

## TRANSMITTAL TO CITY COUNCIL

<b>Case No.(s)</b> ZA-2011-3126-ZV-1A	<b>Planning Staff Name(s) and Contact No.</b> JAE KIM 213-978-1383	<b>C.D. No.</b> 8
<b>Items Appealable to Council:</b> ZONE VARIANCE	<b>Last Day to Appeal:</b> APRIL 18, 2012	<b>Appealed:</b> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
<b>Location of Project (Include project titles, if any.)</b>  10311-10333 S. WESTERN AVENUE		
<b>Name(s), Applicant / Representative, Address, and Phone Number.</b>		
LA PRO II PRESERVATION LP, WILLIAM SZYMCZAK 21515 HAWTHORNE BLVD., STE. 125 TORRANCE, CA 90503	<b>REPRESENTATIVE:</b> JONATHAN & KRISTEN LONNER, BURNS AND BOUCHARD INC. 11990 SAN VICENTE BLVD., STE. 200 LOS ANGELES, CA 90049 310-802-4261	
<b>Name(s), Appellant / Representative, Address, and Phone Number.</b>		
BOBBIE JEAN COLLINS, CATHRYN COLLINS, ELLA KENNEDY AND MR. & MRS. ED WATSON, and Mr. and Mrs. Riley 103 MANHATTAN PL HOA 10328 S. MANHATTAN PLACE LOS ANGELES, CA 90047 323-757-6686		
<b>Final Project Description</b> (Description is for consideration by Committee/Council, and for use on agendas and official public notices. If a General Plan Amendment and/or Zone Change case, include the prior land use designation and zone, as well as the proposed land use designation and zone change (i.e. "from Very Low Density Residential land use designation to Low Density land use designation and concurrent zone change from RA-1-K to (T)(Q)R1-1-K). In addition, for all cases appealed in the Council, please include in the description <u>only</u> those items which are appealable to Council.)		
An appeal in part of the Zoning Administrator's decision, pursuant to Charter Section 562 and Los Angeles Municipal Code Sections 12.27 and 12.24,X,22 to approve a Variance from LAMC Section 12.21.1-A,1 to permit a total floor area of two and one tenth times the buildable area of the lot (2.1:1 FAR) in lieu of the maximum one and one-half times the buildable area of the lot in the C2-1VL Zone, and a variance to allow a maximum height of 45 feet, in lieu of the transitional height requirements of LAMC Section 12.21.1-A,10; and the decision to adopt the action of the lead agency in issuing a Notice of Exemption, log reference ENV-2011-3127-CE for a Categorical Exemption, Class 5, Category 10.		
<b>Fiscal Impact Statement</b> <small>*Determination states administrative costs are recovered through fees.</small>	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	<b>Environmental No.</b> ENV-2011-3127-CE
		<b>Commission Vote:</b> 3 - 0
JAMES K. WILLIAMS, Commission Executive Assistant II		Date: <u>APR 24 2012</u>

**ORIGINAL**

**103th ADJACENT MANHATTAN PLACE  
HOMEOWNERS/STAKEHOLDERS  
& BLOCK CLUB  
ACTIVE SIGNED PETITION MEMBERS**

April 17, 2012

James K. Williams, Commission Executive Assistant  
**SOUTH LOS ANGELES AREA PLANNING COMMISSION**  
200 North Spring Street, Room 272  
Los Angeles, California 90012-4801  
Office: 213.978.1300  
[www.lacity.org/PLN/index.htm](http://www.lacity.org/PLN/index.htm)

Jae Kim  
**DEPARTMENT OF CITY PLANNER**  
200 North Spring Street, 7<sup>th</sup> Floor  
Los Angeles, California 90012  
Office: 2143.978.1318  
[www.planning.lacity.org](http://www.planning.lacity.org)

Councilmember, Bernard C. Parks  
**CITY OF LOS ANGELES**  
200 North Spring Street, Room 460  
Los Angeles, California 90012  
Office: 213.473.7008  
[www.bernardparks.com](http://www.bernardparks.com)

**Re: NO NEW ZONE VARIANCE**  
**CASE NO.: ZA 2011-3126(ZV)**  
**ZONE VARIANCE**  
**10311-33 South Western Avenue**  
**South Los Angeles Planning Area**  
**Zone: C2-1VL**  
**D.M.: 091-5A193**  
**CEQA: ENV-2011-3127-CE**  
**Legal Description:**  
**Lots 3-7, Tract 7906**

**Appellant:** Mrs. Bobbie-Jean Collins, Cathryn J. Collins,  
Mrs. Ella Kennedy, Mr/Mrs. Riley and Mr/Mrs. Ed Watson

**Applicant:** William Szymczak, LA Pro II Preservation LP  
Representative: Burns & Bouchard Inc.  
Jonathan & Kristen Lonner

(Cont...)

*Devin*

Dear Zoning Administrator's:

WE hereby file our Second **APPEAL**.

The Applicant never applied for a new zone Variance regarding the *new* floor plans. These are the exact same plans in your letter dated February 6, 2012. Therefore, we the Adjoining Property Owners and HOA oppose the entire project. All communication has been falsified. The People (Homeowners/Stakeholders) will not be arrogantly ignored, nor disrespected.

We **DISAPPROVE** of zone Variance Section 12.21.1-A, and area lot in C2-1VL Zone.

None of our demands or concerns have been changed or modified. This massive building is undesirable. Our Property rights and property value will be affected by this Eminent Domain. We have invested in our homes and the developers of this Hud-Housing projects will greatly decrease our property value. YOU WILL NOT COME INTO OUR COMMUNITY AND OVERLOOK US! WE ARE NOT SLAVES SOLD AT AN AUCTION WITH NO VOICE!

We demand a new developer who will develop plans that are accommodating to the adjacent Homeowner's rights to privacy. A 30-unit building that includes more senior citizens. Underground parking. No balconies. Reduce the height to 35 ft. We want our Improvement Funds to be redirected, plus 25ft. fencing on our property. Also, we want 100 Black males to be included and subcontracted for employment. We also demand that you redirect the \$1,000,000.00 for the homeowners improvements funds, or we will demand **\$3,000,000.00** in improvements funds to be set aside, because you continue to violate our rights as land owners. We are being misrepresented with bribes and false documents day-to-day. Also, we demand that 1% of future revenue be implemented and granted to benefit the Homeowners and block club yearly.

Additionally, we dislike how you continue to falsify with political lies vs. legal law. No one has been trustworthy from the very beginning of the process.

We remain,

THE MANHATTANS!

A handwritten signature in black ink, consisting of a large, stylized 'M' and 'A' intertwined, enclosed within a large, hand-drawn oval. The signature is positioned to the right of the typed name 'THE MANHATTANS!'.

# MASTER APPEAL FORM

City of Los Angeles – Department of City Planning

**ORIGINAL**

**APPEAL TO THE:** SOUTH LOS ANGELES AREA PLANNING COMMISSION  
(DIRECTOR, AREA PLANNING COMMISSION, CITY PLANNING COMMISSION, CITY COUNCIL)

**REGARDING CASE #:** ZA-2011-3126-ZV-1A: ENV-2011-3127-CE

**PROJECT ADDRESS:** 10311-33 SOUTH WESTERN AVENUE

**FINAL DATE TO APPEAL:** APRIL 18, 2012

- TYPE OF APPEAL:**
1.  Appeal by Applicant
  2.  Appeal by a person, other than the applicant, claiming to be aggrieved
  3.  Appeal by applicant or aggrieved person from a determination made by the Department of Building and Safety

## APPELLANT INFORMATION – Please print clearly

Name: Mrs. Bobbie-Jean Collins, Cathryn Collins, Ella Kennedy, Mr. & Mrs. Ed Watson, 103 Manhattan PI Signed HOA, Mr + Mrs. Riley

- Are you filing for yourself or on behalf of another party, organization or company?
- Self       Other: HOMEOWNERS/STAKEHOLDERS 103RD MANHATTAN PLACE

Address: 10328 SOUTH MANHATTAN PLACE

LOS ANGELES, CALIFORNIA      Zip: 90047

Telephone: (323) 757-6686      E-mail: cathryncollins@yahoo.com

- Are you filing to support the original applicant's position?
- Yes       No

## REPRESENTATIVE INFORMATION

Name: THE COLLINS', THE KENNEDY'S, and THE WATSONS' and Mrs. Riley

Address: 10328 South Manhattan Place

Los Angeles, California      Zip: 90047

Telephone: 323-757-6686      E-mail: cathryncollins@yahoo.com

This application is to be used for any appeals authorized by the Los Angeles Municipal Code for discretionary actions administered by the Department of City Planning.

**JUSTIFICATION/REASON FOR APPEALING** – Please provide on separate sheet.

Are you appealing the entire decision or parts of it?

Entire

Part

Your justification/reason must state:

- The reasons for the appeal
- How you are aggrieved by the decision
- Specifically the points at issue
- Why you believe the decision-maker erred or abused their discretion

**ADDITIONAL INFORMATION/REQUIREMENTS**

- Eight (8) copies of the following documents are required (1 original and 7 duplicates):
  - Master Appeal Form
  - Justification/Reason for Appealing document
  - Original Determination Letter
- Original applicants must provide the original receipt required to calculate 85% filing fee.
- Original applicants must pay mailing fees to BTC and submit copy of receipt.
- Applicants filing per 12.26 K "Appeals from Building Department Determinations" are considered original applicants and must provide notice per 12.26 K 7.
- Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the City (Area) Planning Commission must be filed within 10 days of the written determination of the Commission.
- A CEQA document can only be appealed if a non-elected decision-making body (i.e. ZA, APC, CPC, etc...) makes a determination for a project that is not further appealable.

*"If a nonelected decision-making body of a local lead agency certifies an environmental impact report, approves a negative declaration or mitigated negative declaration, or determines that a project is not subject to this division, that certification, approval, or determination may be appealed to the agency's elected decision-making body, if any."  
 --CA Public Resources Code § 21151 (c)*

I certify that the statements contained in this application are complete and true:

Appellant Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**Planning Staff Use Only**

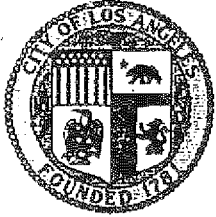
Amount	\$105.02	Reviewed and Accepted by	<i>[Signature]</i>	Date	4-18-12
Receipt No.	6730	Deemed Complete by		Date	



Determination Authority Notified



Original Receipt and BTC Receipt (if original applicant)



# SOUTH LOS ANGELES AREA PLANNING COMMISSION

200 N. Spring Street, Room 272, Los Angeles, California, 90012-4801, (213) 978-1300  
www.lacity.org/PLN/index.htm

*Handwritten:* Heard 2.30.12

Determination mailing date: MAR 29 2012

Case No. ZA-2011-3126-ZV-1A  
CEQA: ENV-2011-3127-CE

Location: 10311-10333 S. Western Avenue  
Council District: 8 -- Parks  
Plan Area: South Los Angeles  
Zone: C2-1VL  
D.M. : 091-5A193  
Legal Description: Lots 3-7, Tract 7906

Applicant: LA Pro II Preservation LP, William Szymczak  
Representative: Burns and Bouchard Inc., Jonathan & Kristen Lonner  
Appellant: Bobbie\_Jean, Cathryn Collins, Linda Riley & Ella Kennedy, 103<sup>rd</sup> Manhattan Place HOA

At its meeting on March 23, 2012, the following action was taken by the South Los Angeles Area Planning Commission:

1. Denied the appeal.
2. Sustained the Zoning Administrator's decision, pursuant to Charter Section 562 and Los Angeles Municipal Code Sections 12.27 and 12.24,X,22 to approve a Variance from LAMC Section 12.21.1-A,1 to permit a total floor area of two and one tenth times the buildable area of the lot (2.1:1 FAR) in lieu of the maximum one and one-half times the buildable area of the lot in the C2-1VL Zone, and a variance to allow a maximum height of 45 feet, in lieu of the transitional height requirements of LAMC Section 12.21.1-A,10.
3. Adopted the Categorical Exemption No. ENV-2011-3127-CE.

