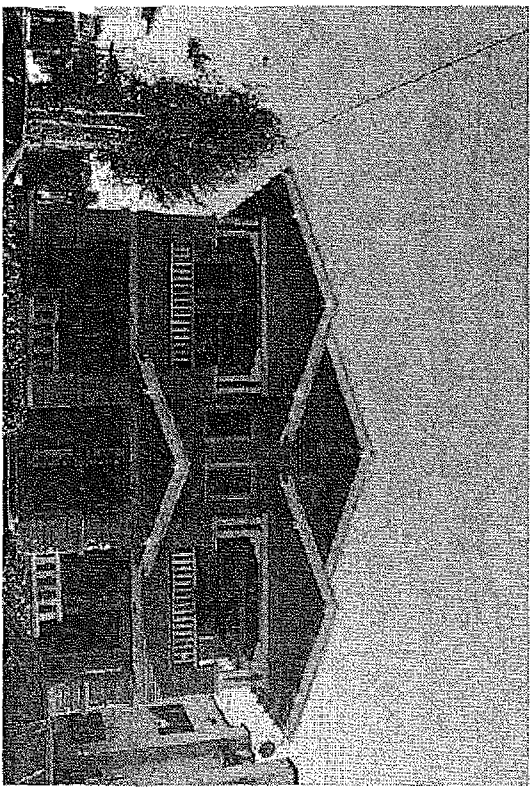
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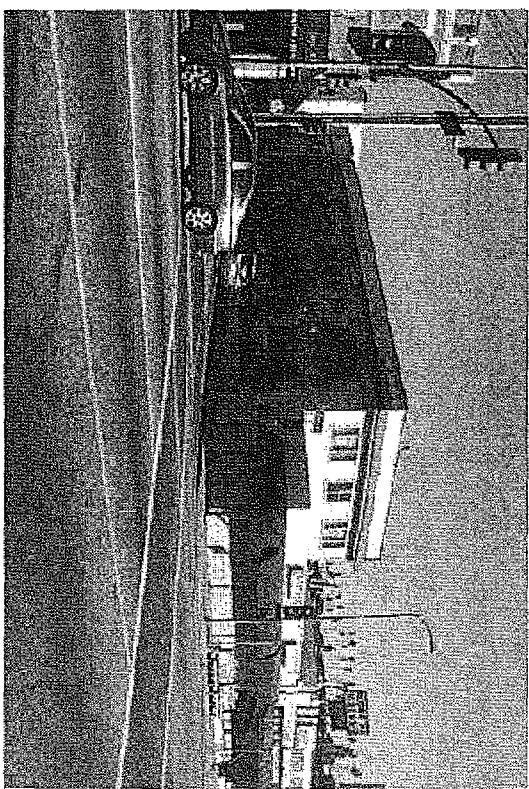
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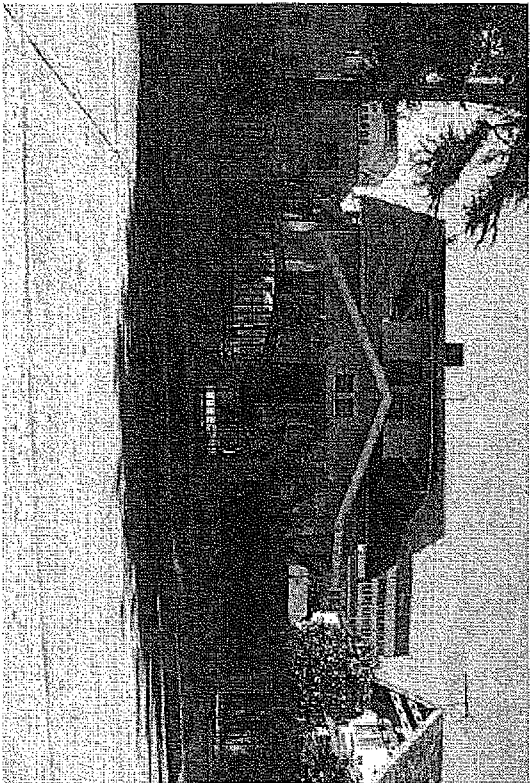
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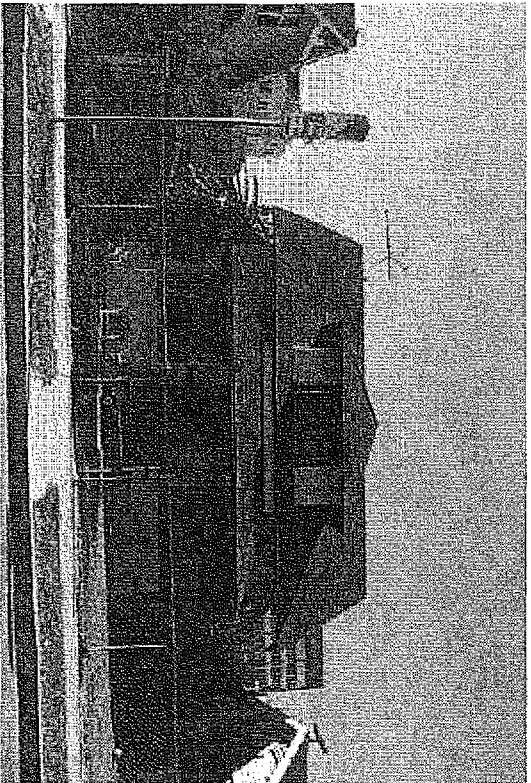
1140 Lemoyne St.



1304 Lemoyne St.



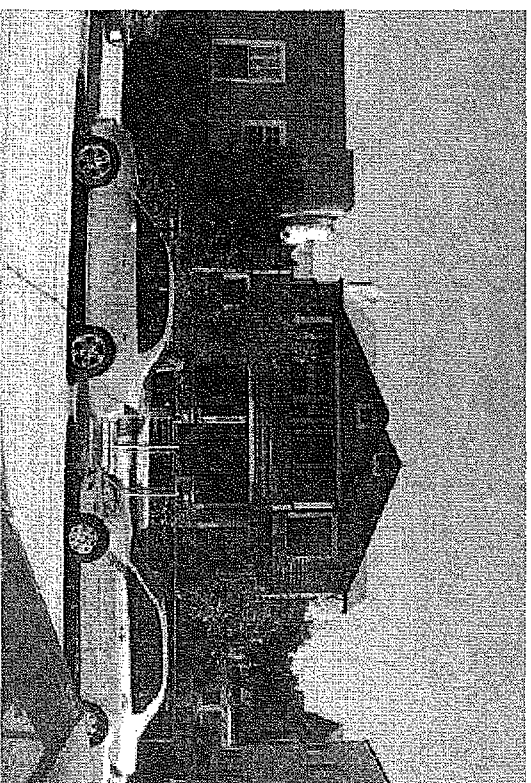
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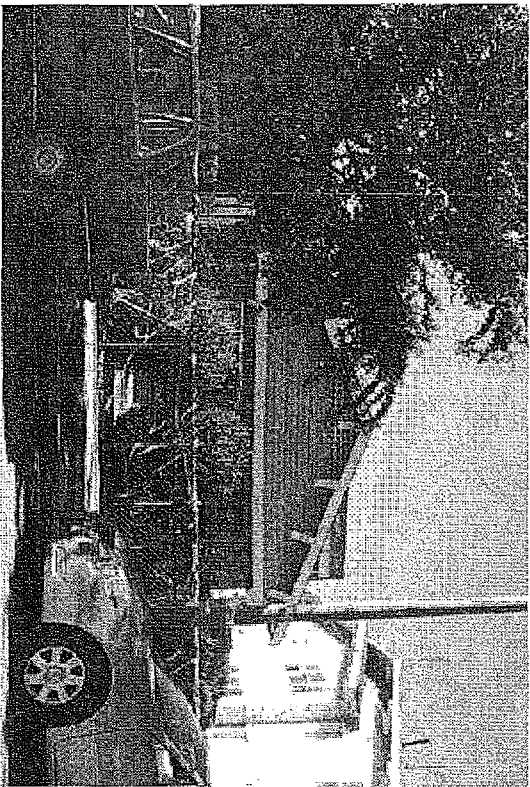
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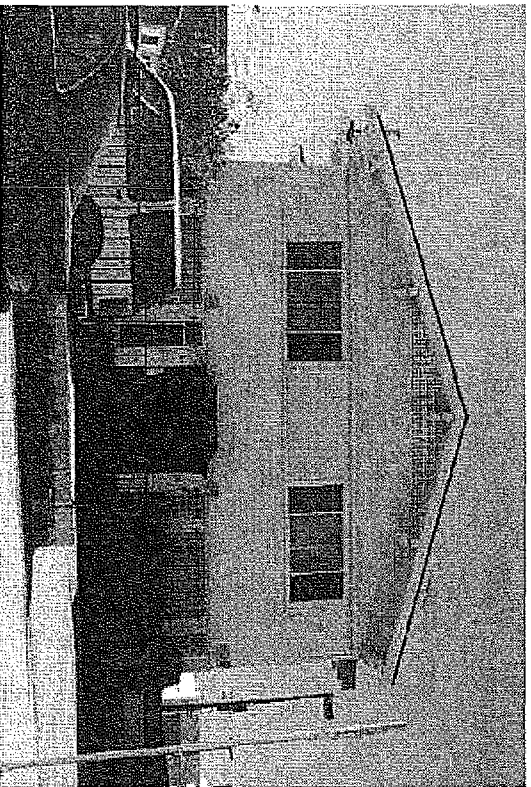
1128-1130 Logan St.



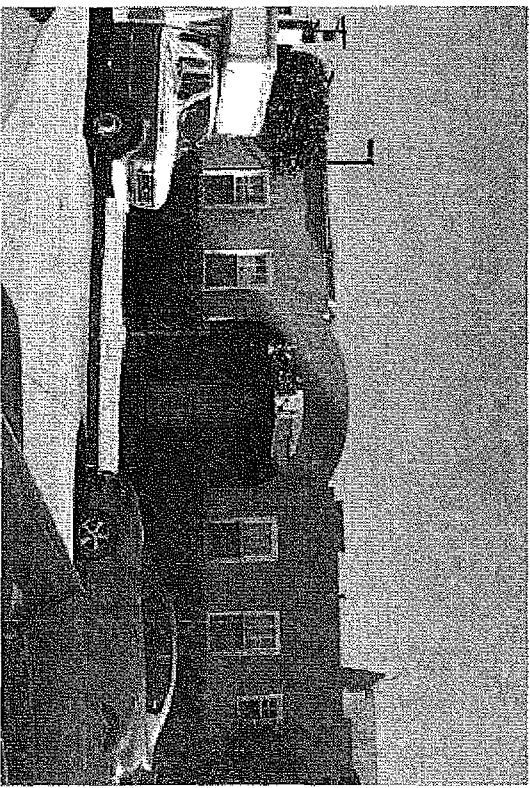
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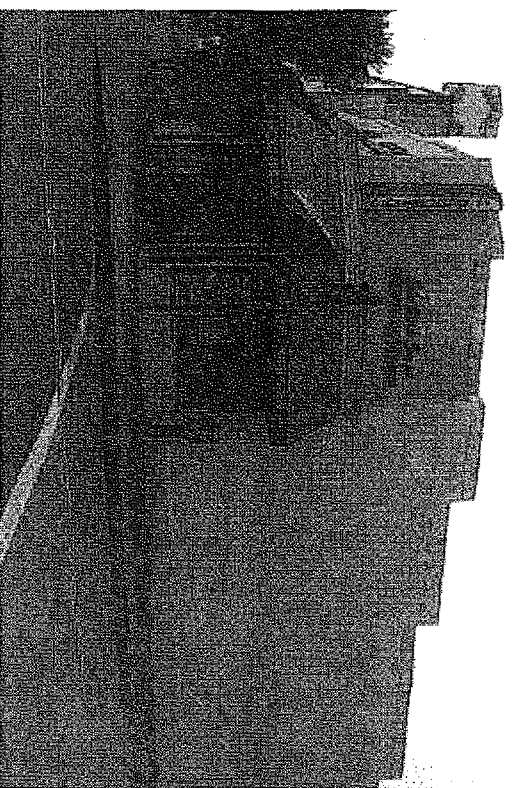
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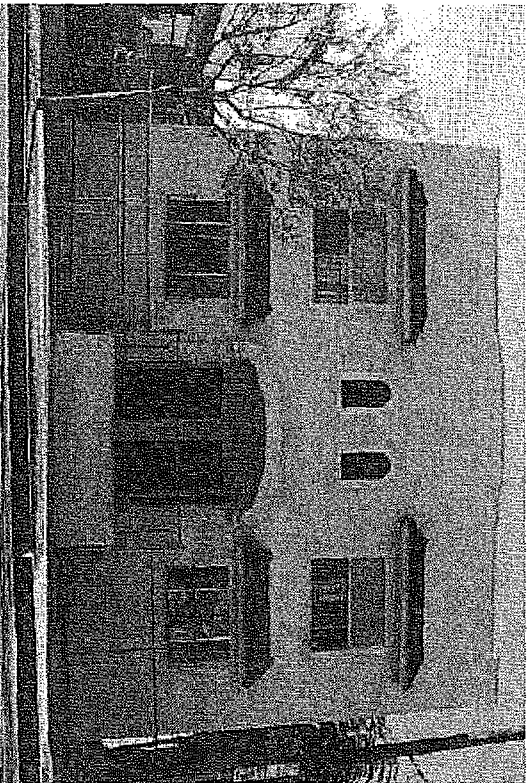
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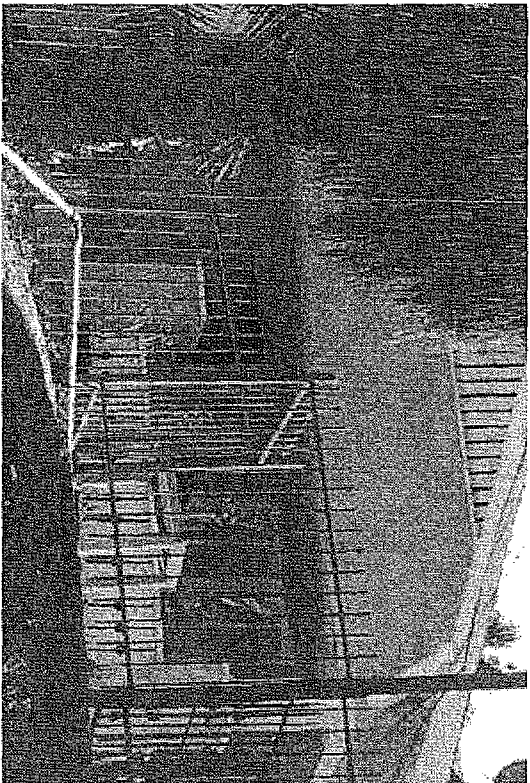
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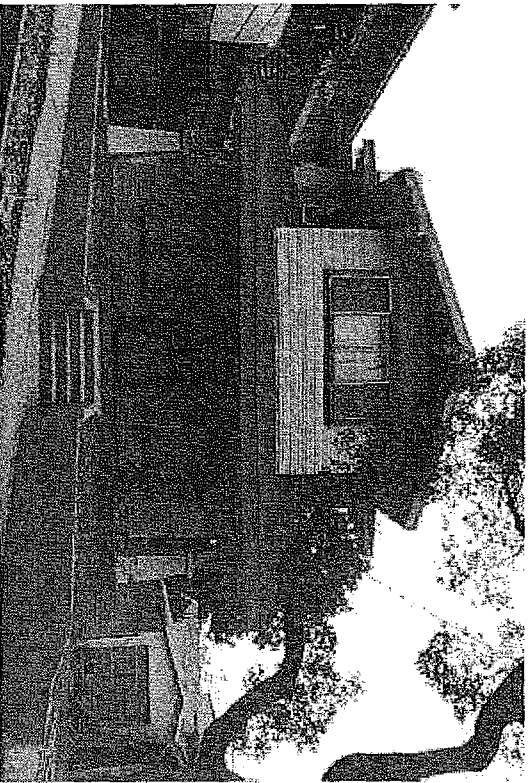
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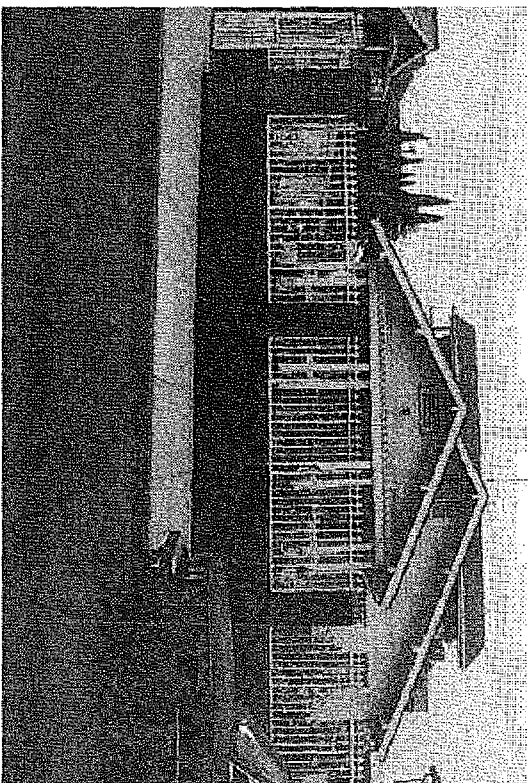
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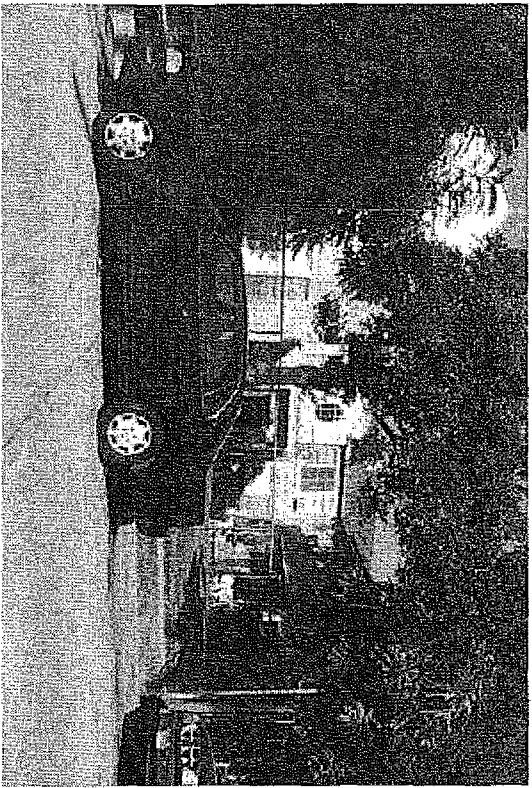
1824 Montrose St.



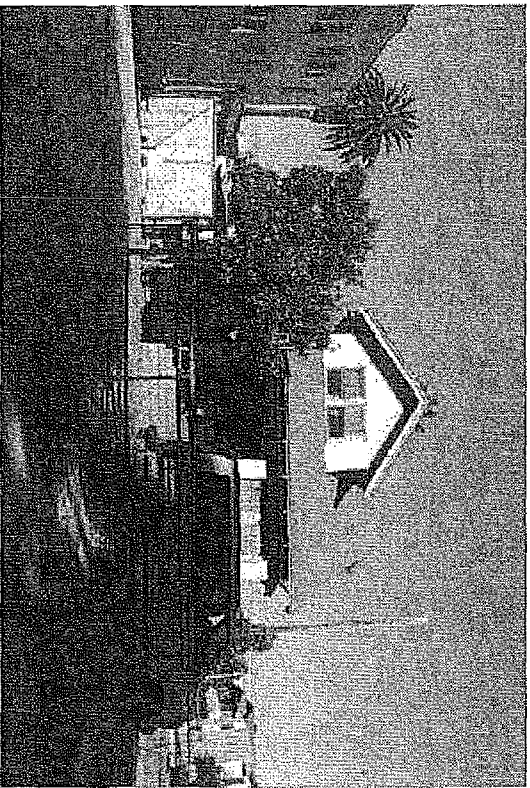
1819 Montrose St.



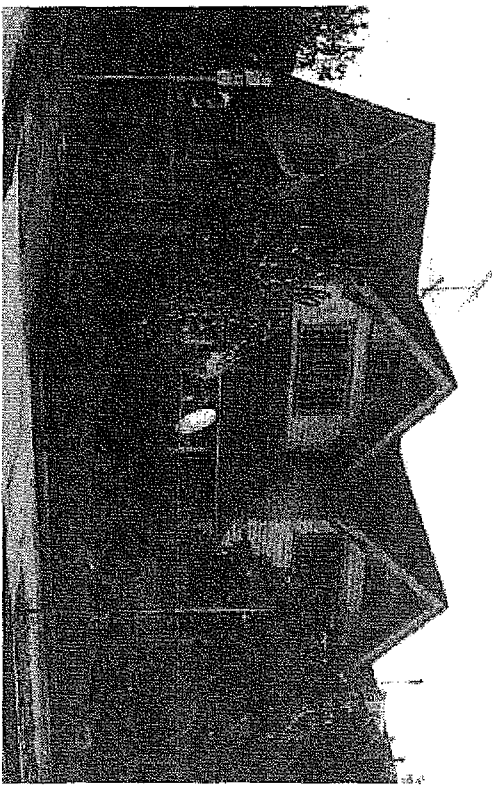
1839 Montrose St.



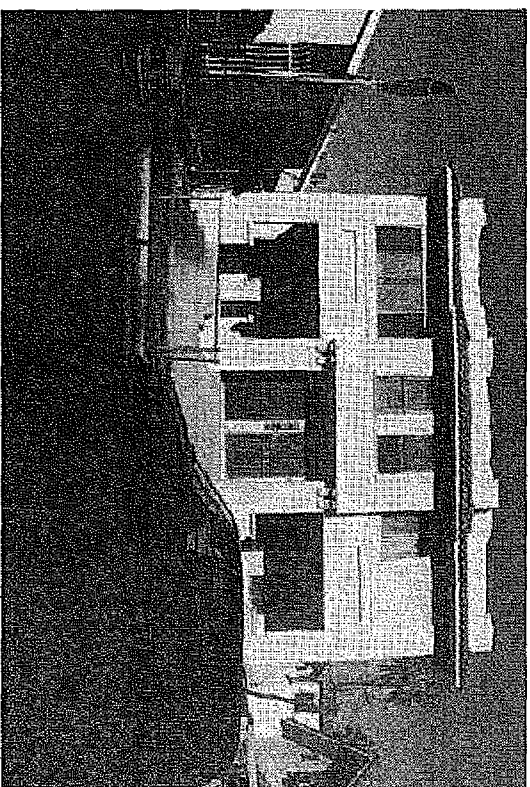
1621 Park Ave.



1703 Park Ave.



1629 Park Ave.



1707 Park Ave.



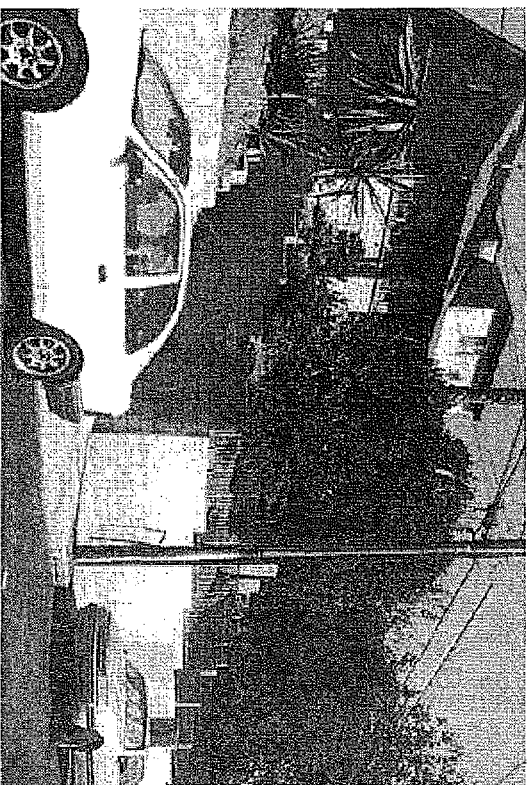
1910 Park Ave.



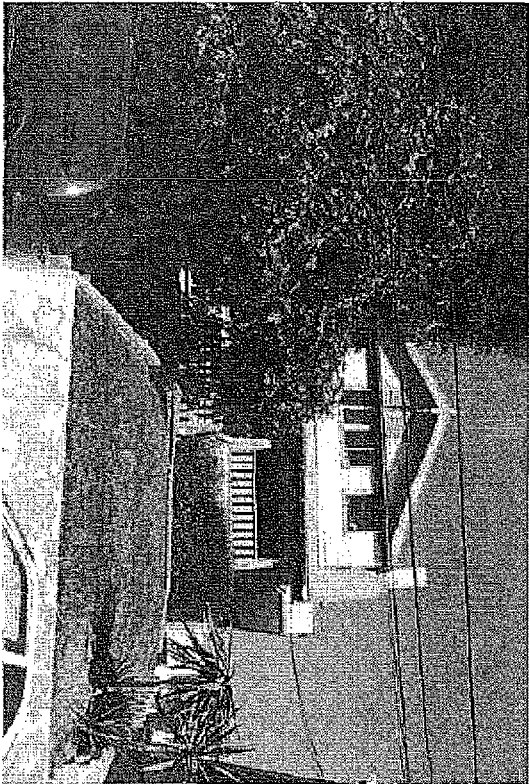
1818 Santa Ynez St.



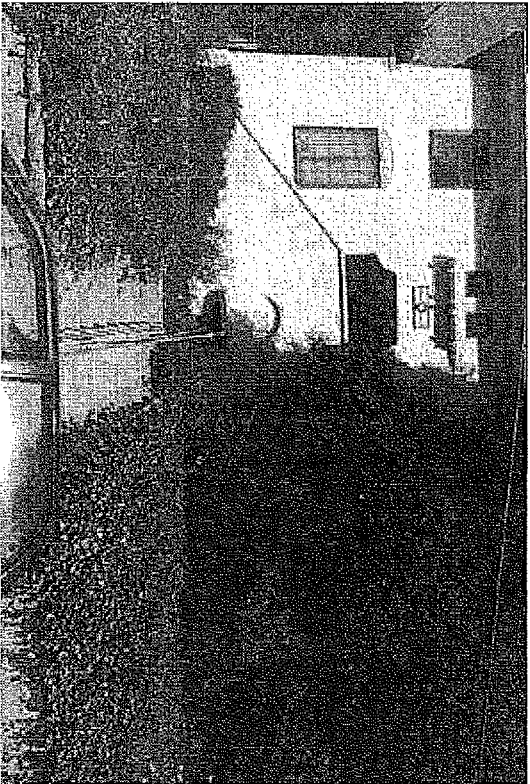
1816 Santa Ynez St.



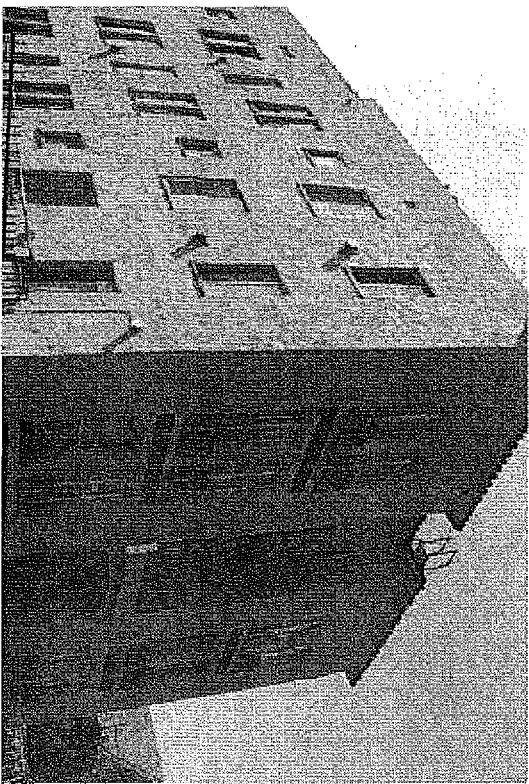
1821 Santa Ynez St.



1827 Santa Ynez St.



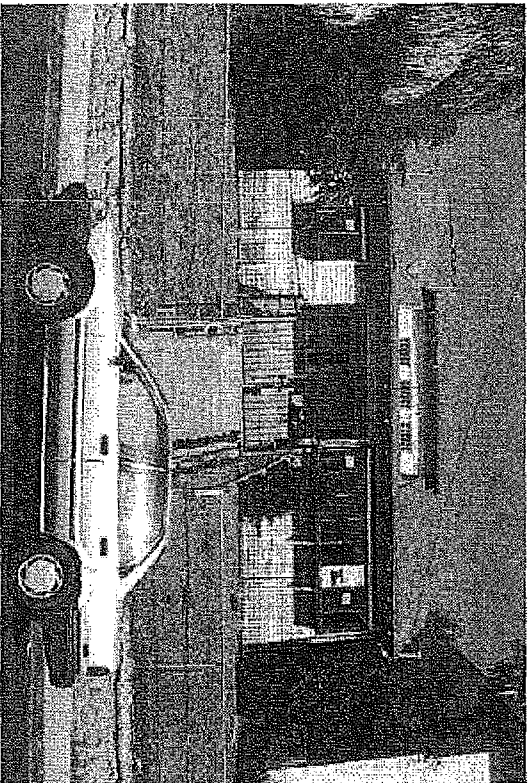
1831 Santa Ynez St.



1828 Santa Ynez St.



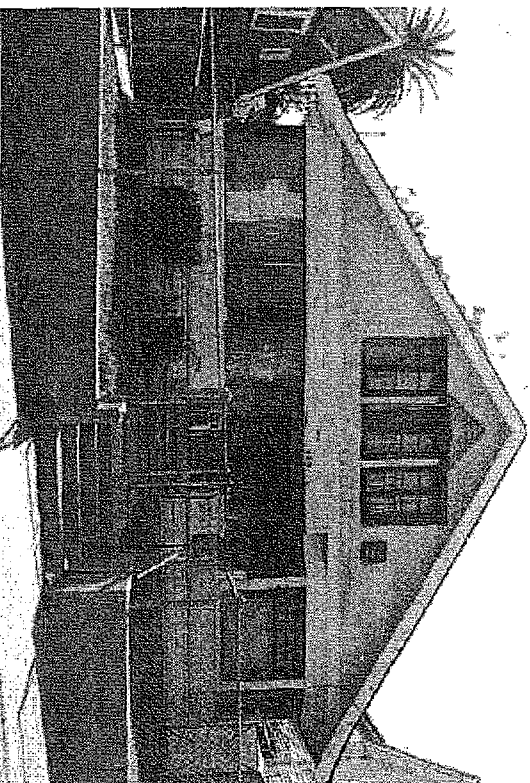
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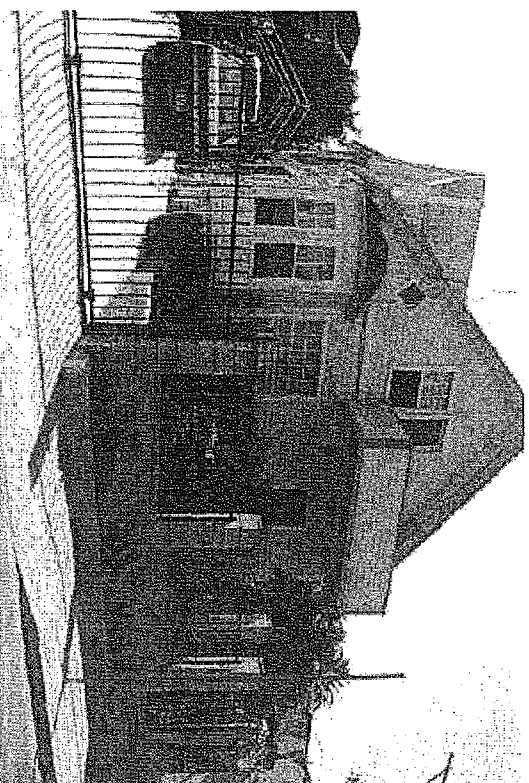
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1843 Santa Ynez St.



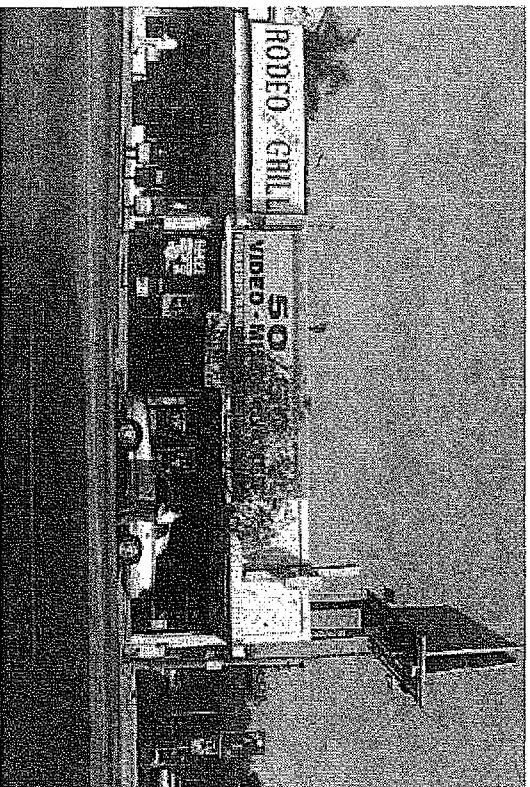
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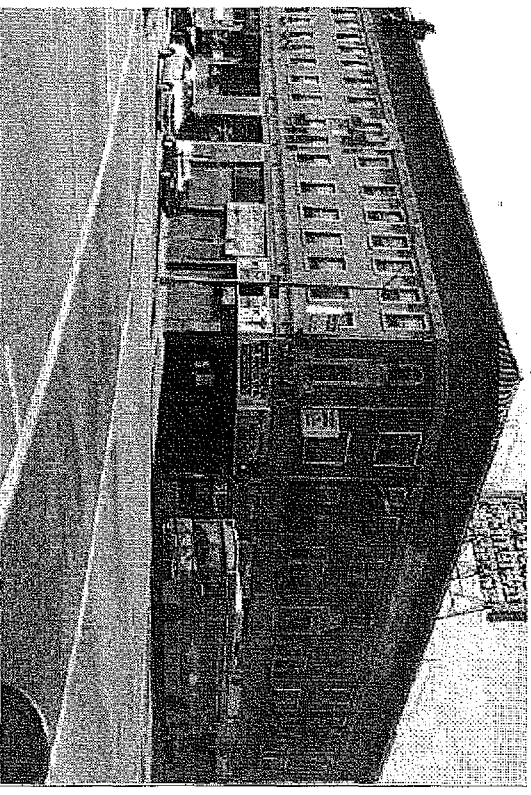
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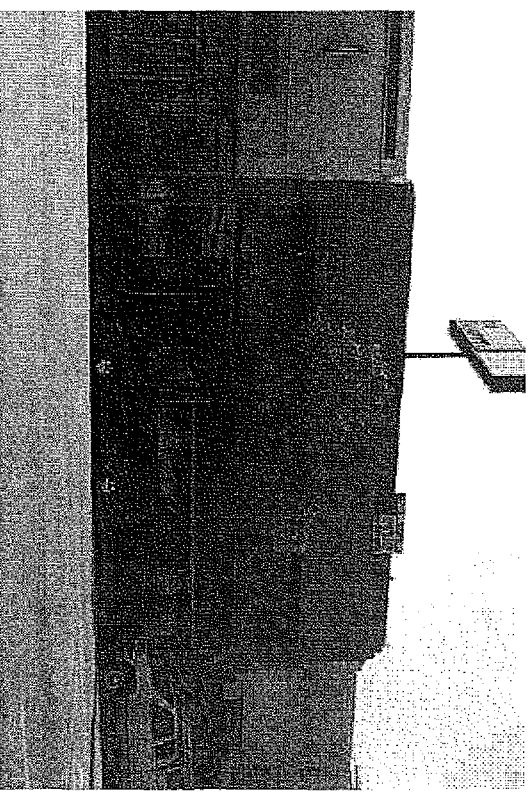
1612 W. Sunset Blvd.