Fiscal Impact Statement: There is no General Fund Impact as administrative costs are recovered through fees.

This action was taken by the following vote:

Motion: Mitchell  
Seconded: Franklin  
Ayes: Aquino  
Absent: Mills, Silcott  
Vote: 3-0

  
James K. Williams, Commission Executive Assistant II  
South Los Angeles Area Planning Commission

**Effective Date / Appeals:** The City Planning Commission's determination regarding the *Zone Variance* request is appealable to the City Council if approved. Any aggrieved party may file an appeal within 20-days after the mailing date of this determination letter. Any appeal not filed within the 20-day period shall not be considered by the City Council. All appeals shall be filed on forms provided at the Planning Department's Public Counters at 201 N. Figueroa Street, Fourth Floor, Los Angeles, or at 6262 Van Nuys Boulevard, Suite 251, Van Nuys.

FINAL APPEAL DATE: APR 18 2012

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits which also affect your ability to seek judicial review.

Attachments: Zoning Administrator's determination dated February 6, 2012  
Zoning Administrator: Jae Kim

R. NICOLAS BROWN  
SUE CHANG  
LOURDES GREEN  
FERNANDO TOVAR  
MAYA E. ZAITZEVSKY

OFFICE OF  
ZONING ADMINISTRATION  
200 N. SPRING STREET, 7<sup>TH</sup> FLOOR  
LOS ANGELES, CA 90012  
(213) 978-1318  
FAX: (213) 978-1334  
[www.planning.lacity.org](http://www.planning.lacity.org)



ANTONIO R. VILLARAIGOSA  
MAYOR

February 6, 2012

William Szymczak (A)  
LA Pro II Preservation LP  
21515 Hawthorne Boulevard, Suite 125  
Torrance, CA 90503

Los Angeles Properties Apts. II, LP (O-1)  
224 South Santa Anita Avenue  
Arcadia, CA 91006

Allison Anderson (O-2)  
2845 South Harcourt Avenue  
Los Angeles, CA 90016

Jonathan Lonner (R)  
Burns & Bouchard, Inc.  
11990 San Vicente Boulevard, Suite 200  
Los Angeles, CA 90049

CASE NO. ZA 2011-3126(ZV)  
ZONE VARIANCE  
10311-33 South Western Avenue  
South Los Angeles Planning Area  
Zone : C2-1VL  
D. M. : 091-5A193  
C. D. : 8  
CEQA : ENV-2011-3127-CE  
Legal Description: Lots 3-7, Tract 7906

Pursuant to Charter Section 562 and Los Angeles Municipal Code (LAMC) Sections 12.27 and 12.24-X,22, I hereby APPROVE:

a variance from Section LAMC 12.21.1-A,1 to permit a total floor area of two-and-one-tenth times the buildable area of the lot (2.1:1 FAR) in lieu of the maximum one-and-one-half times the buildable area of the lot in the C2-1VL Zone, and

a variance to allow a maximum height of 45 feet, in lieu of the transitional height requirements of LAMC Section 12.21.1,A-10,

upon the following additional terms and conditions:

1. All other use, height and area regulations of the Municipal Code and all other applicable government/regulatory agencies shall be strictly complied with in the development and use of the property, except as such regulations are herein specifically varied or required.
2. The use and development of the property shall be in substantial conformance with the plot plan submitted with the application and marked Exhibits "A", except as may be revised as a result of this action.

3. The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the Zoning Administrator to impose additional corrective Conditions, if, in the Administrator's opinion, such Conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.
4. All graffiti on the site shall be removed or painted over to match the color of the surface to which it is applied within 24 hours of its occurrence.
5. A copy of the first page of this grant and all Conditions and/or any subsequent appeal of this grant and its resultant Conditions and/or letters of clarification shall be printed on the building plans submitted to the Public Offices of the Department of City Planning and the Department of Building and Safety for purposes of having a building permit issued.
6. Indemnification. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, or employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul this approval which action is brought within the applicable limitation period. The City shall promptly notify the applicant of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim action or proceeding, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City.
7. The authorization shall be for the construction, use and maintenance of an apartment building not to exceed 2.1:1 Floor Area Ratio (FAR) for a total floor area of 52,126 square feet, consisting of 63 residential units.
8. The maximum height of the building shall not exceed 45 feet.
9. A consistent use of architectural and building materials shall be applied throughout all exterior facades of the building to avoid creating a "backside" to the site. The proposed project shall not use architectural finishes that would produce substantial glare.
10. Prior to the issuance of any building permits, detailed development site and elevation plans including a landscape and irrigation plan by a licensed landscape architect or architect shall be submitted for review and approval by the Department of City Planning for verification of compliance with the imposed conditions.
11. Prior to the clearance of any conditions, the applicant shall show proof that all fees have been paid to the Department of City Planning, Expedited Processing Section.
12. Prior to issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement for CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. This agreement with the conditions attached must be submitted to the Department of City Planning for approval before being



recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the subject case file.

### OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES - TIME EXTENSION

All terms and Conditions of the approval shall be fulfilled before the use may be established. The instant authorization is further conditional upon the privileges being utilized within two years after the effective date of approval and, if such privileges are not utilized or substantial physical construction work is not begun within said time and carried on diligently to completion, the authorization shall terminate and become void. A Zoning Administrator may extend the termination date for one additional period not to exceed one year, prior to the termination date of the period, if a written request on appropriate forms, accompanied by the applicable fee is filed therefore with a public Office of the Department of City Planning setting forth the reasons for said request and a Zoning Administrator determines that good and reasonable cause exists therefore.

### TRANSFERABILITY

This authorization runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent upon you to advise them regarding the conditions of this grant.

### VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR

Section 12.29 of the Los Angeles Municipal Code provides:

"A variance, conditional use, adjustment, public benefit or other quasi-judicial approval, or any conditional approval granted by the Director, pursuant to the authority of this chapter shall become effective upon utilization of any portion of the privilege, and the owner and applicant shall immediately comply with its Conditions. The violation of any valid Condition imposed by the Director, Zoning Administrator, Area Planning Commission, City Planning Commission or City Council in connection with the granting of any action taken pursuant to the authority of this chapter shall constitute a violation of this chapter and shall be subject to the same penalties as any other violation of this Code."

Every violation of this determination is punishable as a misdemeanor and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the county jail for a period of not more than six months, or by both such fine and imprisonment.

### APPEAL PERIOD - EFFECTIVE DATE

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any Condition of this grant is violated or if the same be not complied with, then the applicant or his successor in interest may be prosecuted for

violating these Conditions the same as for any violation of the requirements contained in the Municipal Code. The Zoning Administrator's determination in this matter will become effective after February 21, 2012, unless an appeal there from is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of the Zoning Administrator's action, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. Forms are also available on-line at <http://planning.lacity.org/> Public offices are located at:

Figueroa Plaza  
201 North Figueroa Street,  
4th Floor  
Los Angeles, CA 90012  
(213) 482-7077

Marvin Braude San Fernando  
Valley Constituent Service Center  
6262 Van Nuys Boulevard, Room 251  
Van Nuys, CA 91401  
(818) 374-5050

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits, which also affect your ability to seek judicial review.

#### NOTICE

The applicant is further advised that all subsequent contact with this office regarding this determination must be with the Zoning Administrator who acted on the case. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished BY APPOINTMENT ONLY, in order to assure that you receive service with a minimum amount of waiting. You should advise any consultant representing you of this requirement as well.

#### FINDINGS OF FACT

After thorough consideration of the statements contained in the application and the plans submitted therewith, all of which are by reference made a part hereof, as well as knowledge of the property and surrounding district, I find as follows:

#### BACKGROUND

The applicant proposes to construct a new 55,059 square-foot (52,126 square feet of floor area), 4-story affordable housing complex comprised of 63 rental units with 63 on-site parking spaces. The proposed building comprises of a parking garage at the ground level and three levels of above-ground residential units. The primary pedestrian entrance is located along the street front abutting Western Avenue while vehicular access takes place off the alley in the "rear" of the property. The height of the building is proposed at approximately 44 feet to the top of the parapet.

The proposed project is an affordable apartment building financed by the U.S. Department of Housing and Urban Development (HUD), "9% Tax Credits" through the State of California, and the Los Angeles Housing Department. This project is a component of a larger multi-site, portfolio-awarded subsidy by the aforementioned agencies. On the subject site, 24 existing affordable units will be demolished and 63 affordable units rebuilt in their place. On the other three "subsidy" sites, a total of 60 affordable units will be rehabilitated in order to preserve existing "At-Risk" Section 8 housing. As a part of this funding process, HUD has agreed to transfer a portion of the existing Section 8 contract to the subject 63-unit structure. HUD and the Housing Authority have approved the permanent relocation plan for the existing 24 households.

The subject site is a level, rectangular-shaped lot consisting of five contiguous parcels consisting of 27,698 gross square feet in the C2-1VL Zone and designated as General Commercial land use in the South Los Angeles Community Plan area. The project site is located on the west side of Western Avenue mid-block between 103<sup>rd</sup> and 104<sup>th</sup> Streets. The site is also located within the Central City Revitalization Zone.

The subject site is currently developed with six, 4-unit apartment structures (24 total units) constructed in 1943, and in deteriorating condition. The site also includes one vacant commercial building with three empty store fronts. These uses will be demolished in order to construct a project that includes 63 1-bedroom affordable apartments. The property to the north is developed with an auto repair use in the C2 Zone. Properties to the east, across Western Avenue, are variably developed with an auto repair use, a duplex and small retail uses in the C2 zone. The property is developed with a 2-story apartment building in the C2 Zone. Properties to the east, across the alley, are developed with single-family homes in the R1 Zone.

Previous Cases, Affidavits, Permits, and Orders On the Applicant's Property:

There are no relevant cases.

Previous Cases, Affidavits, Permits, and Orders On Surrounding Properties:

Case No. ZA 2010-0680(ZAA) – On March 15, 2011, the Zoning Administrator approved in part and denied in part yard adjustments for the expansion of a single-family home.