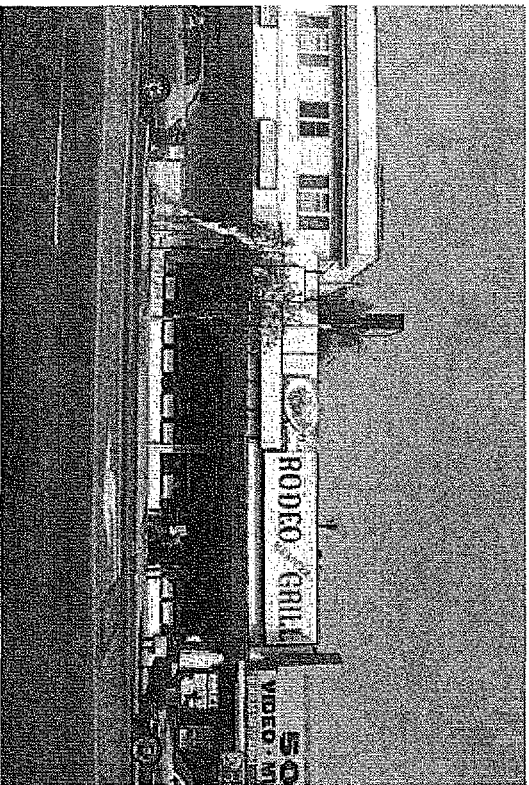
1715 W. Sunset Blvd.



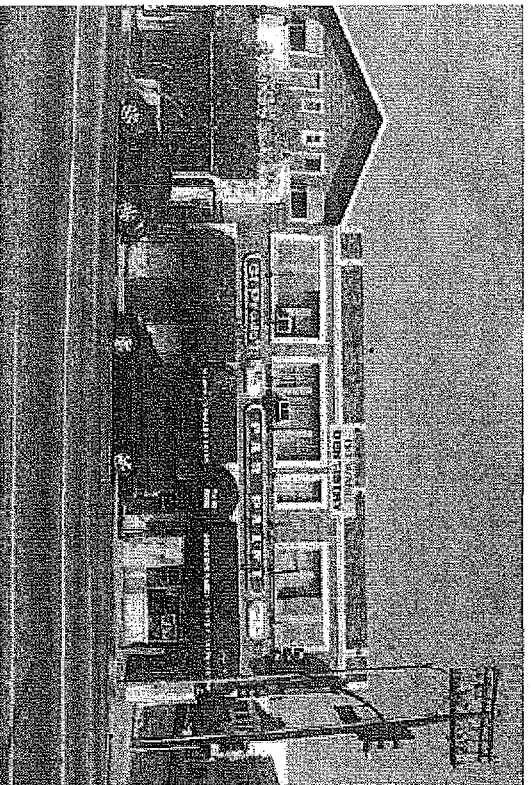
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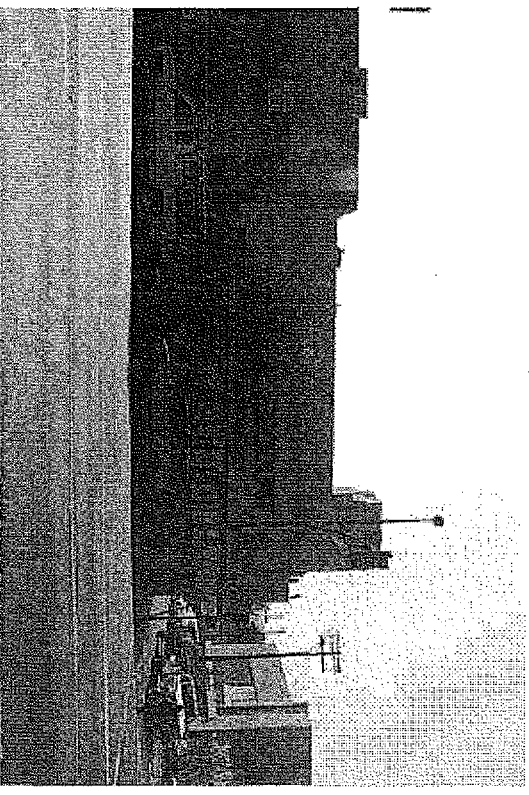
1720 W. Sunset Blvd.



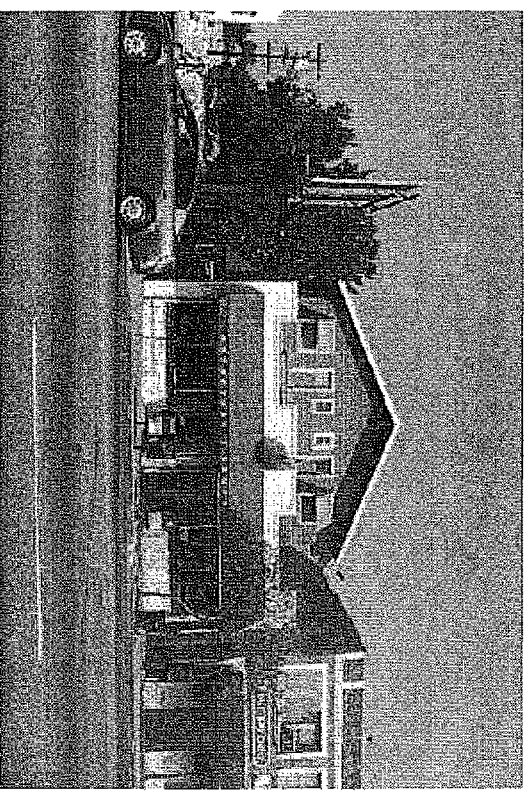
1721 W. Sunset Blvd.



1801 W. Sunset Blvd.



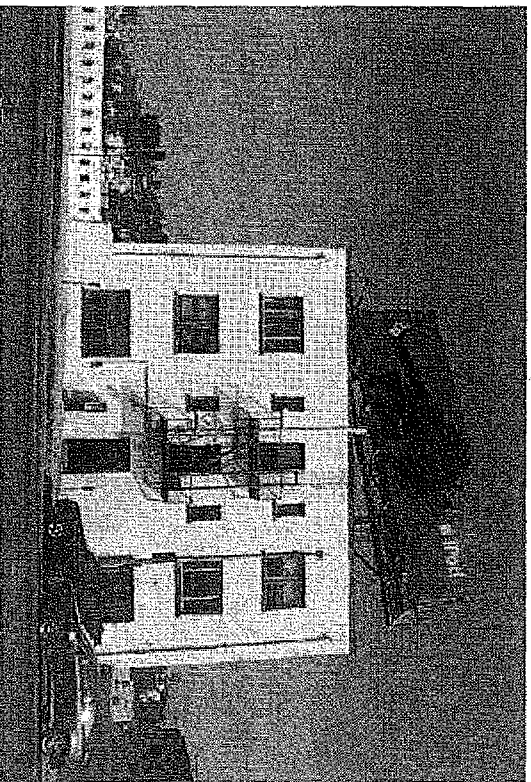
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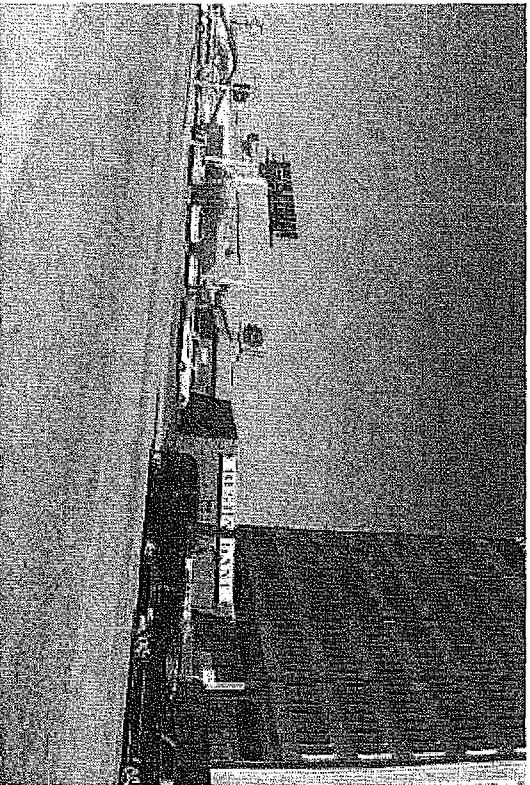
1807 W. Sunset Blvd.



1827 W. Sunset Blvd.



1841 W. Sunset Blvd.



1918 W. Sunset Blvd.



1950 W. Sunset Blvd.

Echo Park Architectural Resources

Address	Description of Resource	*NRHP Status Code	Changes/Significance
1706 Bellevue Ave	Built 1924. The property contains a 1-story duplex, which was originally constructed as a residential duplex. It was designed in the Colonial Revival style. The original owner of the property was Neighbors, P. A.	5D	No alterations. Historically relevant to time period.
1712 Bellevue Ave	Built 1908. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	No alterations. Historically relevant to time period.
1717-1719 Bellevue Ave	Built 1912. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. The original owner of the property was Goldaner, H.	5D	Security bars have been added. Structure historically relevant to time period.
1727 Bellevue Ave	Built 1917. The property contains a 2-story apartment building, which was originally constructed as a multiple family residential court. It was designed in the Craftsman style.	5D	Windows and exterior wall cladding have been altered. Structure historically relevant to time period.
1800-1804 Bellevue Ave	Built 1921. The property contains a 1-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Colonial Revival style. The original owner of the property was Hedge, Sherman J. There are five identical buildings on the parcel.	5D	Windows and doors have been altered. Structure historically relevant to time period.
1811 Bellevue Ave	Built 1915. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The original owner of the property was Macarico, Antonio & Aida. The resource was relocated to the current site in 1948.	5D	Windows, doors, and exterior wall cladding have been altered. Security bars have been added. Contributes to the historical significance of the area.

1816-1822 Bellevue Ave	Built 1922. The property contains a 1-story apartment building, which was originally constructed as a residential duplex. It was designed in the Colonial Revival style. Two identical duplexes are located on the parcel.	5D	Security bars have been added. Structure historically relevant to time period.
1821 Bellevue Ave	Built 1906. The property contains a 1 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Gambel, Newman is recorded as having built the resource. The original owner of the property was Thomas & Spratt.	5D	Doors have been altered. Structure historically relevant to time period.
1839 Bellevue Ave	Built 1908. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. Morrison, Kent is recorded as having built the resource. The architectural design is attributed to Clark. The original owner of the property was Clark, H. A.	5D	Windows and exterior wall cladding have been altered. Landscaping includes historically irrelevant iron fence. Overall, structure is historically relevant to time period.
1900 Bellevue Ave	Built 1913. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 6U.	5D, 6U	Windows have been altered and security bars have been added. Historically relevant to time period.
1902 Bellevue Ave	Built 1916. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Exterior wall cladding has been altered. Overall structure is historically relevant to time period.
1908 Bellevue Ave	Built 1912. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Exterior wall cladding has been altered. Overall structure is historically relevant to time period.

500 Belmont Ave	Built 1928. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2. A second structure is located on the parcel behind this property.	5D, 5S2	Windows and porch have been altered. Structure historically relevant to time period.
501 Belmont Ave	Built 1911. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style.	5D	Windows, doors, and exterior wall cladding have been altered. Overall structure is historically relevant to time period.
504 Belmont Ave	Built 1921. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Colonial Revival style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Doors have been altered. Structure historically relevant to time period.
505 Belmont Ave	Built 1908. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Historically relevant to time period.
508 Belmont Ave	Built 1905. The property contains a 1 and a half-story duplex, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style.	5D	Exterior wall cladding has been altered. Historically relevant to time period.
600 Belmont Ave	Built 1904. The property contains a 1-story quadruplex, which was originally constructed as a single family residence. It was designed in the Hipped Roof Cottage style. A second structure is located on the parcel behind this property.	5D	Historically relevant to time period.

601 Belmont Ave	Built 1895. The property contains a 1 and a half-story quadruplex, which was originally constructed as a multiple family apartment building. It was designed in the Transitional Arts and Crafts style. Marlow, Ges L. is recorded as having built the resource. The original owner of the property was Hausots, Mrs..	5D	Windows and doors have been altered. Addition (s) have been made. Landscape elements have changed. Structure historically relevant to time period.
607 Belmont Ave	Built 1924. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Mission Revival style. Leburn, Arthur is recorded as having built the resource. The architectural design is attributed to Leburn, Arthur. The original owner of the property was Familier, G. A..	5D	Windows, doors, and exterior cladding have been altered. Overall, structure is historically relevant to time period.
611 Belmont Ave	Built 1925. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. The original owner of the property was Kennedy, Philip.	5D	Windows, exterior cladding, and door and window openings have been altered. Overall, structure is historically relevant to time period.
629 Belmont Ave	Built 1897. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Queen Anne style. The original owner of the property was Thornberry, G. C..	5D	Historically relevant to time period.
522 N Bonnie Broe St	Built 1911. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. Donald, Ges L. is recorded as having built the resource. The original owner of the property was Arnold, Geo L..	5D	Windows, doors, exterior wall cladding, and door and window openings have been altered. Overall, structure is historically relevant to time period.
523 N Bonnie Broe St	Built 1904. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. Saum(?) is recorded as having built the resource. The original owner of the property was McKneeley, E.	5D	Windows have been altered. Overall, structure is historically relevant to time period.

526 N Bonnie Brae St	Built 1911. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. P. Y. Leaves & Co. is recorded as having built the resource. The original owner of the property was Sherman & Hildyes.	5D	Historically relevant to time period.
532 N Bonnie Brae St	Built 1906. The property contains a 1-story apartment building, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is a secondary structure on the property.	5D	Doors have been altered. Structure historically relevant to time period.
555-557 N Bonnie Brae St	Built 1924. The property contains a 1-story duplex, which was originally constructed as a residential duplex. It was designed in the Colonial Revival style. Ieland, W. is recorded as having built the resource. The architectural design is attributed to Watson, Girett. The original owner of the property was Watson, Girett.	5D	Windows and doors have been altered. Security bars have been added. Historically relevant to time period.
612 N Bonnie Brae St	Built 1908. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Hippled Roof Cottage style. Seawright, W. T. is recorded as having built the resource. The architectural design is attributed to Seawright, W. T.. The original owner of the property was Seawright, W. T.	5D	Concrete block wall added to yard. Structure historically relevant to time period.
712 N Bonnie Brae St	Built 1925. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. Wallace, S. L. is recorded as having built the resource. The original owner of the property was Lemon, Howard.	5D	Exterior wall cladding has been altered. Structure historically relevant to time period.

810 N Bonnie Brace St	Built 1911. The property contains a 2-story apartment building, which was originally constructed as a single family residence. It was designed in the Craftsman style. Wood, H. W. is recorded as having built the resource. The architectural design is attributed to Wood, H. W.. The original owner of the property was Brooks, M..	5D	Security bars have been added. Structure historically relevant to time period.
904 N Bonnie Brace St	Built 1922. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Colonial Revival style.	5D	Doors and exterior wall cladding have been altered. Landscape includes mature tree. Structure historically relevant to time period.
916 N Bonnie Brace St	Built 1903. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Colonial Revival style. Walter, A. O. is recorded as having built the resource. The original owner of the property was Holley, Mrs. S. S.	5D	Historically relevant to time period.
1020 N Bonnie Brace St	Built 1910. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. Bicker, H. D. is recorded as having built the resource. The architectural design is attributed to Quinitin, Scott. The original owner of the property was Kirby, Mrs. J. W.	5D	Historically relevant to time period.
1036 N Bonnie Brace St	Built 1909. The property contains a 2-story transient lodging, which was originally constructed as a multiple family residence. It was designed in the Craftsman style. Parsons, H. is recorded as having built the resource. The original owner of the property was Seabolt, M. M.	5D	Doors and exterior wall cladding have been altered. Overall, structure historically relevant to time period.
1038 N Bonnie Brace St	Built 1910. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. The original owner of the property was Corbles, E. A.	5D	Windows, exterior wall cladding, and porch have been altered. Overall, structure historically relevant to time period.

1044 N Bonnie Brae St	Built 1928. The property contains a 1-story apartment building, which was originally constructed as a multiple family residence. It was designed in the Beaux Arts style. Newton, C. E. is recorded as having built the resource. The architectural design is attributed to Stephane & Schieffy. The original owner of the property was Newton, W.	5D	Historically relevant to time period.
1054 N Bonnie Brae St	Built 1922. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style.	5D	Windows, and door and window openings have been altered. Concrete block fence addition in yard. Overall, structure is historically relevant to time period.
500 N Burlington Ave	Built 1923. The property contains a 1-story triplex, which was originally constructed as a multiple family residence. It was designed in the Craftsman style.	5D	Exterior wall cladding has been altered. Structure historically relevant to time period.
501 N Burlington Ave	Built 1921. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows and porch have been altered. Security bars have been added. Overall, structure historically relevant to time period.
504 N Burlington Ave	Built 1908. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style.	5D	Security bars and cement block fence in yard have been added. Structure historically relevant to time period.
508 N Burlington Ave	Built 1908. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Security bars have been added. Structure historically relevant to time period.
516 N Burlington Ave	Built 1921. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows and doors have been altered. Concrete block fence added to yard. Structure historically relevant to time period.

1712 Clinton St	Built 1923. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. Messhall Builders is recorded as having built the resource. The original owner of the property was Buehner.	5D	Doors have been altered. Security bars added. Structure historically relevant to time period.
1718 Clinton St	Built 1904. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Queen Anne style.	5D	Windows, doors, and exterior wall cladding have been altered. Overall, structure historically relevant to time period.
1720 Clinton St	Built 1900. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Southwest Permits Control is recorded as having built the resource. The original owner of the property was Rodes, Roy W.. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Security bars added. Structure historically relevant to time period.
1724 Clinton St	Built 1906. The property contains a 2 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style.	5D	Windows and exterior wall cladding have been altered. Mature tree in front yard. Structure historically relevant to time period.
1728 Clinton St	Built 1913. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Historically relevant to time period.
1729 Clinton St	Built 1909. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. The original owner of the property was Dipanerazio, Emidio & Anna.	5D	Porch altered. Structure historically relevant to time period.

1732 Clinton St	Built 1922. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Historically relevant to time period.
1733 Clinton St	Built 1900. The property contains a 1 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Queen Anne style. The original owner of the property was Ellis, E. P.	5D	Historically relevant to time period.
1737 Clinton St	Built 1935. The property contains a 1-story duplex, which was originally constructed as a residential duplex. It was designed in the Spanish Colonial Revival style.	5D	Windows have been altered. Security bars added. Structure historically relevant to time period.
1738-1746 Clinton St	Built 1913. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Craftsman style.	5D	Windows and doors altered. Overall, structure historically relevant to time.
1743 Clinton St	Built 1938. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Colonial Revival style. The original owner of the property was Peterson, Fred & Henry.	5D	Windows and exterior wall cladding have been altered. Overall, structure historically relevant to time.
1747 Clinton St	Built 1895. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Queen Anne style. The original owner of the property was Carisson, B. G.. Two parcels make up this property: 5404-012-017 and 5404-009-018.	5D	Windows and doors have been altered. Addition (s) have been made. Overall, structure historically relevant to time period.
1748 Clinton St	Built 1904. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Hipped Roof Cottage style. The original owner of the property was Smith, Andrew J.	5D	Doors have been altered. Structure historically relevant to time period.

1749 Clinton St	Built 1921. The property contains a 2 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Colonial Revival style.	5D	Windows, doors, and exterior wall cladding have been altered. Structure contributes to the historical influence on the area.
1751 Clinton St	Built 1885. The property contains a 2-story quadruplex, which was originally constructed as a single family residence. It was designed in the Queen Anne style. The original owner of the property was Dahlin, Archie E.	5D	Windows have been altered. Overall, structure is historically relevant to time period.
1752 Clinton St	Built 1912. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D	Historically relevant to time period.
1755 Clinton St	Built 1755. The property contains a 2-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman, Transitional style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Windows altered and security bars added. Overall, structure historically relevant to time period.
1756 Clinton St	Built 1913. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Some changes and alterations made. Structure historically relevant to time period.
1760 Clinton St	Built 1913. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style.	5D	Windows and porch have been altered. Overall, structure historically relevant to time period.
1763-1765 Clinton St	Built 1922. The property contains a 2-story triplex, which was originally constructed as a residential duplex. It was designed in the Dutch Colonial Revival style.	5D	Historically relevant to time period.

751 Echo Park Ave	Built 1892. The property contains a municipal property, which was originally constructed as a park. The resource is designated as a local landmark, Historic-Cultural Monument #836.	5B, 5S1	Historically relevant to time period.
1121 Echo Park Ave	Built 1912. The property contains a 2-story quadruplex, which was originally constructed as a multiple family residence. It was designed in the Craftsman style. Chapme, Fred C. is recorded as having built the resource. The architectural design is attributed to Ruston, E.. The original owner of the property was Hauter, Telfor D.	3S, 5B	Historically relevant to time period.
1321 Echo Park Ave (2nd building)	Built 1915. The property contains a 2-story restaurant building, which was originally constructed as a commercial building. It was designed in the Renaissance Revival style.	5D	Facade has been altered and addition (s) have been added. The structure contributes to the historical significance of the area.
1127 Echo Park Ave	Built 1917. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Craftsman style. The original owner of the property was Melew, Ashes P.	5D	Doors have been altered. Structure historically relevant to time period.
1131 Echo Park Ave	Built 1911. The property contains a 2-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Exterior wall cladding has been altered. Structure historically relevant to time period.
1135 Echo Park Ave	Built 1907. The property contains a 2-story quadruplex, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Glalerg, S. E. is recorded as having built the resource. The original owner of the property was Gilmore, H. B.	5D	Exterior wall cladding altered. Structure contributes to the historical significance of the area.
1141 Echo Park Ave	Built 1928. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Spanish Colonial Revival style. The original owner of the property was Vozzalin, Angelo.	5D	Historically relevant to time period.

1157 Echo Park Ave	Built 1924. The property contains a 3-story store & residential building, which was originally constructed as a stores & multiple family apartment building. It was designed in the Renaissance Revival style.	5D	Windows and storefronts have been altered. Structure contributes to the historical significance of the area.
581 Glendale Blvd 585 Glendale Blvd	Built 1918. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Colonial Revival style. The parcel contains four separate structures - an industrial building in front of three single family residences.	5D	Windows and exterior wall cladding have been altered. Structure contributes to the historical significance of the area.
817 Glendale Blvd	Built 1937. The property contains a 2 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2. City Monument #257, declared 11/5/1982.	5B, 5S1	Historically relevant to time period.
823 Glendale Blvd	Built 1924. The property contains a 2-story duplex, which was originally constructed as a residential duplex. Putz, Clarence is recorded as having built the resource. The architectural design is attributed to Putz, Clarence. The original owner of the property was Putz, Clarence. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Windows and porch have been altered. Addition (s) made. Represents an established feature of the neighborhood, community, or city.
837 Glendale Blvd	Built 1940. The property contains a 1-story triplex, which was originally constructed as a multiple family residence. It was designed in the Minimal Traditional style. The original owner of the property was Borough, Mrs.. A second structure is located on the parcel behind this property.	5D	Security bars added. Structure historically relevant to time period.

903 Glendale Blvd	Built 1925. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman, Transitional style. Wolf, J. is recorded as having built the resource. The original owner of the property was Frainors, Mrs.	5D	Historically relevant to time period.
907 Glendale Blvd	Built 1923. The property contains a 2-story apartment building, which was originally constructed as a multiple family residence. It was designed in the Spanish Colonial Revival style.	5D	Historically relevant to time period.
913 Glendale Blvd	Built 1952. The property contains a 2-story single family residence, which was originally constructed as a residential duplex. It was designed in the Modern style.	5D	Security bars added. Structure historically relevant to time period.
1005 Glendale Blvd	Built 1922. The property contains a 2-story quadruplex, which was originally constructed as a multiple family apartment building. It was designed in the Spanish Colonial Revival style.	5D	Windows have been altered. Overall, structure is historically relevant to time period.
1015 Glendale Blvd	Built 1912. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Craftsman style.	5D	Doors have been altered. Historically relevant to the time period.
1100 Glendale Blvd	Built 1923. The property contains a 4-story religious building, which was originally constructed as a church. It was designed in the Classical Revival style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 1S. The resource was previously evaluated as part of a National Historic Landmark and listed on the National Register #92001875.	1S, 5B	Historically relevant to time period.
1132 Glendale Blvd	Built 1949. The property contains a 3-story religious building, which was originally constructed as a multiple family apartment building. It was designed in the Modernist style. Significant features of the property include: original steel casement windows.	5D	Historically relevant to time period.

1136 Glendale Blvd	Built 1923. The property contains a 1-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Spanish Colonial Revival style.	5D	Windows altered and security bars added. Overall, structure historically relevant to time period.
1715 Kent St	Built 1924. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style.	5D	Historically relevant to time period.
1723 Kent St	Built 1938. The property contains a 1-story triplex, which was originally constructed as a multiple family residence. It was designed in the Spanish Colonial Revival style. The original owner of the property was Fanel, L. E. A.	5D	Exterior wall cladding altered. Security bars added. Overall, structure is historically relevant to the time period.
1725 Kent St	Built 1924. The property contains a 1-story triplex, which was originally constructed as a residential duplex. It was designed in the Craftsman style.	5D	Windows and doors have been altered. Overall, structure is historically relevant to the time period.
1726 Kent St	Built 1935. The property contains a 2-story duplex, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. Phillipson, Bessie is recorded as having built the resource. The original owner of the property was Phillipson, Bessie.	5D	Windows, exterior wall cladding, and garage have been altered. Structure contributes to the historical significance of the area.
1728 Kent St	Built 1937. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. Bosming, Gas M. is recorded as having built the resource. The original owner of the property was Gawr, W. Forst.	5D	Historically relevant to time period.
1732 Kent St	Built 1923. The property contains a 1-story apartment building, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows and exterior wall cladding have been altered. Structure contributes to the historical significance of the area.

1741 Kent St	Built 1913. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows have been altered. Overall, structure is historically relevant to time period.
1742 Kent St	Built 1933. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Spanish Colonial Revival style. Tomason, L. C. is recorded as having built the resource. The original owner of the property was Tomason, L. C.	5D	Historically relevant to time period.
1746 Kent St	Built 1948. The property contains a 1-story multiple family residence, which was originally constructed as a single family residence. It was designed in the Modernist style. The original owner of the property was Murder, Robert.	5D	Historically relevant to time period.
1747 Kent St	Built 1921. The property contains a 1-story quadruplex, which was originally constructed as a single family residence. It was designed in the Colonial Revival style. Cunningham, C. C. is recorded as having built the resource. The original owner of the property was Farass, Mrs. Frances.	5D	Windows and exterior wall cladding have been altered. Structure contributes to the historical significance of the area.
1748-1750 Kent St	Built 1953. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Minimal Traditional style. Goudge, Harisson is recorded as having built the resource. The architectural design is attributed to General Engineering. The original owner of the property was Goudge, Harisson.	5D	Windows and exterior wall cladding have been altered. Structure contributes to the historical significance of the area.
1751 Kent St	Built 1920. The property contains a 1-story apartment building, which was originally constructed as a multiple family residence. It was designed in the Colonial Revival style. The architectural design is attributed to Jankvis, M. C.. The original owner of the property was Jankvis, M. C.. Five identical bungalows are located on the parcel.	5D	Windows and exterior wall cladding have been altered. Addition(s) have been added. Structure contributes to the historical significance of the area.

1121 Lemoyne St	Built 1926. The property contains a 2-story religious building, which was originally constructed as a church. It was designed in the Renaissance Revival style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 1S. The resource was previously evaluated as part of a National Historic Landmark and listed on the National Register #92001875. The parcel contains three structures.	5D	Historically relevant to time period.
1121 Lemoyne St (2nd structure)	Built 1926. The property contains a 4-story religious building, which was originally constructed as a church. It was designed in the Renaissance Revival style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 1S. The resource was previously evaluated as part of a National Historic Landmark and is listed on the National Register #92001875. The parcel contains three separate structures.	1S	Historically relevant to time period.
1121-1125 Lemoyne St	Built 1920. The property contains a 2-story religious building, which was originally constructed as a multiple family residence. It was designed in the Craftsman style. McKenna, D. W. is recorded as having built the resource. The original owner of the property was McKenna, D. W.	5D	Windows and doors have been altered. Overall, structure is historically relevant to the time period.
1122 Lemoyne St	Built 1910. The property contains a 1 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The architectural design is attributed to Ye Planary. The original owner of the property was Brann, Alice.	5D	Windows, doors, and exterior wall cladding have been altered. Security bars added. Structure contributes to the historical significance of the area.
1126 Lemoyne St	Built 1923. The property contains a 1-story triplex, which was originally constructed as a multiple family residential court. It was designed in the Spanish Colonial Revival style. Significant features of the property include: courtyard.	5D	Windows and exterior wall cladding have been altered. Overall, structure is historically relevant to time period.

1127 Lemoyne St	Built 1923. The property contains a 2-story apartment building, which was originally constructed as a multiple family residence. It was designed in the Spanish Colonial Revival style.	5D	Windows, and door and window openings have been altered. Security bars added. Overall, structure is historically relevant to time period.
1133 Lemoyne St	Built 1947. The property contains a 2-story religious building, which was originally constructed as a multiple family residence. It was designed in the Modernist style. The architectural design is attributed to Denman, Clifford. The original owner of the property was International Church Of The Foursquare Gospel.	5D	Security bars added. Structure historically relevant to time period.
1140 Lemoyne St	Built 1915. The property contains a 2-story quadruplex, which was originally constructed as a multiple family residence. It was designed in the Craftsman style.	5D	Security bars added. Structure historically relevant to time period.
1143 Lemoyne St	Built 1921. The property contains a 1-story triplex, which was originally constructed as a residential duplex. It was designed in the Colonial Revival style. Peaman is recorded as having built the resource. The architectural design is attributed to Peaman.	5D	Doors have been altered. Structure historically relevant to time period.
1304 Lemoyne St	Built 1948. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Renaissance Revival style.	5D	Windows, exterior wall cladding, and storefronts have been altered.
1123 Logan St	Built 1910. The property contains a 1 and a half-story duplex, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Brazeltor, W. L. is recorded as having built the resource. The architectural design is attributed to Ye Planary. The original owner of the property was Brazeltor, W. L.	5D	Windows and exterior wall cladding have been altered. Structure contributes to the historical significance of the area.

1128-1130 Logan St	Built 1910. The property contains a 1 and a half-story multiple family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Brazelton, W. L. is recorded as having built the resource. The original owner of the property was Brandard, E. R.. Subject building is in the rear of the lot.	5D	Windows and porch have been altered. Overall, structure historically relevant to time period.
1129 Logan St	Built 1910. The property contains a 1 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Brazelton, W. L. is recorded as having built the resource. The architectural design is attributed to Ye Planary. The original owner of the property was Brazelton, W. L.	5D	Doors and exterior wall cladding have been altered. Overall, structure is historically relevant to the time period.
1132 Logan St	The property contains a 2-story quadruplex, which was originally constructed as a multiple family residence. It was designed in the Craftsman style. William & Wiess is recorded as having built the resource. The original owner of the property was Ralcher, Mrs. Genard.	5D	No significant alterations have occurred.
1135 Logan St	Built 1928. The property contains a 1-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Craftsman style. James Sturmy & Sons is recorded as having built the resource. The architectural design is attributed to Sturmy, James. The original owner of the property was Carter, Julie.	5D	Windows and porch have been altered. Overall, structure historically relevant to time period.
1136 Logan St	Built 1925. The property contains a 1-story apartment building, which was originally constructed as a multiple family residential court. It was designed in the Spanish Colonial Revival style. Significant features of the property include: courtyard.	5D	Historically relevant to time period.

1137 Logan St	Built 1914. The property contains a 2-story quadruplex, which was originally constructed as a multiple family apartment building. It was designed in the Craftsman style. Bohanan, James is recorded as having built the resource. The architectural design is attributed to Bohanan, James. The original owner of the property was Bradford, E.	5D	Windows and porch have been altered. Overall, structure historically relevant to time period.
1156 Logan St	Built 1919. The property contains a 1-story store & office building, which was originally constructed as a commercial retail building. It was designed in the Art Deco style.	5D	Storefronts have been altered. Structure contributes to the historical significance of the area.
1703 Logan St	Built 1924. The property contains a 2-story apartment building, which was originally constructed as a apartments. It was designed in the Spanish Colonial Revival style. The resource is a secondary structure on the property.	5D	Windows, as well as door and window openings, have been altered. Overall, structure historically relevant to time period.
1819 Montrose St	Built 1913. The property contains a 1-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows have been altered. Overall, structure is historically relevant to time period.
1824 Montrose St	Built 1912. The property contains a 1-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. The architectural design is attributed to Chanes, Clyde. The original owner of the property was Gould, Clyde.	5D	Windows, doors, and exterior wall cladding have been altered. Structure contributes to the historical significance of the area.
1839 Montrose St	Built 1919. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman style. Bies, F. W. is recorded as having built the resource. The original owner of the property was Hearney, G. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S3. The new front yard fence does not contribute as a landscape element, but the main building retains integrity.	5D, 5S3	Doors have been altered. Security bars and front yard fence have been added. Overall, structure is historically relevant to time period.