Western Avenue is a Major Highway Class II dedicated to a 100-foot width at the project's street frontage.

An alley is dedicated to a 20-foot width at the project's street frontage.

**ZONE VARIANCE FINDINGS**

In order for a variance from the zoning regulations to be granted, all five of the legally mandated findings delineated in Section 12.27 of the Los Angeles Municipal Code must be made in the affirmative. Following (highlighted) is a delineation of the findings and the application of the relevant facts of the case to same:

1. **The strict application of the provisions of the Zoning Ordinance would result in practical difficulties or unnecessary hardships inconsistent with the general purpose and intent of the zoning regulations.**

#### Floor Area Ratio

The applicant proposes to construct a new 55,059 square-foot (52,126 square feet of floor area), 4-story affordable housing complex comprised of 63 rental units on a site consisting of 27,698 gross square feet (24,954 square feet of buildable lot area) in the C2-1VL Zone. This would result in a floor area ratio of approximately 2.1:1 FAR (52,126 / 24,954), which exceeds the permitted total floor area of a maximum 1.5:1 FAR. The Zoning Code restricts the total floor area of a building(s) on a lot in a commercial zone in Height District No. 1 to not exceed one-and-one-half times the buildable area of the lot, or 1.5:1 FAR, regardless of whether the use is commercial or residential. On the other hand, the Code allows a total floor area of a building(s) on a lot in a less intensive R4 Zone in the same Height District No. 1 up to three times the buildable area of the lot, or 3:1 FAR. A C2-1VL Zone, which allows for more intensive commercial uses, also allows uses permitted on a R4-1VL Zone as a matter of right. In other words, if the site was zoned R4, the proposed affordable apartment project would have been allowed without any special entitlements. However, in this particular case, the floor area provisions of a site zoned C2, which is intended for the purpose of tempering the massing of a commercial use, would restrict a residential building that would otherwise be allowed by-right on a lot zoned R4, a less intensive zone. The variance consideration in the Code is to allow the Zoning Administrator flexibility in approving projects that would result in practical difficulties inconsistent with the general purpose and intent of the floor area regulations. The proposed affordable housing project meets the intent of the Code in allowing multi-residential uses at less than 3:1 FAR. Further, careful design and architectural treatments have been incorporated to enhance a deteriorating, under-utilized site.

#### Transitional Height

The subject site is designated a Height District No. 1VL, which permits the height of buildings to a maximum of 45 feet. The height of the proposed apartment building is approximately 44 feet to the top of the parapet, which would be in compliance with the requirements of the Zoning Code. However, the Code restricts the height of a building on a commercially zoned lot of a maximum of 25 feet when located within a distance of 49 feet to a lot zoned for single-family homes. The project site is zoned C2-1VL and is located adjacent to a lot zoned R1 to the west. Thus, the proposed project is subject to the height limit of 25 feet. If, however, the site was zoned for multi-family residential uses, such as less intensive R4-1VL, then the height of the proposed apartment building would be fully in compliance with the height regulations. There are countless instances throughout the City where single-family zoned lots are purposefully positioned adjacent to multi-family zoned lots to create a buffer away from more intense, major commercial corridors. This creates a natural progression, or "transition", of less intensive uses to more intensive uses. In fact, it is proper planning practice to arrange single-family homes next to multi-family

residential buildings and thereby away from commercial uses. The approval of this variance will allow the redevelopment of a blighted site in favor of attractive, affordable, new housing. The proposed affordable multi-family development serves as an appropriate transition between the single-family residences to the west and the relatively busy commercial uses and traffic along Western Avenue to the east.

As such, the strict application of the Code would create unnecessary hardships for the proposed affordable residential building inconsistent with the general purpose and intent of the floor area and transitional height provisions.

2. **There are special circumstances applicable to the subject property such as size, shape, topography, location or surroundings that do not apply generally to other property in the same zone and vicinity.**

The subject site is a level, rectangular-shaped lot consisting of five contiguous parcels comprised of 27,698 gross square feet in the C2-1VL Zone and designated as General Commercial land use in the South Los Angeles Community Plan area. The project site is located on the west side of Western Avenue mid-block between 103<sup>rd</sup> and 104<sup>th</sup> Streets. The subject site is currently developed with six smaller apartment buildings built in 1943, in deteriorating condition. The site also includes one vacant commercial building with three empty store fronts. These uses will be demolished in order to construct a project that includes 63 one-bedroom affordable rental units. The property to the north is developed with an auto repair use in the C2 Zone. Properties to the east, across Western Avenue, are variably developed with an auto repair use, a duplex and small retail uses in the C2 zone. The property to the south is developed with a two-story apartment building also in the C2 Zone. Properties to the east, across the alley, are developed with single-family homes in the R1 Zone. Nearby blocks to the north and south on Western Avenue contain a mixture of commercial, residential and public uses with building heights varying between 15 and 45 feet.

As mentioned above, the subject site is zoned C2-1VL, which allows for more intensive commercial uses with a maximum of 1.5:1 FAR, whereas a site zoned R4-1VL allows less intensive residential uses but with a higher 3:1 FAR. Special circumstances exist due to the fact that an apartment project is being proposed at 2.1:1 FAR in a commercial zone. If the site was zoned R4, for instance, the proposed affordable apartment project would have been allowed as a matter of right. No special entitlements would be required. There has been a relatively recent recognition by the City for the need to allow residential uses (and mixed uses) at 3:1 FAR along commercial corridors, resulting in the creation of RAS3 and RAS4 Zones. The proposed apartment project is also subject to the transitional height requirements because the site is commercially zoned. The intent of the transitional height requirements is to buffer single-family homes away from the more intensive uses and traffic impacts of commercial corridors. The proposed project is a multi-family residential use with affordable units. Again, if the site were zoned for multi-family residential uses, such as R4-1VL, then the height of the proposed apartment building would be fully in compliance with the height regulations.

In both instances, inherent conflicts exist between policies encouraging the production of affordable housing and the provisions of the Code that were created to help buffer single-family housing from adjacent commercial buildings. The approval this variance would allow an apartment building, which would otherwise be permitted by-right on a multi-family residential zone, on a commercial zone. The current market forces and social trend are pushing commercial corridors to evolve into mixed-use centers as a viable option for permanent residence and providing an opportunity for the area to be developed into an urban community. In-fill developments of residential and mixed-use buildings have become part of traditional major commercial thoroughfares to provide much-needed housing options.

3. **Such variance is necessary for the preservation and enjoyment of a substantial property right or use generally possessed by other property in the same zone and vicinity but which, because of such special circumstances and practical difficulties or unnecessary hardships, is denied the property in question.**

The project site is located in a C2-1VL Zone along Western Ave. This portion of Western Avenue forms a transitional commercial corridor, and the immediate surrounding properties comprise of commercial, including auto repair uses, and multi-family uses. The proposed project is proposing an attractive and efficiently designed residential development that is consistent with the General Commercial designation which permits residential properties that comply with R4 zoning standards. The project provides 63 parking spaces for 63 rental units, consistent with Parking Option One of the City's affordable housing incentives.

The design of the proposed development comprises of a parking garage at the ground level and three levels of above-ground residential units. The primary pedestrian entrance is located along the street front abutting Western Avenue to activate the sidewalk, while vehicular access takes place off the alley in the "rear" of the property with minimal circulation impacts. The height of the building is proposed at approximately 44 feet to the top of the parapet, substantially in conformance with Height District No. 1VL of 45 feet and consistent with a mixture of commercial, residential and public uses of building heights varying between 15 and 45 feet along nearby blocks to the north and south on Western Avenue. The approval of this variance would allow the community to enjoy the benefits of a well-designed, new housing project providing affordable rates, which would otherwise not be allowed.

4. **The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the same zone or vicinity in which the property is located.**

The granting of such variances will not be materially detrimental to the public welfare, in that the site is located along Western Avenue, a transitional, mostly-commercial in nature with some multi-family uses in the South Los Angeles Community Plan area. The housing project will increase activity along the sidewalk as well as providing well-placed lighting to create a safer neighborhood. The bright-colored, affordable housing complex will enhance a site that is in deteriorating condition. Further, the project will have minimal impacts on the surrounding

neighborhood as the single-family lots to the west are separated by a 20-foot wide alley. The distance from the proposed apartment building to the closest single-family home (excluding non-habitable garages) is approximately 100 feet.

The proposed project is an affordable apartment building, financed by the U.S. Department of Housing and Urban Development (HUD), "9% Tax Credits" through the State of California, and the Los Angeles Housing Department. This project is a component of a larger multi-site, portfolio-awarded subsidy by the aforementioned agencies. On the subject site, 24 existing affordable units will be demolished and 63 affordable units rebuilt in their place. On the other three "subsidy" sites, a total of 60 affordable units will be rehabilitated in order to preserve existing "At-Risk" Section 8 housing. As a part of this funding process, HUD has agreed to transfer a portion of the existing Section 8 contract to the subject 63-unit structure. HUD and the Housing Authority have approved the permanent relocation plan for the existing 24 households.

Additionally, the Applicant has garnered the support of the Council Office and Mayor's Office for this project. The much-needed affordable housing project will not be materially detrimental to the general welfare, but in fact, provide benefits to the community.

**5. The granting of the variance will not adversely affect any element of the General Plan.**

The South Los Angeles Community Plan map designates the property for General Commercial land use with a corresponding zone of C1.5, C2, C4, RAS3, and RAS4. The General Commercial designation permits residential properties that comply with R4 zoning standards. The proposed development of 63 affordable residential rental units is allowable under the current adopted zone and the land use designation. The site is located in a developed urban area along Western Avenue, a Major Highway Class II, which is predominantly characterized by a variety of commercial, some multi-family residential and light industrial uses. It is served by several transit lines, including Metro bus lines 207, 305 and 757. The apartment project will provide much needed affordable housing units for the South Los Angeles Community Plan area, meeting several of the plan's objectives for residential development.

*Objective 1-1:* To provide for the preservation of existing housing and for the development of new housing to meet the diverse economic and physical needs of the existing residents and projected population of the Plan area to the year 2010.

*Objective 1-2:* To locate new housing in a manner which reduces vehicular trips and makes it accessible to services and facilities.

*Objective 1-3:* To preserve and enhance the varied and distinct residential character and integrity of existing single- and multi-family neighborhoods.

*Objective 1-5:* To promote and ensure the provision of adequate housing for all persons regardless of income, age, or ethnic background.

**ADDITIONAL MANDATORY FINDINGS**

12. The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that the property is located in Zone C, areas of minimal flooding.
13. On January 18, 2012, the project was issued a Notice of Exemption, log reference ENV-2011-3127-CE, for a Categorical Exemption, Class 5, Category 10. I hereby adopt that action.

I concur with the report prepared by Jae Kim, Planning Staff for the Office of Zoning Administration, on this application and approve same.