1621 Park Ave	Built 1949. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Minimal Traditional style.	5D	Historically relevant to time period.
1629 Park Ave	Built 1910. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Transitional Arts and Crafts style. Brazelton, W. L. is recorded as having built the resource. The original owner of the property was Branard, E. R.	5D	Doors have been altered and security bars have been added. Overall, structure is historically relevant to time period.
1703 Park Ave	Built 1924. The property contains a 1 and a half-story apartment building, which was originally constructed as a residential duplex. It was designed in the Craftsman style. Bies, F. W. is recorded as having built the resource. The original owner of the property was Latham, A. H.. A second structure is located on the parcel behind this property.	5D	Historically relevant to time period.
1707 Park Ave	Built 1923. The property contains a 2-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Spanish Colonial Revival style.	5D	Windows and doors have been altered. Overall, structure is historically relevant to the time period.
1910 Park Ave	Built 1924. The property contains a 2-story duplex, which was originally constructed as a residential duplex. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Façade has been altered. Overall, structure is historically relevant to time period.
1816 Santa Ynez St	Built 1927. The property contains a 2-story quadruplex, which was originally constructed as a multiple family residence. It was designed in the Craftsman style. Argell, Harry is recorded as having built the resource. The original owner of the property was Kinsey, Alfred.	5D	Exterior wall cladding has been altered. Security bars have been added. Overall, structure is historically relevant to time period.

1818 Santa Ynez St	Built 1927. The property contains a 2-story quadruplex, which was originally constructed as a multiple family residence. It was designed in the Craftsman style. Argell, Harry is recorded as having built the resource. The original owner of the property was Kinsey, Alfred.	5D	Windows, doors, exterior wall cladding, and porch have been altered. Structure contributes to the historical significance of the area.
1821 Santa Ynez St	Built 1908. The property contains a 1-story triplex, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows and porch have been altered. Addition (s) have been made. Mature tree in front yard. Structure contributes to the historical significance of the area.
1827 Santa Ynez St	Built 1919. The property contains a 2-story quadruplex, which was originally constructed as a single family residence. It was designed in the Dutch Colonial Revival style.	5D	Windows and doors have been altered. Addition (s) have been made. Overall, structure is historically relevant to time period.
1828 Santa Ynez St	Built 1928. The property contains a 3-story apartment building, which was originally constructed as a multiple family apartment building. It was designed in the Renaissance Revival style.	5D	Windows have been altered. Structure historically relevant to time period.
1831 Santa Ynez St	Built 1923. The property contains a 2-story quadruplex, which was originally constructed as a multiple family residence. It was designed in the Spanish Colonial Revival style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Doors have been altered. Structure historically relevant to time period.
1834 Santa Ynez St	Built 1910. The property contains a 1 and a half-story duplex, which was originally constructed as a single family residence. It was designed in the Craftsman, Transitional style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Historically relevant to time period.
1839 Santa Ynez St	Built 1908. The property contains a 1 and a half-story triplex, which was originally constructed as a single family residence. It was designed in the Craftsman style.	5D	Windows, doors, and porch have been altered. Overall, structure historically relevant to time period.

1840 Santa Ynez St	Built 1906. The property contains a 1 and a half-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman, Transitional style. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D, 5S2	Windows and porch have been altered. Overall, structure historically relevant to time period.
1843 Santa Ynez St	Built 1922. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Colonial Revival style.	5D	Exterior wall cladding has been altered. Mature tree in yard. Overall, structure historically relevant to time period.
1844 Santa Ynez St	Built 1908. The property contains a 2-story single family residence, which was originally constructed as a single family residence. It was designed in the Craftsman, Transitional style. Significant features of the property include: bay window. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 5S2.	5D	Windows and exterior wall cladding have been altered. Non-historical concrete block wall. Structure contributes to the historical significance of the area.
1612-1614 W Sunset Blvd	Built 1913. The property contains a 2-story store & residential building, which was originally constructed as a commercial retail building. It was designed in the Renaissance Revival style.	5D	Windows and storefronts have been altered. Structure contributes to the historical significance of the area.
1700 W Sunset Blvd	Built 1924. The property contains a 3-story store & residential building, which was originally constructed as a recreation center. It was designed in the Renaissance Revival style. Jensen, H. C. is recorded as having built the resource. The architectural design is attributed to Memardus, G. E. B. The original owner of the property was Jensen, H. C.. The resource is recorded in the State Historic Resources Inventory with a prior evaluation of 6Y. The resource is designated as a local landmark, Historic-Cultural elements.	3S, 5B, 5S1	Storefronts have been altered. Structure historically relevant to time period.

1715 W Sunset Blvd	Built 1949. The property contains a 1-story store building, which was originally constructed as a commercial retail building. Emerson, Florence L. is recorded as having built the resource. The original owner of the property was Emerson, Florence L.	5D	Storefronts have been altered. Structure historically relevant to time period.
1720 W Sunset Blvd	Built 1937. The property contains a 1-story store building, which was originally constructed as a commercial retail building. It was designed in the Art Deco style. Garry & W. N. (?) is recorded as having built the resource. The architectural design is attributed to Norstrom And Anderson. The original owner of the property was Stroud, Ben K. & Gladys L.	5D	Windows, facade, and storefronts have been altered. Structure contributes to the historical significance of the area.
1721 W Sunset Blvd	Built 1947. The property contains a 1-story restaurant building, which was originally constructed as a commercial retail building.	5D	Windows have been altered. Overall, structure historically relevant to time period.
1724 W Sunset Blvd	Built 1936. The property contains a 1-story store building, which was originally constructed as a commercial retail building. It was designed in the Art Deco style. Knaues, H. J. is recorded as having built the resource. The architectural design is attributed to Knaues, H. J.. The original owner of the property was King, John R.	5D	Windows, doors, and storefronts have been altered. Structure contributes to the historical significance of the area.
1801 W Sunset Blvd	Built 1922. The property contains a 2-story store & office building, which was originally constructed as a commercial retail building. It was designed in the Renaissance Revival style.	5D	Windows and storefronts have been altered. Overall, structure is historically relevant to time period.
1807 W Sunset Blvd	Built 1912. The property contains a 2-story store & residential building, which was originally constructed as a commercial retail building/single family residence. It was designed in the Craftsman style. Rice, F. W. is recorded as having built the resource. The original owner of the property was Franck, G. L.	5D	Windows and doors have been altered. One story addition made to front of existing 2 story residence. Structure contributes to the historical significance of the area.

1827 W Sunset Blvd	Built 1912. The property contains a 2-story store & residential building, which was originally constructed as a commercial retail building. It was designed in the Streamline Moderne style.	5D	Storefronts altered. Security bars added. Structure is historically relevant to time period.
1841 W Sunset Blvd	Built 1922. The property contains a 4-story store & residential building, which was originally constructed as a multiple family apartment building. It was designed in the Renaissance Revival style. Pacific Outdoor Advertising is recorded as having built the resource. The original owner of the property was Pacific Outdoor Advertising.	5D	Windows have been altered. Overall, structure historically relevant to time period.
1918 W Sunset Blvd	Built 1949. The property contains a 1-story office building, which was originally constructed as a restaurant. It was designed in the Commercial style. Rasreys, C. E. is recorded as having built the resource. 1900 Sunset Blvd., which contains the 1965 Cal Fed Building, is on the same parcel.	5D	Historically relevant to time period.
1950 W Sunset Blvd	Built 1953. The property contains a 1-story office building, which was originally constructed as a commercial office building. It was designed in the Modern style.	5D	Structure historically relevant to modern time period.

* National Register of Historic Places

CITY OF LOS ANGELES
OFFICE OF THE CITY CLERK
ROOM 395, CITY HALL
LOS ANGELES, CALIFORNIA 90012
CALIFORNIA ENVIRONMENTAL QUALITY ACT
NEGATIVE DECLARATION

LEAD CITY AGENCY City of Los Angeles	COUNCIL DISTRICT 13
PROJECT TITLE ENV-2009-1334-ND	CASE NO. CPC-2008-1467-CDO

PROJECT LOCATION

The proposed project is generally bounded by Sunset Boulevard to the north; Echo Park Avenue to the east, Bonnie Brae Street to the west and the Hollywood Freeway (101) to the south.

PROJECT DESCRIPTION

The proposed project is the establishment of the Echo Park Community Design Overlay, an approximately 90- acre area comprised of primarily low-medium and medium density multiple-family residential land use designations and some commercial land use designations. The land use designations of the proposed project include Low Medium II, Medium Multiple-Family Residential, Community Commercial, as well as Open Space. The purpose of the CDO is to preserve the distinctive neighborhood character of the area, including the original streetcar development pattern, period architecture and pedestrian orientation. The proposed Echo Park CDO would place the subject area under design regulations, but would not change the underlying zoning or prohibit or generate construction activities.

NAME AND ADDRESS OF APPLICANT IF OTHER THAN CITY AGENCY

FINDING:

The City Planning Department of the City of Los Angeles has Proposed that a negative declaration be adopted for this project. The Initial Study indicates that no significant impacts are apparent which might result from this project's implementation. This action is based on the project description above.

Any written comments received during the public review period are attached together with the response of the Lead City Agency. The project decision-maker may adopt this negative declaration, amend it, or require preparation of an EIR. Any changes made should be supported by substantial evidence in the record and appropriate findings made.

THE INITIAL STUDY PREPARED FOR THIS PROJECT IS ATTACHED.

NAME OF PERSON PREPARING THIS FORM	TITLE	TELEPHONE NUMBER
SERGIO IBARRA	City Planning Assistant	(213) 978-1204

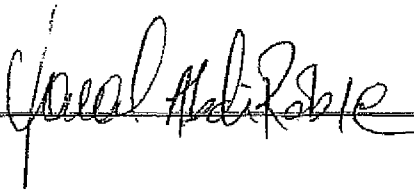
ADDRESS	SIGNATURE (Official)	DATE
200 N. SPRING STREET, 7th FLOOR LOS ANGELES, CA. 90012		3/27/09

Exhibit C

CITY OF LOS ANGELES
OFFICE OF THE CITY CLERK
ROOM 395, CITY HALL
LOS ANGELES, CALIFORNIA 90012
CALIFORNIA ENVIRONMENTAL QUALITY ACT
INITIAL STUDY
and CHECKLIST
(CEQA Guidelines Section 15063)

LEAD CITY AGENCY: City of Los Angeles		COUNCIL DISTRICT: 13	DATE:
RESPONSIBLE AGENCIES: Department of City Planning			
ENVIRONMENTAL CASE: ENV-2009-1334-ND	RELATED CASES: CPC-2008-1467-CDO		
PREVIOUS ACTIONS CASE NO.:	<input type="checkbox"/> Does have significant changes from previous actions. <input checked="" type="checkbox"/> Does NOT have significant changes from previous actions.		
PROJECT DESCRIPTION: NEGATIVE DECLARATION			
ENV PROJECT DESCRIPTION: The proposed project is the establishment of the Echo Park Community Design Overlay, an approximately 90- acre area comprised of primarily low-medium and medium density multiple-family residential land use designations and some commercial land use designations. The land use designations of the proposed project include Low Medium II, Medium Multiple-Family Residential, Community Commercial, as well as Open Space. The purpose of the CDO is to preserve the distinctive neighborhood character of the area, including the original streetcar development pattern, period architecture and pedestrian orientation. The proposed Echo Park CDO would place the subject area under design regulations, but would not change the underlying zoning or prohibit or generate construction activities.			
ENVIRONMENTAL SETTINGS: The proposed project is in an approximately 90- acre area comprised of primarily low-medium and medium density multiple-family residential land use designations and some commercial land use designations. The land use designations of the proposed project include Low Medium II, Medium Multiple-Family Residential, Community Commercial, as well as Open Space, notably, Echo Park Lake.			
PROJECT LOCATION: The proposed project is generally bounded by Sunset Boulevard to the north, Echo Park Avenue to the east, Bonnie Brae Street to the west and the Hollywood Freeway (101) to the south.			
COMMUNITY PLAN AREA: SILVER LAKE - ECHO PARK - ELYSIAN VALLEY STATUS: <input checked="" type="checkbox"/> Does Conform to Plan <input type="checkbox"/> Does NOT Conform to Plan	AREA PLANNING COMMISSION: EAST LOS ANGELES	CERTIFIED NEIGHBORHOOD COUNCIL: GREATER ECHO PARK ELYSIAN	
EXISTING ZONING: OS-1XL, RD2-1VL, RD1.5-1VL, C2-1L, [Q]C2-1L, R3-1VL, R4-1L, [Q]C2-1VL	MAX. DENSITY/INTENSITY ALLOWED BY ZONING: R4 (1 DU per 400 sq. ft. of lot area)	LA River Adjacent: NO	
GENERAL PLAN LAND USE: Low Medium, Medium Residential, Community Commercial, Open Space	MAX. DENSITY/INTENSITY ALLOWED BY PLAN DESIGNATION: R4 (1 DU per 400 sq. ft. of lot area)		
PROPOSED PROJECT DENSITY: N/A			

Determination (To Be Completed By Lead Agency)

On the basis of this initial evaluation:

- ☒ I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- ☐ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions on the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- ☐ I find the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- ☐ I find the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- ☐ I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

City Planning Assistant

(213) 978-1204

Signature

Title

Phone

Evaluation Of Environmental Impacts:

1. A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
4. "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of a mitigation measure has reduced an effect from "Potentially Significant Impact" to "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section XVII, "Earlier Analysis," cross referenced).
5. Earlier analysis must be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR, or negative declaration. Section 15063 (c)(3)(D). In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are "Less Than Significant With Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.

6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated
7. Supporting Information Sources: A sources list should be attached, and other sources used or individuals contacted should be cited in the discussion.
8. This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whichever format is selected.
9. The explanation of each issue should identify:
 - a. The significance criteria or threshold, if any, used to evaluate each question; and
 - b. The mitigation measure identified, if any, to reduce the impact to less than significance.

Environmental Factors Potentially Affected:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

<input type="checkbox"/> AESTHETICS	<input type="checkbox"/> HAZARDS AND HAZARDOUS MATERIALS	<input type="checkbox"/> PUBLIC SERVICES
<input type="checkbox"/> AGRICULTURAL RESOURCES	<input type="checkbox"/> HYDROLOGY AND WATER QUALITY	<input type="checkbox"/> RECREATION
<input type="checkbox"/> AIR QUALITY	<input type="checkbox"/> LAND USE AND PLANNING	<input type="checkbox"/> TRANSPORTATION/CIRCULATION
<input type="checkbox"/> BIOLOGICAL RESOURCES	<input type="checkbox"/> MINERAL RESOURCES	<input type="checkbox"/> UTILITIES
<input type="checkbox"/> CULTURAL RESOURCES	<input type="checkbox"/> NOISE	<input type="checkbox"/> MANDATORY FINDINGS OF SIGNIFICANCE
<input type="checkbox"/> GEOLOGY AND SOILS	<input type="checkbox"/> POPULATION AND HOUSING	

INITIAL STUDY CHECKLIST (To be completed by the Lead City Agency)

Background

PROPONENT NAME:

PHONE NUMBER:

() -

APPLICANT ADDRESS:

AGENCY REQUIRING CHECKLIST:

DATE SUBMITTED:

Department of City Planning

04/10/2008

PROPOSAL NAME (if Applicable):