Jae Kim  
City Planner  
(213) 978-1383



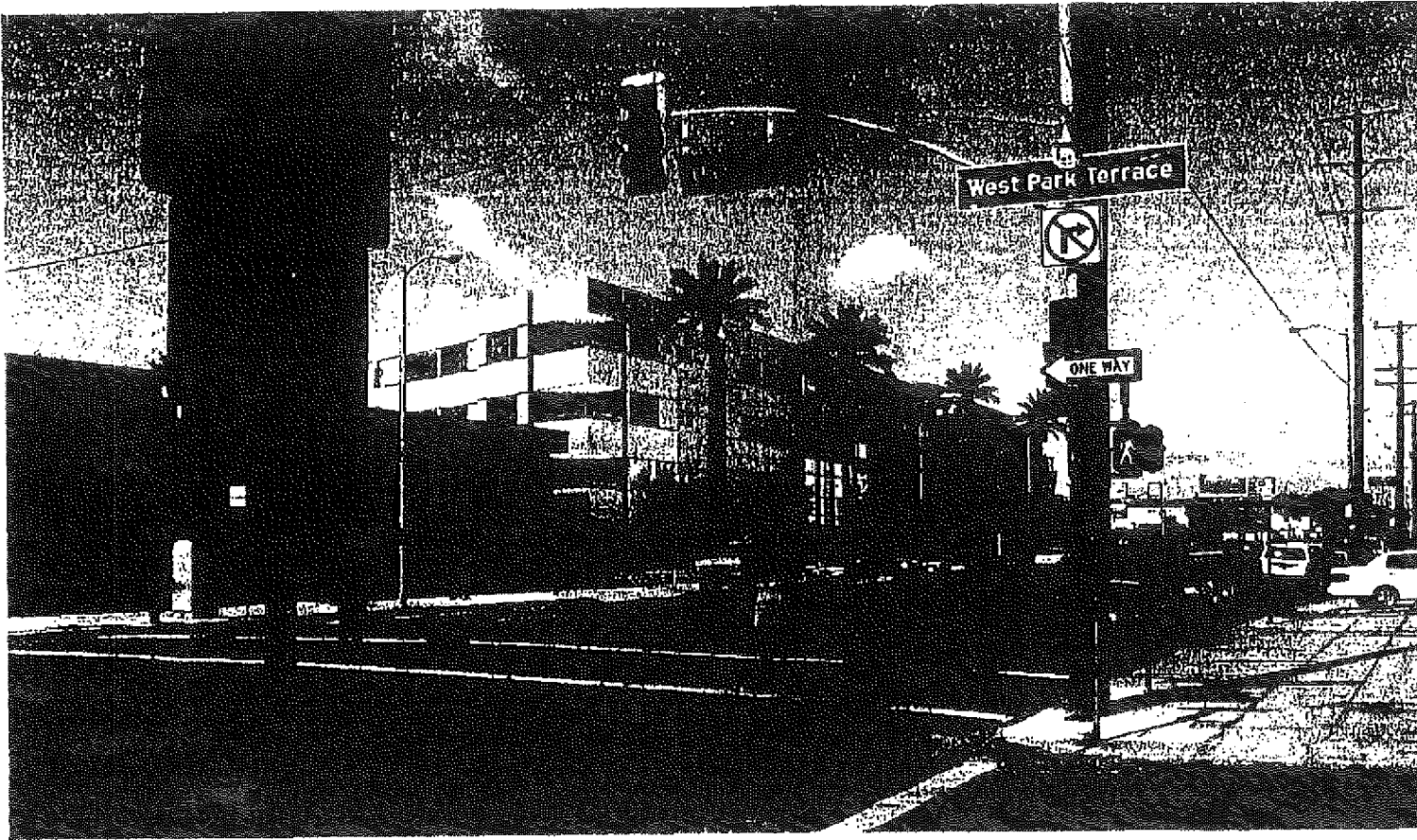
LINN K. WYATT  
Chief Zoning Administrator  
Direct Telephone Number (213) 978-1318

LW:JK:jjq

cc: Councilmember Bernard Parks,  
Eighth District  
Adjoining Property Owners







# WESTERN APARTMENTS

10311 SO. WESTERN AVENUE, LOS ANGELES

for

PRESERVATION PARTNERS DEVELOPMENT III, LLC

21616 HAWTHORNE BLVD. SUITE 125 TORRANCE, CA 90503

**EXHIBIT "A"**  
 Page No. 1 of 14  
 Case No. \_\_\_\_\_

ZA 2011 3126

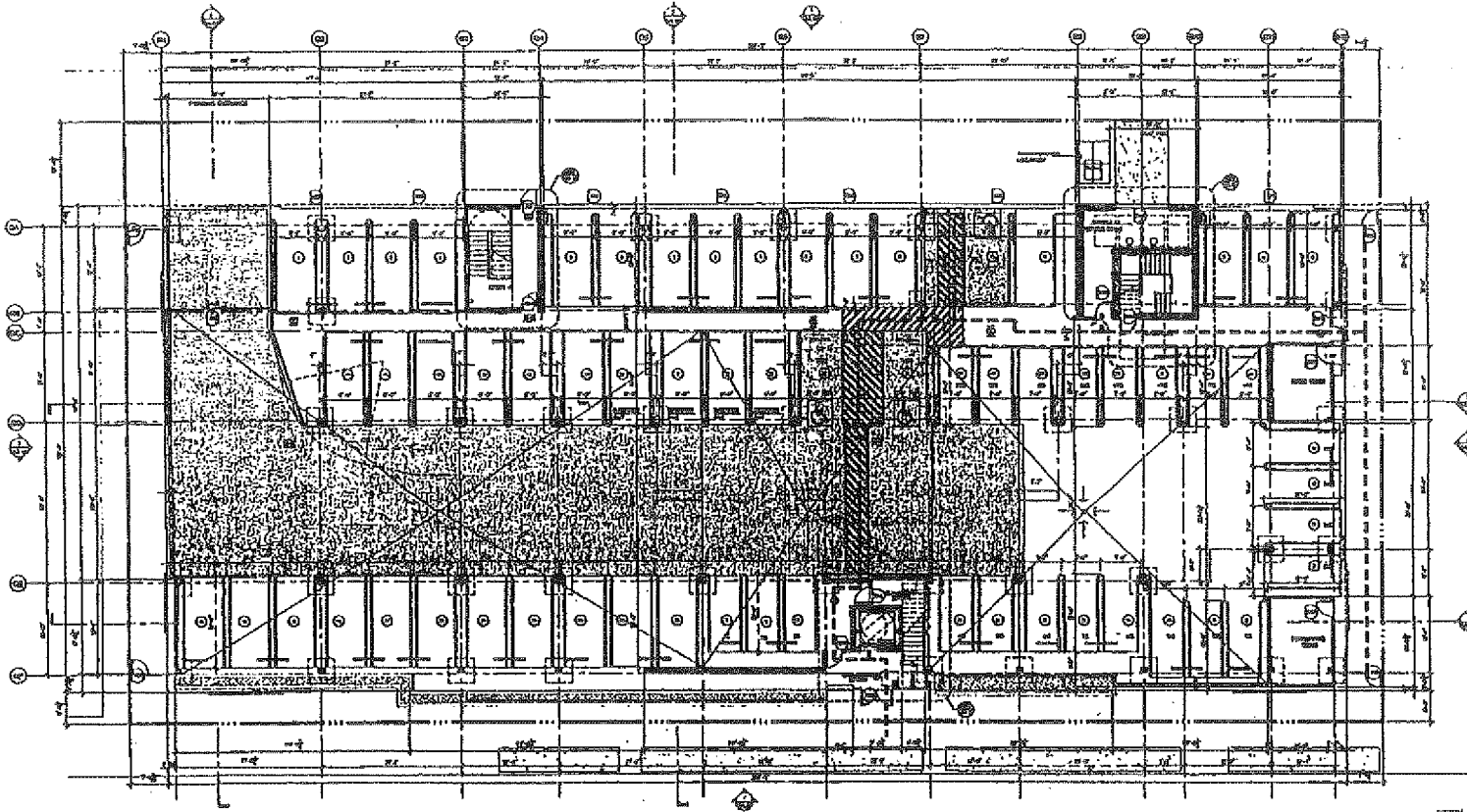
**WESTERN APARTMENTS**  
 10311 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT III, LLC  
 21616 HAWTHORNE BLVD. SUITE 125 TORRANCE, CA 90503



WIT  
 WESTERN INVESTMENT TRUST



CRENS DEVELOPMENT  
 1/1/2011



File No.	0224
Sheet	
Date	
Author	
Checker	
Designer	
Scale	
Notes	

**WESTERN APARTMENTS**  
 1031 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 2635 HAWTHORNE BLVD. SUITE G5 TORRANCE, CA 90503



WESTERN APARTMENTS  
 1031 SO. WESTERN AVENUE  
 LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC



Background  
 garage building

AA-10  
 DESIGN DEVELOPMENT  
 PROGRESS

garage pilot ceiling	corridor building pilot accessibility orders	Wall legend	ceiling pilot legend	garage pilot legend
<ul style="list-style-type: none"> <li>1. No recessed to be less than 12" above ceiling</li> <li>2. No recessed to be less than 12" above ceiling</li> <li>3. No recessed to be less than 12" above ceiling</li> </ul>	<ul style="list-style-type: none"> <li>1. Corridor building pilot accessibility orders</li> <li>2. Corridor building pilot accessibility orders</li> <li>3. Corridor building pilot accessibility orders</li> </ul>	<ul style="list-style-type: none"> <li>1. 1/2" wood lath, 5/8" mesh, 1/2" thick</li> <li>2. 1/2" wood lath, 5/8" mesh, 1/2" thick</li> <li>3. 1/2" wood lath, 5/8" mesh, 1/2" thick</li> </ul>	<ul style="list-style-type: none"> <li>1. 1/2" wood lath, 5/8" mesh, 1/2" thick</li> <li>2. 1/2" wood lath, 5/8" mesh, 1/2" thick</li> <li>3. 1/2" wood lath, 5/8" mesh, 1/2" thick</li> </ul>	<ul style="list-style-type: none"> <li>1. 1/2" wood lath, 5/8" mesh, 1/2" thick</li> <li>2. 1/2" wood lath, 5/8" mesh, 1/2" thick</li> <li>3. 1/2" wood lath, 5/8" mesh, 1/2" thick</li> </ul>

**EXHIBIT "A"**  
 Page No. 2 of 14  
 Case No. \_\_\_\_\_

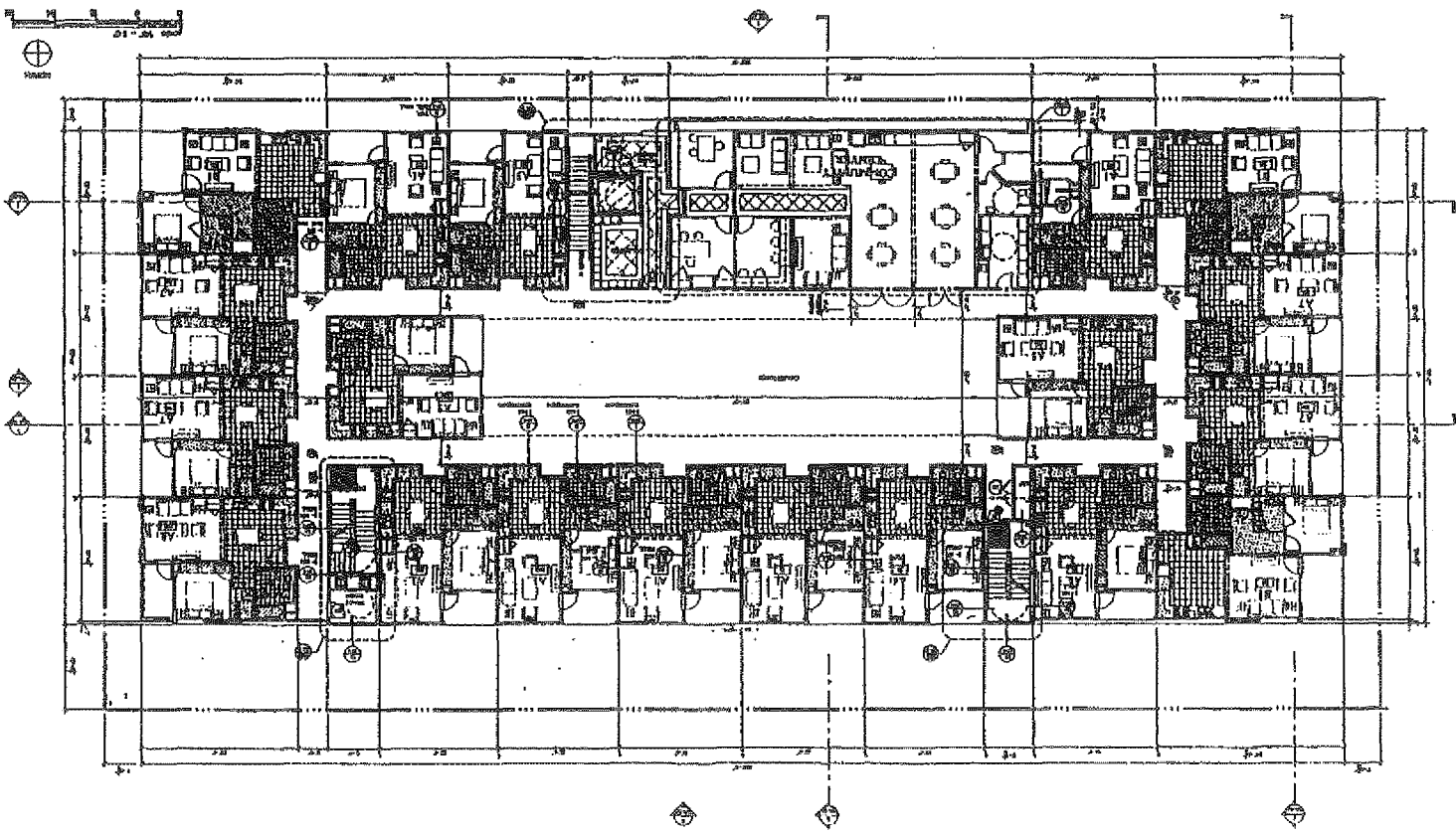
ZA - 2011-3126

2011-3126 ZA

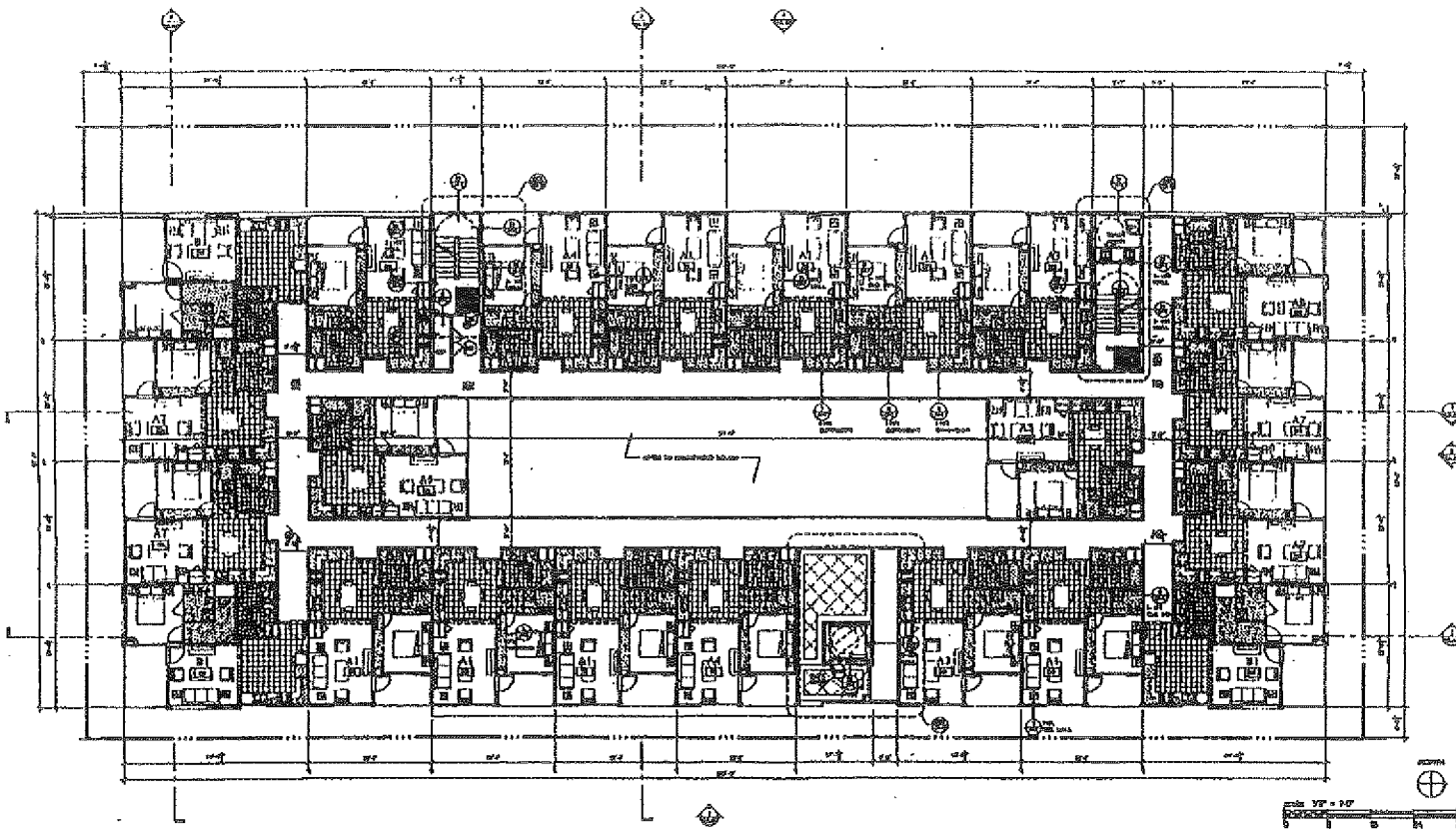
EXHIBIT "A"  
Page No. 3 of 14  
CASE NO.

DESIGN DEVELOPMENT  
AA-2  
Date of Issuance  
Scale  
PROJECT NO. 1111  
WESTERN APARTMENTS  
2355 HAWTHORNE BLVD. SUITE 125 TORRANCE, CA 90503

<p>1. All dimensions are in feet and inches unless otherwise noted.</p> <p>2. All dimensions are to the centerline of the wall unless otherwise noted.</p> <p>3. All dimensions are to the finished floor unless otherwise noted.</p> <p>4. All dimensions are to the centerline of the column unless otherwise noted.</p> <p>5. All dimensions are to the centerline of the beam unless otherwise noted.</p> <p>6. All dimensions are to the centerline of the slab unless otherwise noted.</p> <p>7. All dimensions are to the centerline of the wall unless otherwise noted.</p> <p>8. All dimensions are to the centerline of the column unless otherwise noted.</p> <p>9. All dimensions are to the centerline of the beam unless otherwise noted.</p> <p>10. All dimensions are to the centerline of the slab unless otherwise noted.</p>	<p>1. All dimensions are in feet and inches unless otherwise noted.</p> <p>2. All dimensions are to the centerline of the wall unless otherwise noted.</p> <p>3. All dimensions are to the finished floor unless otherwise noted.</p> <p>4. All dimensions are to the centerline of the column unless otherwise noted.</p> <p>5. All dimensions are to the centerline of the beam unless otherwise noted.</p> <p>6. All dimensions are to the centerline of the slab unless otherwise noted.</p> <p>7. All dimensions are to the centerline of the wall unless otherwise noted.</p> <p>8. All dimensions are to the centerline of the column unless otherwise noted.</p> <p>9. All dimensions are to the centerline of the beam unless otherwise noted.</p> <p>10. All dimensions are to the centerline of the slab unless otherwise noted.</p>	<p>1. All dimensions are in feet and inches unless otherwise noted.</p> <p>2. All dimensions are to the centerline of the wall unless otherwise noted.</p> <p>3. All dimensions are to the finished floor unless otherwise noted.</p> <p>4. All dimensions are to the centerline of the column unless otherwise noted.</p> <p>5. All dimensions are to the centerline of the beam unless otherwise noted.</p> <p>6. All dimensions are to the centerline of the slab unless otherwise noted.</p> <p>7. All dimensions are to the centerline of the wall unless otherwise noted.</p> <p>8. All dimensions are to the centerline of the column unless otherwise noted.</p> <p>9. All dimensions are to the centerline of the beam unless otherwise noted.</p> <p>10. All dimensions are to the centerline of the slab unless otherwise noted.</p>	<p>1. All dimensions are in feet and inches unless otherwise noted.</p> <p>2. All dimensions are to the centerline of the wall unless otherwise noted.</p> <p>3. All dimensions are to the finished floor unless otherwise noted.</p> <p>4. All dimensions are to the centerline of the column unless otherwise noted.</p> <p>5. All dimensions are to the centerline of the beam unless otherwise noted.</p> <p>6. All dimensions are to the centerline of the slab unless otherwise noted.</p> <p>7. All dimensions are to the centerline of the wall unless otherwise noted.</p> <p>8. All dimensions are to the centerline of the column unless otherwise noted.</p> <p>9. All dimensions are to the centerline of the beam unless otherwise noted.</p> <p>10. All dimensions are to the centerline of the slab unless otherwise noted.</p>
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WESTERN APARTMENTS  
1501 SO WESTERN AVENUE, LOS ANGELES, CA 90047  
PRESERVATION PARTNERS DEVELOPMENT I, LLC  
2355 HAWTHORNE BLVD. SUITE 125 TORRANCE, CA 90503