Echo Park CDO

Potentially significant impact	Potentially significant unless mitigation incorporated	Less than significant impact	No impact
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I. AESTHETICS				
a.	HAVE A SUBSTANTIAL ADVERSE EFFECT ON A SCENIC VISTA?			✓
b.	SUBSTANTIALLY DAMAGE SCENIC RESOURCES, INCLUDING, BUT NOT LIMITED TO, TREES, ROCK OUTCROPPINGS, AND HISTORIC BUILDINGS, OR OTHER LOCALLY RECOGNIZED DESIRABLE AESTHETIC NATURAL FEATURE WITHIN A CITY-DESIGNATED SCENIC HIGHWAY?			✓
c.	SUBSTANTIALLY DEGRADE THE EXISTING VISUAL CHARACTER OR QUALITY OF THE SITE AND ITS SURROUNDINGS?			✓
d.	CREATE A NEW SOURCE OF SUBSTANTIAL LIGHT OR GLARE WHICH WOULD ADVERSELY AFFECT DAY OR NIGHTTIME VIEWS IN THE AREA?			✓
II. AGRICULTURAL RESOURCES				
a.	CONVERT PRIME FARMLAND, UNIQUE FARMLAND, OR FARMLAND OF STATEWIDE IMPORTANCE, AS SHOWN ON THE MAPS PREPARED PURSUANT TO THE FARMLAND MAPPING AND MONITORING PROGRAM OF THE CALIFORNIA RESOURCES AGENCY, TO NON-AGRICULTURAL USE?			✓
b.	CONFLICT THE EXISTING ZONING FOR AGRICULTURAL USE, OR A WILLIAMSON ACT CONTRACT?			✓
c.	INVOLVE OTHER CHANGES IN THE EXISTING ENVIRONMENT WHICH, DUE TO THEIR LOCATION OR NATURE, COULD RESULT IN CONVERSION OF FARMLAND, TO NON-AGRICULTURAL USE?			✓
III. AIR QUALITY				
a.	CONFLICT WITH OR OBSTRUCT IMPLEMENTATION OF THE SCAQMD OR CONGESTION MANAGEMENT PLAN?			✓
b.	VIOLATE ANY AIR QUALITY STANDARD OR CONTRIBUTE SUBSTANTIALLY TO AN EXISTING OR PROJECTED AIR QUALITY VIOLATION?			✓
c.	RESULT IN A CUMULATIVELY CONSIDERABLE NET INCREASE OF ANY CRITERIA POLLUTANT FOR WHICH THE AIR BASIN IS NON-ATTAINMENT (OZONE, CARBON MONOXIDE, & PM 10) UNDER AN APPLICABLE FEDERAL OR STATE AMBIENT AIR QUALITY STANDARD?			✓
d.	EXPOSE SENSITIVE RECEPTORS TO SUBSTANTIAL POLLUTANT CONCENTRATIONS?			✓
e.	CREATE OBJECTIONABLE ODORS AFFECTING A SUBSTANTIAL NUMBER OF PEOPLE?			✓
IV. BIOLOGICAL RESOURCES				
a.	HAVE A SUBSTANTIAL ADVERSE EFFECT, EITHER DIRECTLY OR THROUGH HABITAT MODIFICATION, ON ANY SPECIES IDENTIFIED AS A CANDIDATE, SENSITIVE, OR SPECIAL STATUS SPECIES IN LOCAL OR REGIONAL PLANS, POLICIES, OR REGULATIONS BY THE CALIFORNIA DEPARTMENT OF FISH AND GAME OR U.S. FISH AND WILDLIFE SERVICE ?			✓
b.	HAVE A SUBSTANTIAL ADVERSE EFFECT ON ANY RIPARIAN HABITAT OR OTHER SENSITIVE NATURAL COMMUNITY IDENTIFIED IN THE CITY OR REGIONAL PLANS, POLICIES, REGULATIONS BY THE CALIFORNIA DEPARTMENT OF FISH AND GAME OR U.S. FISH AND WILDLIFE SERVICE ?			✓
c.	HAVE A SUBSTANTIAL ADVERSE EFFECT ON FEDERALLY PROTECTED WETLANDS AS DEFINED BY SECTION 404 OF THE CLEAN WATER ACT (INCLUDING, BUT NOT LIMITED TO, MARSH VERNAL POOL, COASTAL, ETC.) THROUGH DIRECT REMOVAL, FILLING, HYDROLOGICAL INTERRUPTION, OR OTHER MEANS?			✓
d.	INTERFERE SUBSTANTIALLY WITH THE MOVEMENT OF ANY NATIVE RESIDENT OR MIGRATORY FISH OR WILDLIFE SPECIES OR WITH ESTABLISHED NATIVE RESIDENT OR MIGRATORY WILDLIFE CORRIDORS, OR IMPEDE THE USE OF NATIVE WILDLIFE NURSERY SITES?			✓

Potentially significant impact	Potentially significant unless mitigation incorporated	Less than significant impact	No impact
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e.	CONFLICT WITH ANY LOCAL POLICIES OR ORDINANCES PROTECTING BIOLOGICAL RESOURCES, SUCH AS TREE PRESERVATION POLICY OR ORDINANCE (E.G., OAK TREES OR CALIFORNIA WALNUT WOODLANDS)?				✓
f.	CONFLICT WITH THE PROVISIONS OF AN ADOPTED HABITAT CONSERVATION PLAN, NATURAL COMMUNITY CONSERVATION PLAN, OR OTHER APPROVED LOCAL, REGIONAL, OR STATE HABITAT CONSERVATION PLAN?				✓
V. CULTURAL RESOURCES					
a.	CAUSE A SUBSTANTIAL ADVERSE CHANGE IN SIGNIFICANCE OF A HISTORICAL RESOURCE AS DEFINED IN STATE CEQA 15064.5?				✓
b.	CAUSE A SUBSTANTIAL ADVERSE CHANGE IN SIGNIFICANCE OF AN ARCHAEOLOGICAL RESOURCE PURSUANT TO STATE CEQA 15064.5?				✓
c.	DIRECTLY OR INDIRECTLY DESTROY A UNIQUE PALEONTOLOGICAL RESOURCE OR SITE OR UNIQUE GEOLOGIC FEATURE?				✓
d.	DISTURB ANY HUMAN REMAINS, INCLUDING THOSE INTERRED OUTSIDE OF FORMAL CEMETERIES?				✓
VI. GEOLOGY AND SOILS					
a.	EXPOSURE OF PEOPLE OR STRUCTURES TO POTENTIAL SUBSTANTIAL ADVERSE EFFECTS, INCLUDING THE RISK OF LOSS, INJURY OR DEATH INVOLVING : RUPTURE OF A KNOWN EARTHQUAKE FAULT, AS DELINEATED ON THE MOST RECENT ALQUIST-PRIOLO EARTHQUAKE FAULT ZONING MAP ISSUED BY THE STATE GEOLOGIST FOR THE AREA OR BASED ON OTHER SUBSTANTIAL EVIDENCE OF A KNOWN FAULT? REFER TO DIVISION OF MINES AND GEOLOGY SPECIAL PUBLICATION 42.				✓
b.	EXPOSURE OF PEOPLE OR STRUCTURES TO POTENTIAL SUBSTANTIAL ADVERSE EFFECTS, INCLUDING THE RISK OF LOSS, INJURY OR DEATH INVOLVING : STRONG SEISMIC GROUND SHAKING?				✓
c.	EXPOSURE OF PEOPLE OR STRUCTURES TO POTENTIAL SUBSTANTIAL ADVERSE EFFECTS, INCLUDING THE RISK OF LOSS, INJURY OR DEATH INVOLVING : SEISMIC-RELATED GROUND FAILURE, INCLUDING LIQUEFACTION?				✓
d.	EXPOSURE OF PEOPLE OR STRUCTURES TO POTENTIAL SUBSTANTIAL ADVERSE EFFECTS, INCLUDING THE RISK OF LOSS, INJURY OR DEATH INVOLVING : LANDSLIDES?				✓
e.	RESULT IN SUBSTANTIAL SOIL EROSION OR THE LOSS OF TOPSOIL?				✓
f.	BE LOCATED ON A GEOLOGIC UNIT OR SOIL THAT IS UNSTABLE, OR THAT WOULD BECOME UNSTABLE AS A RESULT OF THE PROJECT, AND POTENTIAL RESULT IN ON- OR OFF-SITE LANDSLIDE, LATERAL SPREADING, SUBSIDENCE, LIQUEFACTION, OR COLLAPSE?				✓
g.	BE LOCATED ON EXPANSIVE SOIL, AS DEFINED IN TABLE 18-1-B OF THE UNIFORM BUILDING CODE (1994), CREATING SUBSTANTIAL RISKS TO LIFE OR PROPERTY?				✓
h.	HAVE SOILS INCAPABLE OF ADEQUATELY SUPPORTING THE USE OF SEPTIC TANKS OR ALTERNATIVE WASTE WATER DISPOSAL SYSTEMS WHERE SEWERS ARE NOT AVAILABLE FOR THE DISPOSAL OF WASTE WATER?				✓
VII. HAZARDS AND HAZARDOUS MATERIALS					
a.	CREATE A SIGNIFICANT HAZARD TO THE PUBLIC OR THE ENVIRONMENT THROUGH THE ROUTINE TRANSPORT, USE, OR DISPOSAL OF HAZARDOUS MATERIALS?				✓
b.	CREATE A SIGNIFICANT HAZARD TO THE PUBLIC OR THE ENVIRONMENT THROUGH REASONABLY FORESEEABLE UPSET AND ACCIDENT CONDITIONS INVOLVING THE RELEASE OF HAZARDOUS MATERIALS INTO THE ENVIRONMENT?				✓

Potentially significant impact	Potentially significant unless mitigation incorporated	Less than significant impact	No impact
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c.	EMIT HAZARDOUS EMISSIONS OR HANDLE HAZARDOUS OR ACUTELY HAZARDOUS MATERIALS, SUBSTANCES, OR WASTE WITHIN ONE-QUARTER MILE OF AN EXISTING OR PROPOSED SCHOOL?				✓
d.	BE LOCATED ON A SITE WHICH IS INCLUDED ON A LIST OF HAZARDOUS MATERIALS SITES COMPILED PURSUANT TO GOVERNMENT CODE SECTION 65962.5 AND, AS A RESULT, WOULD IT CREATE A SIGNIFICANT HAZARD TO THE PUBLIC OR THE ENVIRONMENT?				✓
e.	FOR A PROJECT LOCATED WITHIN AN AIRPORT LAND USE PLAN OR, WHERE SUCH A PLAN HAS NOT BEEN ADOPTED, WITHIN TWO MILES OF A PUBLIC AIRPORT OR PUBLIC USE AIRPORT, WOULD THE PROJECT RESULT IN A SAFETY HAZARD FOR PEOPLE RESIDING OR WORKING IN THE PROJECT AREA?				✓
f.	FOR A PROJECT WITHIN THE VICINITY OF A PRIVATE AIRSTRIP, WOULD THE PROJECT RESULT IN A SAFETY HAZARD FOR THE PEOPLE RESIDING OR WORKING IN THE AREA?				✓
g.	IMPAIR IMPLEMENTATION OF OR PHYSICALLY INTERFERE WITH AN ADOPTED EMERGENCY RESPONSE PLAN OR EMERGENCY EVACUATION PLAN?				✓
h.	EXPOSE PEOPLE OR STRUCTURES TO A SIGNIFICANT RISK OF LOSS, INJURY OR DEATH INVOLVING WILDLAND FIRES, INCLUDING WHERE WILDLANDS ARE ADJACENT TO URBANIZED AREAS OR WHERE RESIDENCES ARE INTERMIXED WITH WILDLANDS?				✓
VIII. HYDROLOGY AND WATER QUALITY					
a.	VIOLATE ANY WATER QUALITY STANDARDS OR WASTE DISCHARGE REQUIREMENTS?				✓
b.	SUBSTANTIALLY DEplete GROUNDWATER SUPPLIES OR INTERFERE WITH GROUNDWATER RECHARGE SUCH THAT THERE WOULD BE A NET DEFICIT IN AQUIFER VOLUME OR A LOWERING OF THE LOCAL GROUNDWATER TABLE LEVEL (E.G., THE PRODUCTION RATE OF PRE-EXISTING NEARBY WELLS WOULD DROP TO A LEVEL WHICH WOULD NOT SUPPORT EXISTING LAND USES OR PLANNED LAND USES FOR WHICH PERMITS HAVE BEEN GRANTED)?				✓
c.	SUBSTANTIALLY ALTER THE EXISTING DRAINAGE PATTERN OF THE SITE OR AREA, INCLUDING THROUGH THE ALTERATION OF THE COURSE OF A STREAM OR RIVER, IN A MANNER WHICH WOULD RESULT IN SUBSTANTIAL EROSION OR SILTATION ON- OR OFF-SITE?				✓
d.	SUBSTANTIALLY ALTER THE EXISTING DRAINAGE PATTERN OF THE SITE OR AREA, INCLUDING THROUGH THE ALTERATION OF THE COURSE OF A STREAM OR RIVER, OR SUBSTANTIALLY INCREASE THE RATE OR AMOUNT OF SURFACE RUNOFF IN A MANNER WHICH WOULD RESULT IN FLOODING ON- OR OFF SITE?				✓
e.	CREATE OR CONTRIBUTE RUNOFF WATER WHICH WOULD EXCEED THE CAPACITY OF EXISTING OR PLANNED STORMWATER DRAINAGE SYSTEMS OR PROVIDE SUBSTANTIAL ADDITIONAL SOURCES OF POLLUTED RUNOFF?				✓
f.	OTHERWISE SUBSTANTIALLY DEGRADE WATER QUALITY?				✓
g.	PLACE HOUSING WITHIN A 100-YEAR FLOOD PLAIN AS MAPPED ON FEDERAL FLOOD HAZARD BOUNDARY OR FLOOD INSURANCE RATE MAP OR OTHER FLOOD HAZARD DELINEATION MAP?				✓
h.	PLACE WITHIN A 100-YEAR FLOOD PLAIN STRUCTURES WHICH WOULD IMPEDE OR REDIRECT FLOOD FLOWS?				✓
i.	EXPOSE PEOPLE OR STRUCTURES TO A SIGNIFICANT RISK OF LOSS, INJURY OR DEATH INVOLVING FLOODING, INCLUDING FLOODING AS A RESULT OF THE FAILURE OF A LEVEE OR DAM?				✓
j.	INUNDATION BY SEICHE, TSUNAMI, OR MUDFLOW?				✓
IX. LAND USE AND PLANNING					
a.	PHYSICALLY DIVIDE AN ESTABLISHED COMMUNITY?				✓

Potentially significant impact	Potentially significant unless mitigation incorporated	Less than significant impact	No impact
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b.	CONFLICT WITH APPLICABLE LAND USE PLAN, POLICY OR REGULATION OF AN AGENCY WITH JURISDICTION OVER THE PROJECT (INCLUDING BUT NOT LIMITED TO THE GENERAL PLAN, SPECIFIC PLAN, COASTAL PROGRAM, OR ZONING ORDINANCE) ADOPTED FOR THE PURPOSE OF AVOIDING OR MITIGATING AN ENVIRONMENTAL EFFECT?				✓
c.	CONFLICT WITH ANY APPLICABLE HABITAT CONSERVATION PLAN OR NATURAL COMMUNITY CONSERVATION PLAN?				✓
X. MINERAL RESOURCES					
a.	RESULT IN THE LOSS OF AVAILABILITY OF A KNOWN MINERAL RESOURCE THAT WOULD BE OF VALUE TO THE REGION AND THE RESIDENTS OF THE STATE?				✓
b.	RESULT IN THE LOSS OF AVAILABILITY OF A LOCALLY-IMPORTANT MINERAL RESOURCE RECOVERY SITE DELINEATED ON A LOCAL GENERAL PLAN, SPECIFIC PLAN, OR OTHER LAND USE PLAN?				✓
XI. NOISE					
a.	EXPOSURE OF PERSONS TO OR GENERATION OF NOISE IN LEVEL IN EXCESS OF STANDARDS ESTABLISHED IN THE LOCAL GENERAL PLAN OR NOISE ORDINANCE, OR APPLICABLE STANDARDS OF OTHER AGENCIES?				✓
b.	EXPOSURE OF PEOPLE TO OR GENERATION OF EXCESSIVE GROUND-BORNE VIBRATION OR GROUND-BORNE NOISE LEVELS?				✓
c.	A SUBSTANTIAL PERMANENT INCREASE IN AMBIENT NOISE LEVELS IN THE PROJECT VICINITY ABOVE LEVELS EXISTING WITHOUT THE PROJECT?				✓
d.	A SUBSTANTIAL TEMPORARY OR PERIODIC INCREASE IN AMBIENT NOISE LEVELS IN THE PROJECT VICINITY ABOVE LEVELS EXISTING WITHOUT THE PROJECT?				✓
e.	FOR A PROJECT LOCATED WITHIN AN AIRPORT LAND USE PLAN OR, WHERE SUCH A PLAN HAS NOT BEEN ADOPTED, WITHIN TWO MILES OF A PUBLIC AIRPORT OR PUBLIC USE AIRPORT, WOULD THE PROJECT EXPOSE PEOPLE RESIDING OR WORKING IN THE PROJECT AREA TO EXCESSIVE NOISE LEVELS?				✓
f.	FOR A PROJECT WITHIN THE VICINITY OF A PRIVATE AIRSTRIP, WOULD THE PROJECT EXPOSE PEOPLE RESIDING OR WORKING IN THE PROJECT AREA TO EXCESSIVE NOISE LEVELS?				✓
XII. POPULATION AND HOUSING					
a.	INDUCE SUBSTANTIAL POPULATION GROWTH IN AN AREA EITHER DIRECTLY (FOR EXAMPLE, BY PROPOSING NEW HOMES AND BUSINESSES) OR INDIRECTLY (FOR EXAMPLE, THROUGH EXTENSION OF ROADS OR OTHER INFRASTRUCTURE)?				✓
b.	DISPLACE SUBSTANTIAL NUMBERS OF EXISTING HOUSING NECESSITATING THE CONSTRUCTION OF REPLACEMENT HOUSING ELSEWHERE?				✓
c.	DISPLACE SUBSTANTIAL NUMBERS OF PEOPLE NECESSITATING THE CONSTRUCTION OF REPLACEMENT HOUSING ELSEWHERE?				✓
XIII. PUBLIC SERVICES					
a.	FIRE PROTECTION?				✓
b.	POLICE PROTECTION?				✓
c.	SCHOOLS?				✓
d.	PARKS?				✓
e.	OTHER GOVERNMENTAL SERVICES (INCLUDING ROADS)?				✓
XIV. RECREATION					