Building department notes	Comprehensive building plan notes	Comprehensive building plan accessibility notes	Comprehensive building plan legend
<p><b>Building department notes</b></p> <p>1. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>2. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>3. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>4. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>5. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>6. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>7. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>8. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>9. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>10. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p>	<p><b>Comprehensive building plan notes</b></p> <p>1. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>2. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>3. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>4. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>5. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>6. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>7. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>8. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>9. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>10. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p>	<p><b>Comprehensive building plan accessibility notes</b></p> <p>1. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>2. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>3. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>4. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>5. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>6. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>7. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>8. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>9. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>10. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p>	<p><b>Comprehensive building plan legend</b></p> <p>1. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>2. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>3. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>4. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>5. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>6. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>7. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>8. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>9. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p> <p>10. ALL NOTES SHOWN FOR THE PURPOSES OF THE BUILDING DEPARTMENT ONLY.</p>

WESTERN APARTMENTS  
 8371 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 2915 HAYWARD BLVD., SUITE 250, TORRANCE, CA 90503

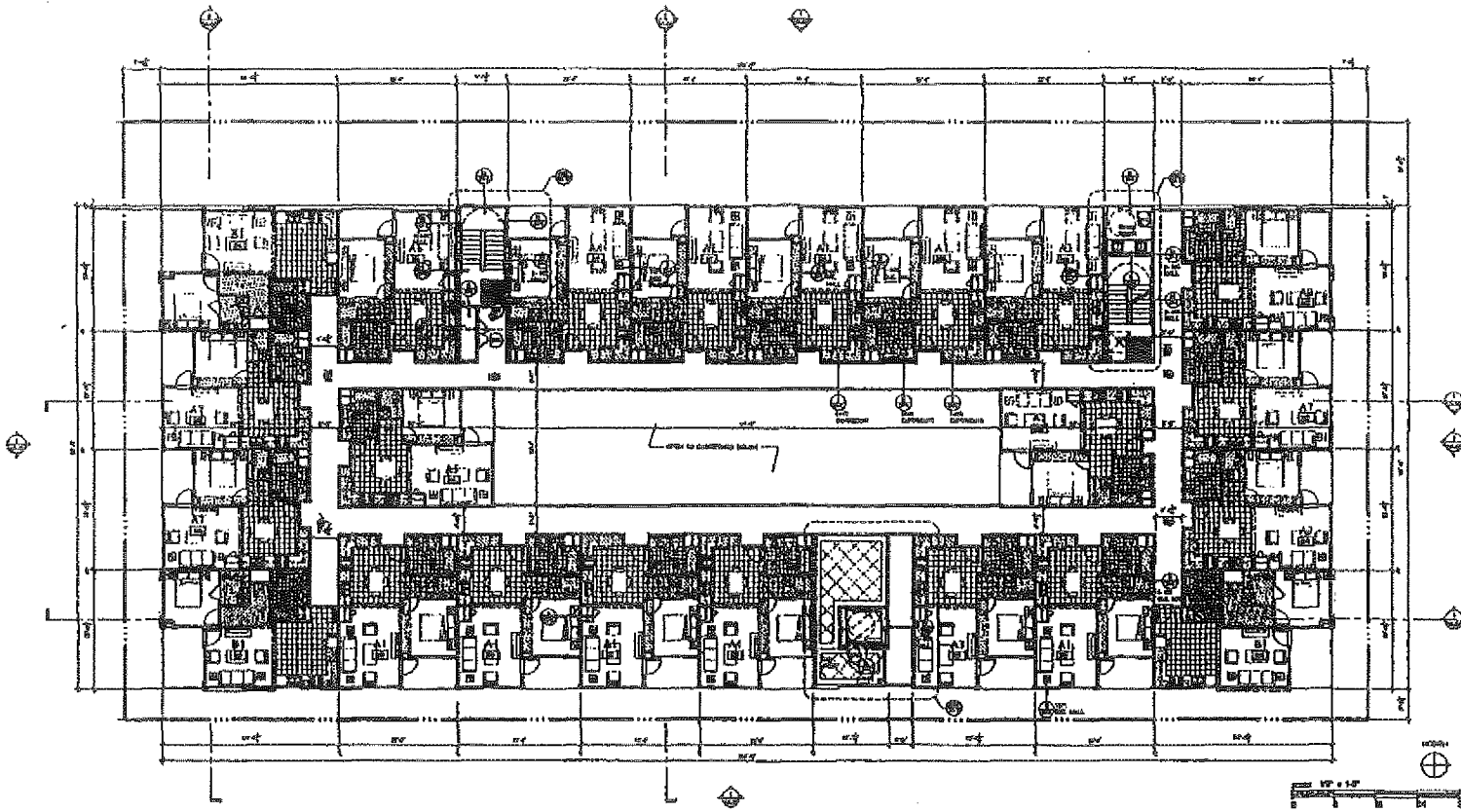
WITHIN HARBOLD  
 ARCHITECTS, P.C.  
 8331 W. 110th Street  
 Torrance, CA 90504  
 L 310.777.2010  
 F 310.777.2000

AA-30  
 DESIGN DEVELOPMENT  
 1/10/2010

**EXHIBIT "A"**  
 Page No. 4 of 16  
 Case No. \_\_\_\_\_

ZA

-2011-3126



Building Department notes	Composite building plan notes	Composite building plan accessibility notes	Composite building plan legend
<p>1. All work shall conform to the provisions of the Building Code of the City of Los Angeles, California, and all applicable codes and regulations.</p> <p>2. The contractor shall be responsible for obtaining all necessary permits and licenses for the work shown on these plans.</p> <p>3. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>4. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>5. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>6. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>7. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>8. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>9. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>10. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p>	<p>1. All work shall conform to the provisions of the Building Code of the City of Los Angeles, California, and all applicable codes and regulations.</p> <p>2. The contractor shall be responsible for obtaining all necessary permits and licenses for the work shown on these plans.</p> <p>3. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>4. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>5. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>6. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>7. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>8. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>9. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>10. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p>	<p>1. All work shall conform to the provisions of the Building Code of the City of Los Angeles, California, and all applicable codes and regulations.</p> <p>2. The contractor shall be responsible for obtaining all necessary permits and licenses for the work shown on these plans.</p> <p>3. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>4. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>5. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>6. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>7. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>8. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>9. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>10. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p>	<p>1. All work shall conform to the provisions of the Building Code of the City of Los Angeles, California, and all applicable codes and regulations.</p> <p>2. The contractor shall be responsible for obtaining all necessary permits and licenses for the work shown on these plans.</p> <p>3. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>4. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>5. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>6. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>7. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>8. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>9. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p> <p>10. The contractor shall be responsible for obtaining all necessary approvals from the appropriate agencies.</p>

WESTERN APARTMENTS  
 1331 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 2355 HAWTHORNE BLVD., SUITE 202, TORRANCE, CA 90503

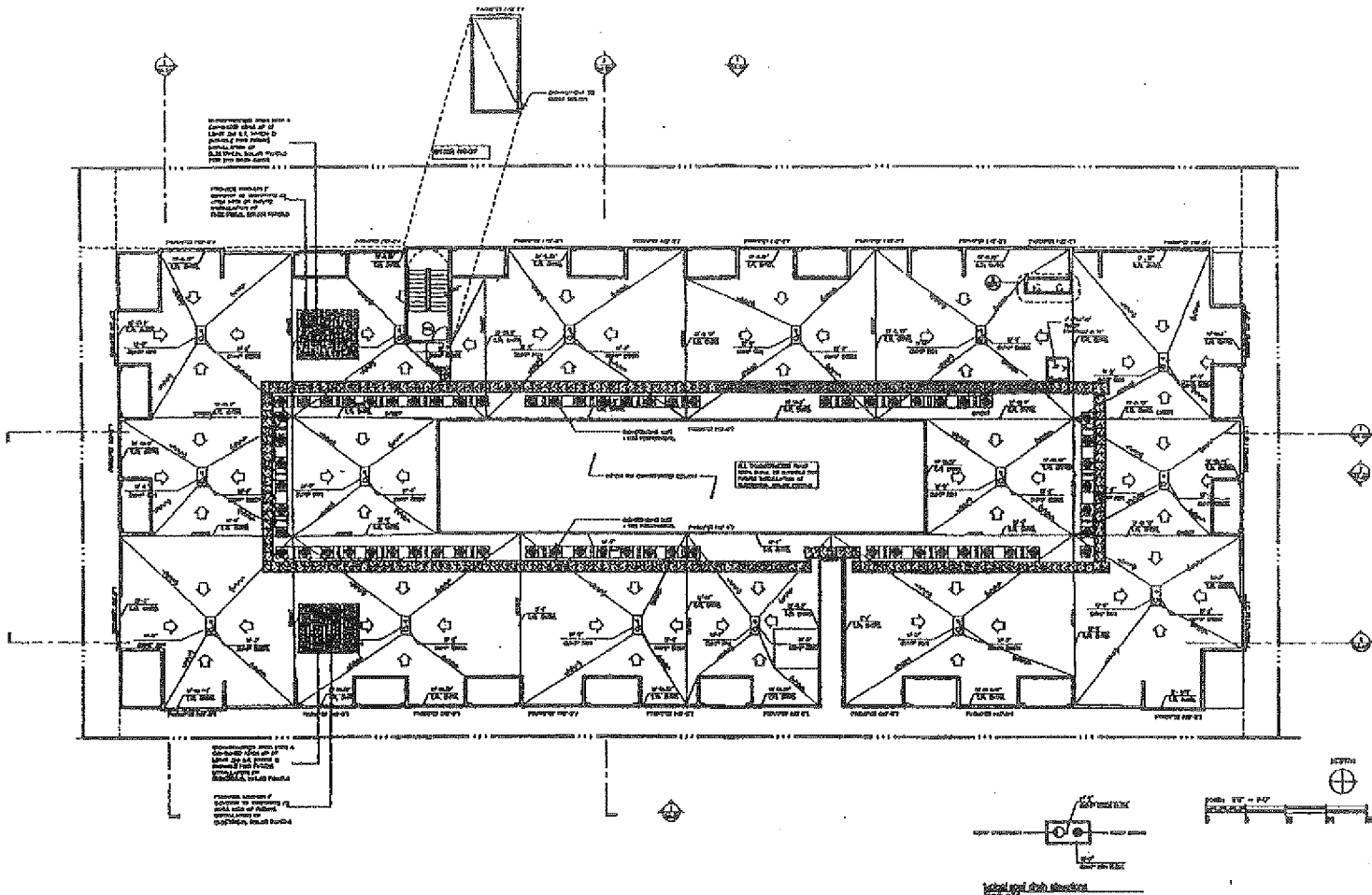
DESIGN DEVELOPMENT  
 PROGRESS

4th Floor  
 Building Plan

AA-40

**EXHIBIT "A"**  
 Page No. 5 of 14  
 Case No. \_\_\_\_\_

ZA - 2011-3126



read notes	typical details	read plan legend
<p>1. CONSTRUCTION NOTES: See notes on drawings for details of construction. All work shall conform to the latest editions of the Building Code of the City of Los Angeles and the California Building Code.</p> <p>2. FINISHES: See notes on drawings for details of finishes. All finishes shall be as specified on the drawings.</p> <p>3. MATERIALS: See notes on drawings for details of materials. All materials shall be as specified on the drawings.</p> <p>4. WORKMANSHIP: All work shall be done in a workmanlike manner and shall conform to the standards of the Building Code of the City of Los Angeles and the California Building Code.</p> <p>5. PROTECTION: All work shall be protected and the contractor shall be responsible for the protection of all existing work.</p> <p>6. CLEANUP: The contractor shall be responsible for the cleanup of all work areas and shall leave the site in a clean and safe condition.</p> <p>7. SAFETY: The contractor shall be responsible for the safety of all workers and shall comply with all applicable safety regulations.</p> <p>8. INSURANCE: The contractor shall be responsible for the insurance of all workers and shall provide proof of insurance to the owner.</p> <p>9. PAYROLL: The contractor shall be responsible for the payment of all payroll taxes and shall provide proof of payment to the owner.</p> <p>10. RECORDS: The contractor shall be responsible for the maintenance of all records and shall provide copies of all records to the owner.</p>	<p>1. WALLS: See notes on drawings for details of walls.</p> <p>2. FLOORS: See notes on drawings for details of floors.</p> <p>3. CEILING: See notes on drawings for details of ceiling.</p> <p>4. ROOF: See notes on drawings for details of roof.</p> <p>5. STAIRS: See notes on drawings for details of stairs.</p> <p>6. ELEVATOR: See notes on drawings for details of elevator.</p> <p>7. MECHANICAL: See notes on drawings for details of mechanical.</p> <p>8. ELECTRICAL: See notes on drawings for details of electrical.</p> <p>9. PLUMBING: See notes on drawings for details of plumbing.</p> <p>10. PAINT: See notes on drawings for details of paint.</p>	<p>1. UNITS: See notes on drawings for details of units.</p> <p>2. CORRIDORS: See notes on drawings for details of corridors.</p> <p>3. STAIRS: See notes on drawings for details of stairs.</p> <p>4. ELEVATOR: See notes on drawings for details of elevator.</p> <p>5. MECHANICAL: See notes on drawings for details of mechanical.</p> <p>6. ELECTRICAL: See notes on drawings for details of electrical.</p> <p>7. PLUMBING: See notes on drawings for details of plumbing.</p> <p>8. PAINT: See notes on drawings for details of paint.</p>

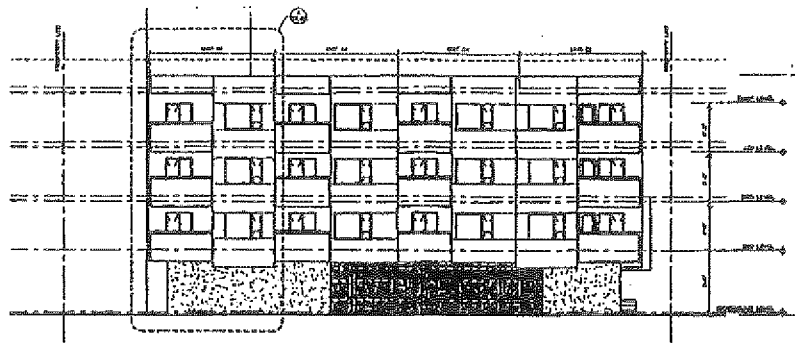
WESTERN APARTMENTS  
 10311 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 10311 S. WESTERN AVENUE, LOS ANGELES, CA 90047

WESTERN APARTMENTS  
 10311 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 10311 S. WESTERN AVENUE, LOS ANGELES, CA 90047

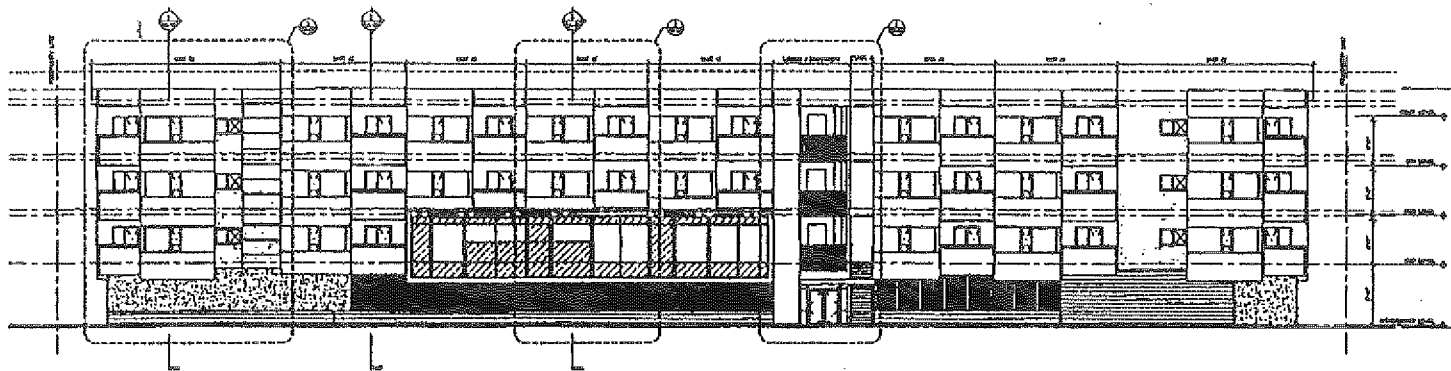
AA-50  
 DESIGN DEVELOPMENT  
 PROGRESS

**EXHIBIT "A"**  
 Page No. 6 of 14  
 Case No. \_\_\_\_\_

ZA - 2011-3126




Elevation - West



Elevation - West

Scale: 1/4" = 1'-0"

Elevation Notes	General Elevation Notes	Key Plan
<p>1. All elevations shall be shown in accordance with the following notes:</p> <p>2. All elevations shall be shown in accordance with the following notes:</p> <p>3. All elevations shall be shown in accordance with the following notes:</p> <p>4. All elevations shall be shown in accordance with the following notes:</p> <p>5. All elevations shall be shown in accordance with the following notes:</p> <p>6. All elevations shall be shown in accordance with the following notes:</p> <p>7. All elevations shall be shown in accordance with the following notes:</p> <p>8. All elevations shall be shown in accordance with the following notes:</p> <p>9. All elevations shall be shown in accordance with the following notes:</p> <p>10. All elevations shall be shown in accordance with the following notes:</p>	<p>1. All elevations shall be shown in accordance with the following notes:</p> <p>2. All elevations shall be shown in accordance with the following notes:</p> <p>3. All elevations shall be shown in accordance with the following notes:</p> <p>4. All elevations shall be shown in accordance with the following notes:</p> <p>5. All elevations shall be shown in accordance with the following notes:</p> <p>6. All elevations shall be shown in accordance with the following notes:</p> <p>7. All elevations shall be shown in accordance with the following notes:</p> <p>8. All elevations shall be shown in accordance with the following notes:</p> <p>9. All elevations shall be shown in accordance with the following notes:</p> <p>10. All elevations shall be shown in accordance with the following notes:</p>	

**WESTERN APARTMENTS**  
 1071 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT & LLC  
 216-111-1111

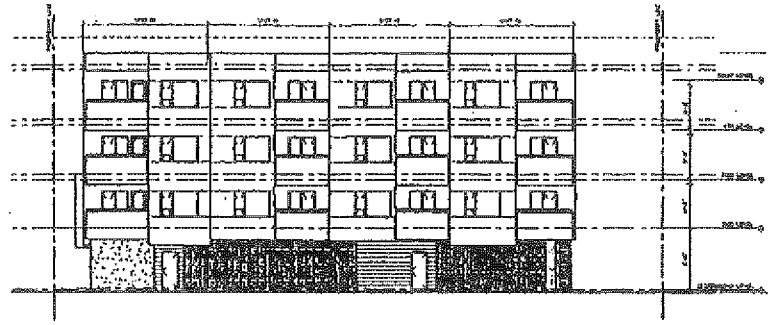


AA-1  
 DESIGN DEVELOPMENT PHASE

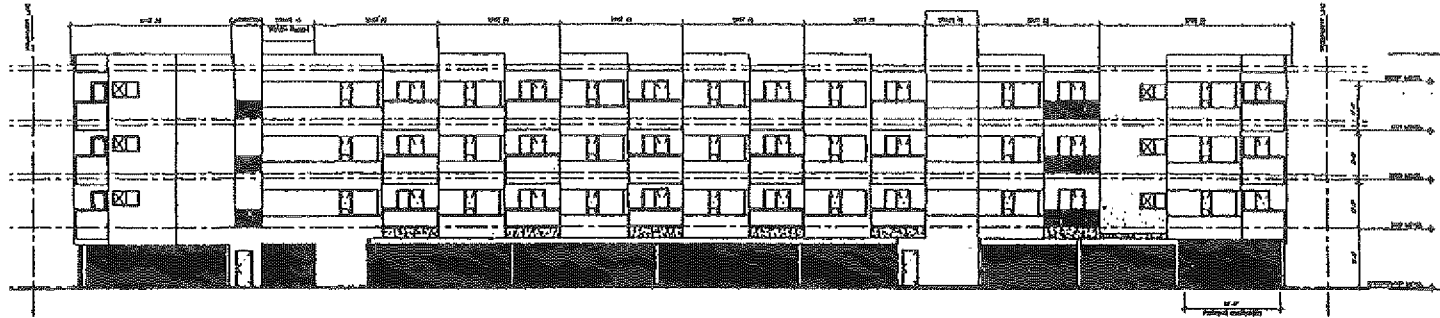
**EXHIBIT "A"**  
 Page No. 7 of 14  
 Case No. ZA

-2011-3126





West - elev. elevation (B)



West - elev. elevation (C)

<p><b>Construction Keynotes</b></p> <p>1) Foundation: ...</p> <p>2) Floor Slab: ...</p> <p>3) Structural Wall: ...</p> <p>4) Exterior Finish: ...</p> <p>5) Interior Finish: ...</p>	<p><b>General Elevation Notes</b></p> <p>1. All dimensions are to the centerline unless otherwise noted.</p> <p>2. All window and door sizes are as shown.</p> <p>3. All materials are as specified in the schedule.</p> <p>4. All work shall conform to the City of Los Angeles Building Code.</p> <p>5. All work shall be completed in accordance with the approved plans.</p>	<p><b>Key Plan</b></p> <p>Scale: 1" = 100'</p>
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**WESTERN APARTMENTS**  
1811 SO. WESTERN AVENUE, LOS ANGELES, CA 90047