Potentially significant impact	Potentially significant unless mitigation incorporated	Less than significant impact	No impact
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a.	WOULD THE PROJECT INCREASE THE USE OF EXISTING NEIGHBORHOOD AND REGIONAL PARKS OR OTHER RECREATIONAL FACILITIES SUCH THAT SUBSTANTIAL PHYSICAL DETERIORATION OF THE FACILITY WOULD OCCUR OR BE ACCELERATED?				✓
b.	DOES THE PROJECT INCLUDE RECREATIONAL FACILITIES OR REQUIRE THE CONSTRUCTION OR EXPANSION OF RECREATIONAL FACILITIES WHICH MIGHT HAVE AN ADVERSE PHYSICAL EFFECT ON THE ENVIRONMENT?				✓
XV. TRANSPORTATION/CIRCULATION					
a.	CAUSE AN INCREASE IN TRAFFIC WHICH IS SUBSTANTIAL IN RELATION TO THE EXISTING TRAFFIC LOAD AND CAPACITY OF THE STREET SYSTEM (I.E., RESULT IN A SUBSTANTIAL INCREASE IN EITHER THE NUMBER OF VEHICLE TRIPS, THE VOLUME TO RATIO CAPACITY ON ROADS, OR CONGESTION AT INTERSECTIONS)?				✓
b.	EXCEED, EITHER INDIVIDUALLY OR CUMULATIVELY, A LEVEL OF SERVICE STANDARD ESTABLISHED BY THE COUNTY CONGESTION MANAGEMENT AGENCY FOR DESIGNATED ROADS OR HIGHWAYS?				✓
c.	RESULT IN A CHANGE IN AIR TRAFFIC PATTERNS, INCLUDING EITHER AN INCREASE IN TRAFFIC LEVELS OR A CHANGE IN LOCATION THAT RESULTS IN SUBSTANTIAL SAFETY RISKS?				✓
d.	SUBSTANTIALLY INCREASE HAZARDS TO A DESIGN FEATURE (E.G., SHARP CURVES OR DANGEROUS INTERSECTIONS) OR INCOMPATIBLE USES (E.G., FARM EQUIPMENT)?				✓
e.	RESULT IN INADEQUATE EMERGENCY ACCESS?				✓
f.	RESULT IN INADEQUATE PARKING CAPACITY?				✓
g.	CONFLICT WITH ADOPTED POLICIES, PLANS, OR PROGRAMS SUPPORTING ALTERNATIVE TRANSPORTATION (E.G., BUS TURNOUTS, BICYCLE RACKS)?				✓
XVI. UTILITIES					
a.	EXCEED WASTEWATER TREATMENT REQUIREMENTS OF THE APPLICABLE REGIONAL WATER QUALITY CONTROL BOARD?				✓
b.	REQUIRE OR RESULT IN THE CONSTRUCTION OF NEW WATER OR WASTEWATER TREATMENT FACILITIES OR EXPANSION OF EXISTING FACILITIES, THE CONSTRUCTION OF WHICH COULD CAUSE SIGNIFICANT ENVIRONMENTAL EFFECTS?				✓
c.	REQUIRE OR RESULT IN THE CONSTRUCTION OF NEW STORMWATER DRAINAGE FACILITIES OR EXPANSION OF EXISTING FACILITIES, THE CONSTRUCTION OF WHICH COULD CAUSE SIGNIFICANT ENVIRONMENTAL EFFECTS?				✓
d.	HAVE SUFFICIENT WATER SUPPLIES AVAILABLE TO SERVE THE PROJECT FROM EXISTING ENTITLEMENTS AND RESOURCE, OR ARE NEW OR EXPANDED ENTITLEMENTS NEEDED?				✓
e.	RESULT IN A DETERMINATION BY THE WASTEWATER TREATMENT PROVIDER WHICH SERVES OR MAY SERVE THE PROJECT THAT IT HAS ADEQUATE CAPACITY TO SERVE THE PROJECTS PROJECTED DEMAND IN ADDITION TO THE PROVIDERS				✓
f.	BE SERVED BY A LANDFILL WITH SUFFICIENT PERMITTED CAPACITY TO ACCOMMODATE THE PROJECTS SOLID WASTE DISPOSAL NEEDS?				✓
g.	COMPLY WITH FEDERAL, STATE, AND LOCAL STATUTES AND REGULATIONS RELATED TO SOLID WASTE?				✓
XVII. MANDATORY FINDINGS OF SIGNIFICANCE					
a.	DOES THE PROJECT HAVE THE POTENTIAL TO DEGRADE THE QUALITY OF THE ENVIRONMENT, SUBSTANTIALLY REDUCE THE HABITAT OF FISH OR WILDLIFE SPECIES, CAUSE A FISH OR WILDLIFE POPULATION TO DROP BELOW SELF-SUSTAINING LEVELS, THREATEN TO ELIMINATE A PLANT OR ANIMAL COMMUNITY, REDUCE THE NUMBER OR RESTRICT THE RANGE OF A RARE OR ENDANGERED PLANT OR ANIMAL OR ELIMINATE IMPORTANT EXAMPLES OF THE				✓

Potentially significant impact	Potentially significant unless mitigation incorporated	Less than significant impact	No impact
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	MAJOR PERIODS OF CALIFORNIA HISTORY OR PREHISTORY?				
b.	DOES THE PROJECT HAVE IMPACTS WHICH ARE INDIVIDUALLY LIMITED, BUT CUMULATIVELY CONSIDERABLE? (CUMULATIVELY CONSIDERABLE MEANS THAT THE INCREMENTAL EFFECTS OF AN INDIVIDUAL PROJECT ARE CONSIDERABLE WHEN VIEWED IN CONNECTION WITH THE EFFECTS OF PAST PROJECTS, THE EFFECTS OF OTHER CURRENT PROJECTS, AND THE EFFECTS OF PROBABLE FUTURE PROJECTS).				✓
c.	DOES THE PROJECT HAVE ENVIRONMENTAL EFFECTS WHICH CAUSE SUBSTANTIAL ADVERSE EFFECTS ON HUMAN BEINGS, EITHER DIRECTLY OR INDIRECTLY?				✓

DISCUSSION OF THE ENVIRONMENTAL EVALUATION (Attach additional sheets if necessary)

The Environmental Impact Assessment includes the use of official City of Los Angeles and other government source reference materials related to various environmental impact categories (e.g., Hydrology, Air Quality, Biology, Cultural Resources, etc.). The State of California, Department of Conservation, Division of Mines and Geology - Seismic Hazard Maps and reports, are used to identify potential future significant seismic events; including probable magnitudes, liquefaction, and landslide hazards. Based on applicant information provided in the Master Land Use Application and Environmental Assessment Form, impact evaluations were based on stated facts contained therein, including but not limited to, reference materials indicated above, field investigation of the project site, and any other reliable reference materials known at the time.

Project specific impacts were evaluated based on all relevant facts indicated in the Environmental Assessment Form and expressed through the applicant's project description and supportive materials. Both the Initial Study Checklist and Checklist Explanations, in conjunction with the City of Los Angeles's Adopted Thresholds Guide and CEQA Guidelines, were used to reach reasonable conclusions on environmental impacts as mandated under the California Environmental Quality Act (CEQA).

The project as identified in the project description will not cause potentially significant impacts on the environment. Therefore, this environmental analysis concludes that a Negative Declaration shall be issued for the environmental case file known as ENV-2009-1334-N and the associated case(s), CPC-2008-1467-CDO.

ADDITIONAL INFORMATION:

All supporting documents and references are contained in the Environmental Case File referenced above and may be viewed in the EIR Unit, Room 763, City Hall.

For City information, addresses and phone numbers: visit the City's website at <http://www.lacity.org> ; City Planning - and Zoning Information Mapping Automated System (ZIMAS) cityplanning.lacity.org/ or EIR Unit, City Hall, 200 N Spring Street, Room 763.

Seismic Hazard Maps - <http://gmw.consrv.ca.gov/shmp/>

Engineering/Infrastructure/Topographic Maps/Parcel Information - <http://boemaps.eng.ci.la.ca.us/index01.htm> or

City's main website under the heading "Navigate LA".

PREPARED BY:	TITLE:	TELEPHONE NO.:	DATE:
SERGIO IBARRA	City Planning Assistant	(213) 978-1204	05/20/2009

Echo Park Community Design Overlay (CDO) Negative Declaration Narrative

Project Description

The proposed project is the establishment of the Echo Park Community Design Overlay, an approximately 90- acre area compromised primarily of low-medium and medium density multiple-family residential land use designations and some commercial land use designations. The proposed project is generally bounded by Sunset Boulevard to the north, Echo Park Avenue to the east, Bonnie Brae Street to the west and the Hollywood Freeway (101) to the south. The land use designations of the proposed project include Low Medium II, Medium Multiple-Family Residential, Community Commercial, as well as Open Space. The purpose of the CDO is to preserve the distinctive neighborhood character of the area, including the original streetcar development pattern, period architecture and pedestrian orientation. The proposed Echo Park CDO would place the subject area under design regulations, but would not change the underlying zoning or prohibit or generate construction activities.

Environmental Review

The City Planning Department of the City of Los Angeles has proposed that a negative declaration be adopted for this project. The Initial Study indicates that no significant impacts are apparent which might result from this project's implementation. This action is based on the project description above.

I. Aesthetics: *Would the project:*

a) Have a substantial adverse effect on a scenic vista?

This project has no adverse effects on a scenic vista. The project area is fully urbanized and will not impact natural features. The CDO will in fact place design regulations on new construction on hillside areas so that new developments generally conform to the slope of the hill, affording greater views of the natural topography.

b) Substantially damage scenic resources, including, but not limited to, trees, rock outcrops, and historic buildings, or other locally recognized desirable aesthetic natural feature within a city-designated scenic highway?

The project area does not contain any highway or parkway that has been designated as "scenic," and therefore no scenic resources within this category can be damaged.

c) Substantially degrade the existing visual character or quality of the site and its surroundings?

d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

The topography of part the project area is characterized by designated hillsides, but the project does not contain distinct physical landforms or unique natural landscape features. The area is a multiple-

family residential neighborhood with a commercial strip along Sunset Boulevard. The existing visual character of the area will not be changed negatively by this project. There will be no new source of substantial light or glare created by this project. All materials that may be used in new construction are required to be compatible with the neighborhood, which typically includes materials such as wood siding, stucco, and non-reflective glass. In addition, new construction would have to be consistent with existing setbacks, building heights, bulk and architectural style. Impacts from specific projects will be captured in project-specific environmental assessments.

II. Agricultural: *Would the project:*

- a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping Monitoring Program of the California Resources Agency, to non-agricultural uses?**

The proposed project does not contain any farmland or agricultural land.

- b) Conflict with existing zoning for agricultural use, or Williamson Act contract?**

The proposed project is located in a fully urbanized part of the city and there is no existing zoning for agricultural uses in the project area.

- c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use?**

The proposed project is located in a fully urbanized part of the city and there is no existing zoning for agricultural uses in the project area.

III. Air Quality: *Would the project:*

- a) Conflict with or obstruct implementation of the South Coast Air Quality Management District (SCAQMD) Plan or Congestion Management Plan?**

The proposed project will not conflict with or obstruct the implementation of the SCAQMD or congestion management plan. The proposed project does not affect underlying zoning. The land use designations currently permitted in the Echo Park CDO are Low-Medium, Medium residential and Commercial. All individual development proposals are subject to project-specific environmental analysis.

- b) Violate any air quality standard or contribute substantially to an existing or project air quality violation?**

The proposed project will not violate any air quality standard or contribute substantially to an existing or projected air quality violation. The proposed project will not generate development in and of itself. This project simply places regulations on exterior design. Any individual development proposal is subject to project-specific environmental analysis.

- c) Result in a cumulatively considerable net increase of any criteria pollutant for which the air basin is in non-attainment (ozone, carbon monoxide, and PM10) assumptions.**

There will be no cumulatively considerable net increase of any criteria pollutant for which the air basin is in non-attainment. There is no change in the zoning capacity, and thus no change in the level of development that is already planned. The proposed project would not result in a cumulative net increase of any criteria pollutant other than what would occur regardless of the proposed project. All individual development proposals are subject to project-specific environmental analysis.

- d) Expose sensitive receptors to substantial pollutant concentrations?**
- e) Create objectionable odors affecting a substantial number of people?**

The proposed project will not expose any sensitive receptors to substantial pollutant concentrations, nor will any odors be created by the proposed project. This overlay zone imposes design regulations on an existing multiple-family residential and commercial area.

IV. Biological Resources: *Would the project:*

- a) Have a substantial adverse effect, either directly or through habitat modification, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations by the California Department of Fish and Game or U.S. Fish and Wildlife Service?**
- b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in the City or regional plans, policies, or regulations by the California Department of Fish and Game or U.S. Fish and Wildlife Services?**

There are no biological resources, including riparian habitat, other sensitive natural community, federally protected wetlands, native resident or migratory fish/wildlife species which will be impacted. The proposed project is located in a fully urbanized area of the city. There will be no changes in conditions that could yield an incremental increase in potential impacts to any species identified as a candidate, sensitive, or special status species.

- c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including but not limited to, marsh vernal pool, coastal, etc) through direct removal, filling, hydrological interruption, or other means?**

There are no federally protected wetlands in the project area. There will be no direct removal filling, or hydrological interruption to any resource as a result of the proposed project.

- d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?**
- e) Conflict with any local policies or ordinances protecting biological resources, such as tree preservation policy or ordinance (e.g. oak trees or California walnut woodlands)?**

There are no known local policies, habitat conservation plans, or ordinances protecting biological resources in the proposed project area. There are no known wildlife species or wildlife corridors in the project area. The proposed project does not conflict with or impede the ability to implement any ordinance protecting biological resources, including the Citywide tree ordinance.

V. Cultural Resources: *Would the project:*

- a) **Cause a substantial adverse change in significance of a historical resource as defined in State CEQA 15064.5**

The proposed project will not cause an adverse change in significance of a historical resource as defined in State CEQA 15064.5. In fact, the proposed project would ensure enhancement and preservation of potential historical resources by protecting original architectural features. The proposed project also provides demolition protections to potentially significant resources.

- b) **Cause a substantial adverse change in the significance of an archaeological resource pursuant to State CEQA 15064.5.**
- c) **Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?**
- d) **Disturb any human remains, including those interred outside of formal cemeteries?**

The proposed project will not cause an adverse change in significance of an archaeological resource, paleontological resource, site, or unique geologic feature, or disturb any human remains.

VI. Geology and Soils: *Would the project:*

- a) **Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving**
 - (i) **Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.**
 - (ii) **Strong seismic ground shaking**
 - (iii) **Seismic-related ground failure, including liquefaction?**
 - (iv) **Landslides?**

The proposed project in and of itself will not pose any risk of human injury and property damage due to potential regional earthquakes. As is common in the Southern California region, there will be continued risk of human injury and property damage because of potential regional earthquakes, but none posed specifically by the proposed project. No Alquist-Priolo special study zone areas, designated by the state of California Division of Mines and Geology, are located within the Project Area. While generally the potential exists for geologic hazards due to geologic and seismic conditions (including liquefaction) in the project area, this specific project proposes no changes in land use or density that would alter these conditions. While generally the potential exists for landslides due to landslide conditions in the project area, this specific project proposes no change in land use or density that would alter these conditions.

- b) **Result in substantial soil erosion or the loss of topsoil?**
- c) **Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the Project, and potentially result in on- or off-site landslides, lateral spreading, subsidence, liquefaction, or collapse?**
- d) **Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?**

- e) **Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?**

Portions of the project area are in a state designated liquefaction area and most of the project area is located in designated hillside area, but the project proposes no land use changes and thus there will be no changes in topography or surface relief features beyond what would otherwise occur. In fact, the proposed project discourages changes in topographical features that contribute to the character of the neighborhood. The project area is an urbanized area and the majority of the land is developed, therefore the proposed project will not result in substantial soil erosion or loss of topsoil. The proposed project requires review of individual projects if a certain threshold of grading is met, in order to retain the original topographic features that define the neighborhood and its character. The project is not located on a geologic unit or unstable soil. The project site has access to sewers and wastewater disposal.

VII. Hazards and Hazardous Materials: *Would the project:*

- a) **Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?**
- b) **Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?**

The majority of properties in the project area are designated for residential use and would not allow uses that would involve the routine transport, use, production, or disposal of hazardous materials. The proposed project will not result in changes in land use and zoning. The proposed project will not create a significant hazard to the public or the environment through accident conditions involving the release of hazardous materials into the environment. All individual development proposals are subject to project-specific environmental analysis and any transportation of potentially hazardous substances will be evaluated at that time.

The proposed project will not prohibit the removal of hazardous substances such as toxic lead paint and other lead-based construction materials. The Los Angeles Housing Department's Lead-Based Paint Hazard Control Program works with homeowners to remove lead-based paint, and re-paint with non-hazardous paint formulas. The project does not prevent removal of lead-based paint.

The proposed project will also not discourage the use of energy-saving technologies which would reduce hazardous emissions. The project encourages rooftop equipment, such as solar panels, to be located in the least visually obtrusive place possible.

- c) **Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?**
- d) **Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would create a significant hazard to the public or the environment?**
- e) **For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the**

- Project result in a safety hazard for people residing or working in the Project area?
- f) For a project within the vicinity of a private airstrip, would the Project result in a safety hazard for the people residing or working in the area?
 - g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
 - h) Expose people or structures to a significant risk of loss, injury, or death involving wild land fires, including where wild lands are adjacent to urbanized areas or where residences are intermixed with wild lands?

The proposed project will not be located in an area which is included on a list of hazardous materials sites. The proposed project is not within an airport land use plan, or within two miles of a public airport or public use airport, or within the vicinity of a private airstrip. The proposed project will not impair the implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan. The proposed project will be located in a fully urbanized area and will not expose people or structures to wildland fires.

VIII. Hydrology and Water Quality: *Would the project:*

- a) Violate any water quality standards or waste discharge requirements?
- b) Substantially deplete groundwater supplies or interfere with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned land uses for which permits have been granted)?
- c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?
- d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site.

The proposed project will not result in changes in land use or zoning which will allow more density or intensity which would consequently import groundwater supplies or water quality. The proposed project will not violate any water quality standards or waste discharge requirements. The proposed project will not have a substantial impact on groundwater supplies or recharge. The proposed project will not substantially deplete groundwater supplies or interfere with groundwater recharge because it does not change the underlying zoning of the properties.

- e) Create or contribute runoff water, which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff?
- f) Otherwise substantially degrade water quality?
- g) Place housing within a 100-year flood plain as mapped on federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?
- h) Place within a 100-year flood plain structures, which would impede or redirect flood flows?

The proposed project will not create or contribute runoff water. In fact the proposed project will limit the amount of impermeable surface area for every new individual project, encouraging permeable

surfaces and materials, thereby decreasing runoff water. The project also encourages drought-tolerant plant species, potentially decreasing water usage and thereby water runoff. The proposed project will not substantially degrade water quality. The proposed project is not located in a 100- year flood plain as mapped on federal flood hazard boundary or flood insurance rate map or the flood hazard delineation map. The proposed project will not place within a one hundred year flood plain structures which would impede or redirect flows.

- i) **Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?**
- j) **Cause inundation by seiche, tsunami, or mudflow?**

The proposed project is not near a levee or dam, and thus would not threaten to expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam. The proposed project is approximately 15 miles from the Pacific Ocean and contains hillside terrain. The proposed project contains Echo Park Lake within its boundaries but does not threaten people or structures due to the risk of flooding. A 100 year flood plain exists fully within the boundaries of the Park and does not cover residential or commercial areas. The proposed project does not change any land uses or density and therefore does not increase any flooding risks that would otherwise exist. Impacts due to seismic-related tidal phenomena are not of concern at such a distance from the coastline and at such elevations above sea level. Thus, the proposed project will not cause inundation by seiche, tsunami, or mudflow.

IX. Land Use and Planning: *Would the project:*

- a) **Physically divide an established community?**

The proposed project provides for design guidelines in the community. The design guidelines do not physically divide an established community, as they are to be applied uniformly, therefore the project does not physically divide an established community.

- b) **Conflict with an applicable land use plan, policy or regulation of an agency with jurisdiction over the Project (including but not limited to the general plan, specific plan, coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?**

The proposed project will not conflict with applicable land use plan, policy or regulation of an agency with jurisdiction over the project. The CDO does not conflict with the underlying zoning of the project area. The CDO would only require that any otherwise by right project go through a design review process and have the appropriate environmental clearance.

The proposed project area contains Sunset Boulevard which is a major transit-served corridor and designated mixed-use boulevard, according to the Silver Lake – Echo Park – Elysian Valley Community Plan, adopted by City Council on August 11, 2004. In addition, a program in Policy 2-3.1 of the Silver Lake- Echo Park – Elysian Valley Community Plan proposes developing a Community Design Overlay (CDO) along Sunset Boulevard, which suggests that some design guidelines are needed to foster pedestrian-oriented, mixed-use development, live/work units, and reuse of existing buildings. The CDO will encourage re-use of existing buildings and promote a pedestrian environment which is characteristic of historic commercial areas.

In addition, the proposed project is actually supported by several objectives, policies, and programs of the Silver Lake-Echo Park-Elysian Valley Community Plan.

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1-1.2 Improve the quality of existing single family and multiple family housing throughout the Plan Area.

Program: Promote the rehabilitation of existing housing stock over demolition.

The proposed project encourages the rehabilitation of homes in the community. The proposed project also provides procedures to protect potential historic resources from demolition.

1-1.3 Protect existing single family residential neighborhoods from new out-of-scale development.

Program: In Chapter V, Urban Design guidelines encourage infill residential development that complements existing scale, massing, setbacks and character and is compatible with architectural styles in stable single family neighborhoods.

The proposed project encourages development that is in scale with the surrounding community. The proposed project also ensures that new development is compatible with the neighborhood character of the area, which includes compatible architecture, massing and setbacks.

1-1.4 Encourage new infill residential development that complements existing development and architectural style.

Program: Design Guidelines and Standards for residential development are included in Chapter V, the Urban Design Chapter of the Community Plan.

The proposed project encourages new infill residential development that complements existing development architecturally and physically, while retaining the original development pattern of the area.

1-1.7 Promote the unique quality and functionality of the Community Plan Area's mixed single and multiple family residential neighborhoods by encouraging infill development that continues to offer a variety of housing opportunities that capitalize on the eclectic character and architectural styles of existing development.

Program: Enforce design guidelines and standards for residential development that are included in the Urban Design Chapter of the Community Plan.

The proposed project encourages new infill residential development that is compatible with the surrounding community without being architecturally prescriptive.

1-2.1 Locate higher residential densities near commercial centers and major bus routes where public service facilities, utilities and topography will accommodate this development.

Program: The Plan concentrates higher residential densities near transit corridors and in mixed-use areas (see policy 1-2.2).

The proposed project does not prevent higher residential densities near commercial centers and bus routes, such as those found near Sunset Boulevard.

1-3.1 Seek a higher degree of architectural compatibility and landscaping for new infill development to protect the character and scale of existing residential neighborhoods.

Program: Chapter V of this Plan, Urban Design, includes design guidelines for residential development to help implement this policy.

The proposed project ensures that new infill development is architecturally compatible with the immediate neighborhood context and is in scale with the surrounding area development. The proposed project encourages permeable surfaces and adequate landscaping.

Program: Prepare a historic resource survey or other necessary studies to establish a Historic Preservation Overlay Zone or other Supplemental Use District, as appropriate, to protect the neighborhood character and period architecture of the area generally bounded by Douglas Street, Elysian Park, the 5 Freeway, the Glendale Freeway, Glendale Boulevard, Berkeley Avenue, Benton Way and Temple Street.

The proposed project is a supplemental use district that provides design guidelines which protect potentially significant period architecture and preserve unique neighborhood character in the area. Many buildings retain their historic design features depicting the array of period revival styles common during the late nineteenth and early twentieth centuries, predominantly Craftsman, Spanish Colonial Revival, and Victorian. Special rehabilitation guidelines are part of the proposed CDO that serve to protect those structures from incompatible alterations in order to maintain neighborhood character. In addition, the proposed project would ensure that infill development occurs in a manner which is compatible with the neighborhood character. The project area is within the boundaries recommended above.

Program: The Plan recommends that Echo Park Lake and all park facilities be afforded special attention in the context of the above-proposed Supplemental Use District to identify and institute measures that ensure development around the park preserves park facilities and viewsheds of the lake and from the lake to downtown and conserves this defining neighborhood amenity.

Program: The Plan advocates the preservation of stable single and multiple family residential areas. Design guidelines and standards will encourage compatibility in building siting, massing and design.

The proposed project protects viewsheds of the lake and downtown by limiting the massing of residential infill projects along the hillside and encouraging paseos along properties fronting the lake.

1-3.2 Preserve existing views in hillside areas.

Program: Strictly interpret and implement the adopted Citywide Hillside Ordinance to limit heights of buildings, residential both new construction and additions.

Objective 1-5 Preserve and enhance neighborhoods with distinctive and significant historic or architectural character.

The proposed project preserves the distinctive neighborhood character of the area, including the historic streetcar development pattern, period architecture and pedestrian orientation.

The proposed project is also supported by other elements of the existing General Plan:

Conservation Element of the General Plan

Cultural and Historical Objective – to “protect important cultural and historical sites and resources for historical, cultural, research, and community education purposes.”

Policy – to “continue to protect historic and cultural sites and/or resources potentially affected by proposed land development, demolition or property modification activities.”

Adoption of the proposed CDO would require that the Director of Planning review and approve major modifications to potentially significant structures, major additions, and new infill construction. Demolitions of potentially historically significant structures would be required to be reviewed under CEQA. Projects that negatively impact potentially historically significant resources could be denied by the Director, thereby protecting these resources.

Housing Element of the General Plan

OBJECTIVE 1.2

Develop incentives for the preservation of quality rental and ownership housing for households of all income levels and special needs.

POLICY 1.2.1

Facilitate the maintenance of existing housing in decent, safe, healthy, and sanitary condition.

The proposed project encourages the rehabilitation of potentially historic residential buildings and the maintenance of existing housing in decent and safe conditions.

OBJECTIVE 2.1

Promote safety and health within neighborhoods.

POLICY 2.2.2

Develop design standards that promote sustainable development in public and private open space and street rights-of-ways.

POLICY 2.2.3

Provide incentives and flexibility to generate new housing and to preserve existing housing near transit.

The proposed project promotes health within the Echo Park neighborhood by preserving the original pedestrian oriented, streetcar development pattern, which allows ease of access to local commercial and recreation opportunities. The proposed project encourages that open space be provided within private residential developments, including maximizing green space opportunities. The proposed project does not prevent new housing near transit on Sunset Boulevard, as the underlying zoning and development potential is not being changed, and the Framework-designated Community Center is being maintained.

POLICY 2.2.6

To accommodate projected growth to 2014 in a sustainable way, encourage housing in centers and near transit, in accordance with the General Plan Framework Element, as reflected in Map ES.1.

The proposed project is consistent with the designation of the area as a Community Center in the

General Plan Framework Element of the Echo Park-Elysian Valley Community Plan, as it does not discourage new development, but promotes the sustainable and original streetcar development pattern of the area, where ease of access to recreation and commercial centers is paramount through walking or use of public transit, as well as the provision of open space.

OBJECTIVE 2.4

Promote livable neighborhoods with a mix of housing types, quality design and a scale and character that respects unique residential neighborhoods in the City.

POLICY 2.4.2

Develop and implement design standards that promote quality development.

POLICY 2.4.3

Promote preservation of neighborhood character in balance with facilitating new development.

The proposed project encourages quality infill residential development that respects the neighborhood character of the area, preserves the original development patterns and style of the neighborhood, and allows for rehabilitation of potentially significant structures. In encouraging the upkeep of potentially significant structures, it preserves affordable housing stock.

X. Mineral Resources: *Would the project:*

- a) **Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?**
- b) **Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan, or other land-use plan?**

The project site does not contain any known mineral resource and the project will not result in the loss of availability of a known mineral resource. The project will not result in the loss of availability of a locally-important mineral resource recovery site. All individual development proposals are subject to project-specific environmental analysis and any mineral resource impacts will be evaluated at that time.

XI. Noise: *Would the project:*

- a) **Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?**
- b) **Exposure of people to or generation of excessive groundborne vibration or groundborne noise levels?**
- c) **Result in a substantial permanent increase in ambient noise levels in the Project vicinity above levels existing without the Project?**
- d) **Result in a substantial temporary or periodic increase in ambient noise levels in the Project vicinity above levels existing without the Project?**
- e) **For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the Project expose people residing or working in the Project area to excessive noise levels?**
- f) **For a project within the vicinity of a private airstrip, would the Project expose people residing or working in the project area to excessive noise levels?**

The proposed project will not result in the exposure of persons to or generation of noise levels in excess of standard levels. The proposed project will not result in the exposure of people to or generation of excessive groundborne vibration or groundborne noise levels. The proposed project will not create a substantial periodic or permanent increase in ambient noise levels. The project is not located within an airport land use plan or in the vicinity of a private airstrip. There will be no impacts on any noise levels as a result of this project. All individual development proposals are subject to project-specific environmental analysis and any noise impacts will be evaluated at that time.

XII. Population and Housing: *Would the project:*

- a) Induce substantial population growth in an area either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?**

The proposed project will not affect population growth in the area either directly or indirectly. U.S. Census data shows that the population change in the Echo Park CDO area has seen an increase of approximately 1% between 2000 and 2004. This is less than the Citywide growth rate of 6%, and the Silver Lake – Echo Park – Elysian Valley (the Community Plan in which the proposed project is located) growth rate of 5% over that same time period.

There is little expense or delay involved with the CDO review processes that might affect development or demographic patterns. Most projects that involve maintenance and repair can be a ministerial approval. Larger development projects, including new construction, demolition or additions, require a Director's Determination, which is processed within months of the application being deemed complete.

- b) Displace substantial numbers of existing housing necessitating the construction of replacement housing elsewhere?**
- c) Displace substantial numbers of people necessitating the construction of replacement housing elsewhere?**

The proposed project will not displace substantial numbers of existing housing units necessitating the construction of replacement housing elsewhere. The proposed project, in fact, preserves existing housing and encourages rehabilitation of existing housing stock. The proposed project will not affect the number of bedrooms per unit in any existing or new construction since the number of units or bedrooms is determined by the underlying zoning.

The proposed project will not displace substantial numbers of people necessitating the construction of replacement housing elsewhere. The proposed project only pertains to the exterior design and alterations of structures. The proposed project has no impact on density, or the underlying zoning of a lot and would not meaningfully impact the distribution of population or housing in the zone or Citywide.

XIII. Public Services: *Would the project:*

- a) Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:**

- i) Fire Protection?
- ii) Police Protection?
- iii) Schools?
- iv) Parks?
- v) Other Governmental Services (including roads)?

The proposed project will not result in any new or physically altered governmental facilities and thus there will be no impacts associated with the provision of such facilities. All individual development proposals are subject to project-specific environmental assessment and any impacts to public services facilities will be evaluated at that time.

XIV. Recreation: *Would the project:*

- a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

The project does not affect or include recreational facilities which have not already been planned for. The proposed project strives to enhance the use of Echo Park Lake by preserving the original, pedestrian oriented streetcar pattern in the area.

XV. Transportation/Circulation: *Would the project:*

- a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?

The proposed project will not cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system. The proposed project only pertains to the exterior design of structures. Any increases in traffic with new development that would otherwise occur will not be a result of exterior design. All projects must comply with the relevant Los Angeles Municipal Code sections, including those pertaining to transportation and parking. All individual development proposals are subject to project-specific environmental analysis and any transportation impacts will be evaluated at that time.

- b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways?
- c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that result in substantial safety risks?
- d) Substantially increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- e) Result in inadequate emergency access?
- f) Result in inadequate parking capacity?

The proposed project will not exceed a level of service standard established by the county congestion management agency for designated roads or highways as the level of development is already anticipated and planned for. The proposed project will not result in a change in air traffic patterns, and will not substantially increase hazards to a design feature or incompatible uses. In addition, the proposed project does not regulate use and thus would not promote incompatible uses that could also increase traffic hazards. Emergency access and parking requirements would be subject to the provisions of the Los Angeles Municipal Code. Consequently the proposed project would not supersede these Code requirements and would not result in inadequate emergency access or parking capacity. The proposed project will not result in inadequate parking capacity, as all individual projects will be subject to Los Angeles Municipal Code parking requirements.

g) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?

The proposed project will not conflict with adopted policies, plans or programs supporting alternative transportation. New development that would occur along Sunset Boulevard, a corridor of major bus travel, would promote policies supporting alternative transportation and is not in conflict with the CDO. As such, the proposed project supports a walkable neighborhood and utilization of alternative transportation.

XVI. Utilities: *Would the project:*

- a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?**
- b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?**
- c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?**

The proposed project will not exceed wastewater treatment requirements of the applicable regional water quality control board. The proposed project will not require or result in the construction of new water or wastewater treatment facilities. The proposed project will not require or result in the construction of new storm water drainage facilities or expansion of existing facilities. The level of development that is permitted by the underlying zoning has already been planned for. All individual development proposals are subject to project-specific environmental analysis and any utilities impacts will be evaluated at that time.

- d) Have sufficient water supplies available to serve the Project from existing entitlements and resource, or are new or expanded entitlements needed?**
- e) Result in a determination by the wastewater treatment provider which serves or may serve the Project that it has adequate capacity to serve the Project's projected demand in addition to the provider's existing commitments?**
- f) Be served by a landfill with sufficient permitted capacity to accommodate the Project's solid waste disposal needs?**
- g) Comply with federal, state, and local statutes and regulations related to solid waste?**

The proposed project will not have an effect on water supplies. The proposed project will not affect wastewater treatment. The proposed project will not have any solid waste disposal needs or generate any solid waste disposal itself.

In addition, the CDO does not discourage the use of energy-saving technologies that may have a positive effect on environmental resources and utility usage. The CDO promotes water conservation by requiring drought-tolerant, native species in the areas facing the lake for new development, thereby reducing the need for water. The CDO also does not prohibit the use of alternative energy, but encourages that they be located away from public sight to the greatest extent possible.

XVII. Mandatory Findings of Significance: *Would the project:*

- a) Does the Project have the potential to degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?**

The proposed project will not substantially degrade environmental quality, substantially reduce fish or wildlife habitat, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory.

- b) Does the Project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of an individual project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probably future projects).**

The proposed project will not have an impact which is individually limited but cumulatively considerable. The proposed project only affects the exterior of existing structures and design of infill construction. It will not affect the underlying zoning capacity or density of housing in the area, therefore the effects of multiple projects will not have any negative impacts on land use, or housing capacity in the area.

The Echo Park CDO is a small CDO, consisting of approximately 300 parcels. There are only 90 acres in the proposed Echo Park CDO compared to the 1,933 acres in the Silverlake-Echo Park-Elysian Valley Community Plan, making it 4.6% of the total residential acreage in the Silver Lake-Echo Park-Elysian Valley Community Plan Area. The Echo Park CDO contains approximately 18.37 acres of Low Medium II residential housing compared to the 509 acres in the Silverlake-Echo Park-Elysian Valley Community Plan, and 8.32 acres of Medium Residential housing in comparison to the 152 acres in the Silverlake-Echo Park-Elysian Valley Community Plan. These numbers represent 3.6% of Low Medium II residential housing and 5% of Medium Residential housing in comparison to the total residential area found in the Silverlake-Echo Park-Elysian Valley Community Plan, which together does not provide for impacts that are cumulatively considerable since the total acreage in the various land use designations is a small proportion of the overall Community Plan as a whole.

c) Does the Project have environmental effects which cause substantial adverse effects on human beings, either directly or indirectly?

The proposed project does not have environmental effects which cause substantial adverse effects on human beings, either directly or indirectly.