PRESERVATION PARTNERS DEVELOPMENT II, LLC  
2800 HAYWARD BLVD., SUITE 625, TORRANCE, CA 90503

ARCHITECT

DATE: 1/14/11

PROJECT NO: AA-32

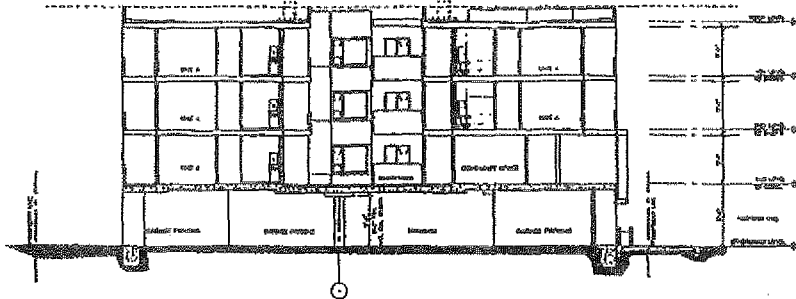
DESIGN DEVELOPMENT PROGRAM

**EXHIBIT "A"**

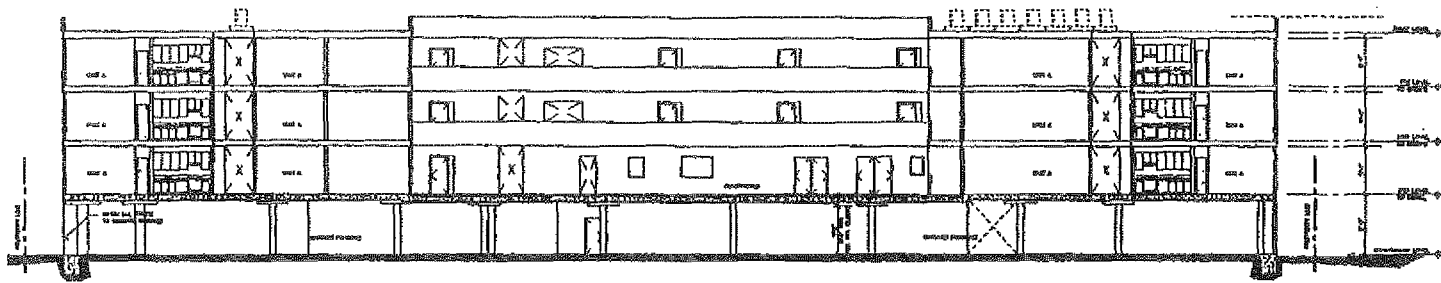
Page No. 8 of 14

Case No. 7A

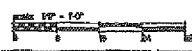
-2011-3126



Building section / analyzed elevation ②



Building section / analyzed elevation ①



General Notes	General Notes	Key Plan
<p>1. All work shall be in accordance with the approved plans and specifications.</p> <p>2. The contractor shall be responsible for obtaining all necessary permits and licenses.</p> <p>3. All materials and workmanship shall be subject to inspection and approval by the architect.</p> <p>4. The contractor shall maintain access to all existing utilities and structures.</p> <p>5. All work shall be completed within the specified time frame.</p> <p>6. The contractor shall be responsible for the safety of all workers and the public.</p> <p>7. All work shall be done in accordance with the applicable building codes and regulations.</p> <p>8. The contractor shall be responsible for the removal and disposal of all debris.</p> <p>9. All work shall be done in accordance with the approved schedule.</p> <p>10. The contractor shall be responsible for the protection of all existing structures and utilities.</p>	<p>1. All work shall be in accordance with the approved plans and specifications.</p> <p>2. The contractor shall be responsible for obtaining all necessary permits and licenses.</p> <p>3. All materials and workmanship shall be subject to inspection and approval by the architect.</p> <p>4. The contractor shall maintain access to all existing utilities and structures.</p> <p>5. All work shall be completed within the specified time frame.</p> <p>6. The contractor shall be responsible for the safety of all workers and the public.</p> <p>7. All work shall be done in accordance with the applicable building codes and regulations.</p> <p>8. The contractor shall be responsible for the removal and disposal of all debris.</p> <p>9. All work shall be done in accordance with the approved schedule.</p> <p>10. The contractor shall be responsible for the protection of all existing structures and utilities.</p>	<p>Key Plan</p>

**WESTERN APARTMENTS**  
 1571 SO WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 255 HAWTHORNE BLVD. SUITE 225, TORRANCE, CA 90503

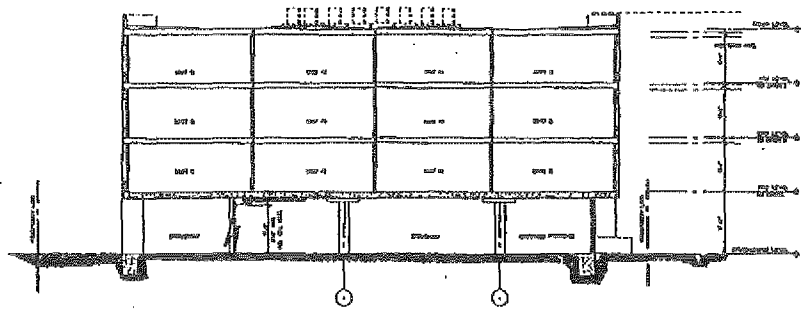
**VALDES RANNEY**  
 ARCHITECTS  
 1500 W. 166th Street  
 Torrance, CA 90504  
 (310) 555-1111  
 www.valdesranney.com

Building section / analyzed elevation  
 AAS3  
 DESIGN DEVELOPMENT  
 PHASE 2

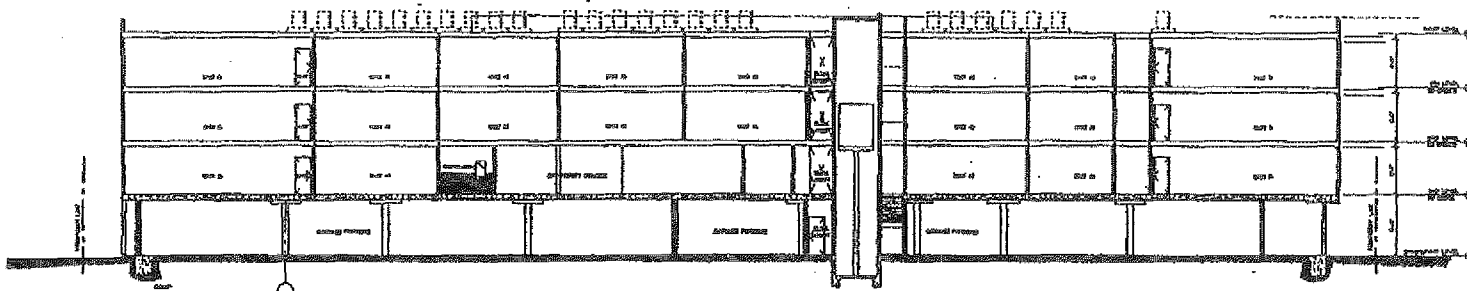
**EXHIBIT "A"**  
 Page No. 9 of 14  
 Case No. \_\_\_\_\_

ZA

-2011-3126



building elevation 2



building elevation 1

**WESTERN APARTMENTS**  
 10311 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 255 E. HAVESLOCK BLVD., S. OCEANA, TORRANCE, CA 90503

WICKI MALCOLM  
 ARCHITECTS, LLP  
 1501 W. 15th Street  
 Torrance, CA 90501  
 1 310 221-4444  
 1 310 221-4444



Project No. building contract  
 AA64

PRESERVATION PARTNERS DEVELOPMENT II, LLC

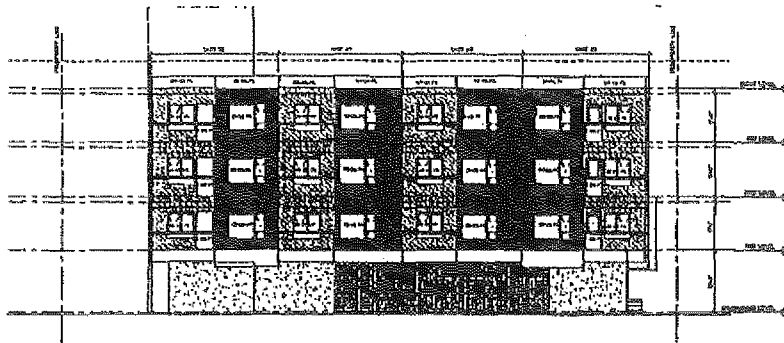
<p><b>General Notes</b></p> <ol style="list-style-type: none"> <li>1. The architect shall be responsible for the preparation and coordination of all drawings and specifications.</li> <li>2. The contractor shall be responsible for the construction of the building in accordance with the approved drawings and specifications.</li> <li>3. The contractor shall be responsible for the procurement of all materials and labor.</li> <li>4. The contractor shall be responsible for the payment of all taxes and fees.</li> <li>5. The contractor shall be responsible for the maintenance and repair of the building.</li> </ol>	<p><b>General Division Notes</b></p> <ol style="list-style-type: none"> <li>1. The contractor shall be responsible for the construction of the building in accordance with the approved drawings and specifications.</li> <li>2. The contractor shall be responsible for the procurement of all materials and labor.</li> <li>3. The contractor shall be responsible for the payment of all taxes and fees.</li> <li>4. The contractor shall be responsible for the maintenance and repair of the building.</li> </ol>	<p><b>Key plan</b></p>
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**EXHIBIT "A"**  
 Page No. 10 of 14  
 Case No. \_\_\_\_\_

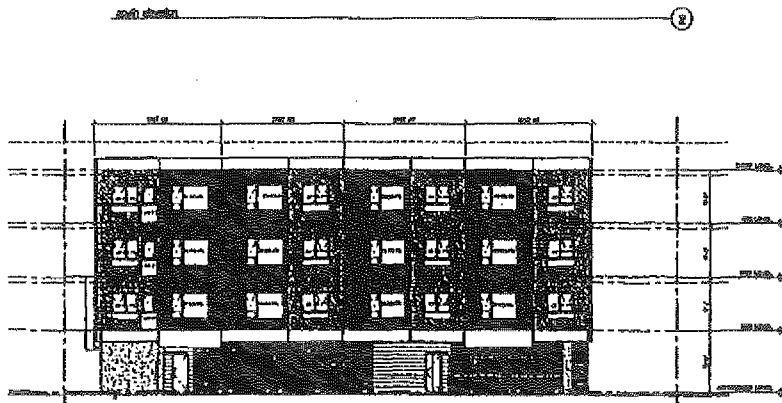
**ZA**

**-2011-3126**



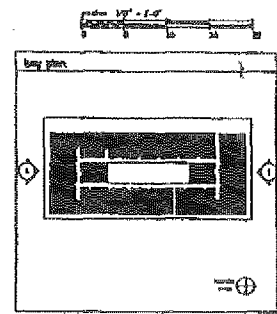


THE SHADING SYSTEM  
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WESTERN APARTMENTS  
 1081 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT & LLC  
 2515 HAYTHORNE BLVD. SUITE 05, TORRANCE, CA 90503

WESTERN APARTMENTS  
 1081 SO. WESTERN AVENUE  
 LOS ANGELES, CA 90047

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DESIGN DEVELOPMENT PROGRAM

EXHIBIT "A"  
 Page No. 12 of 14  
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7A

-2011-3126

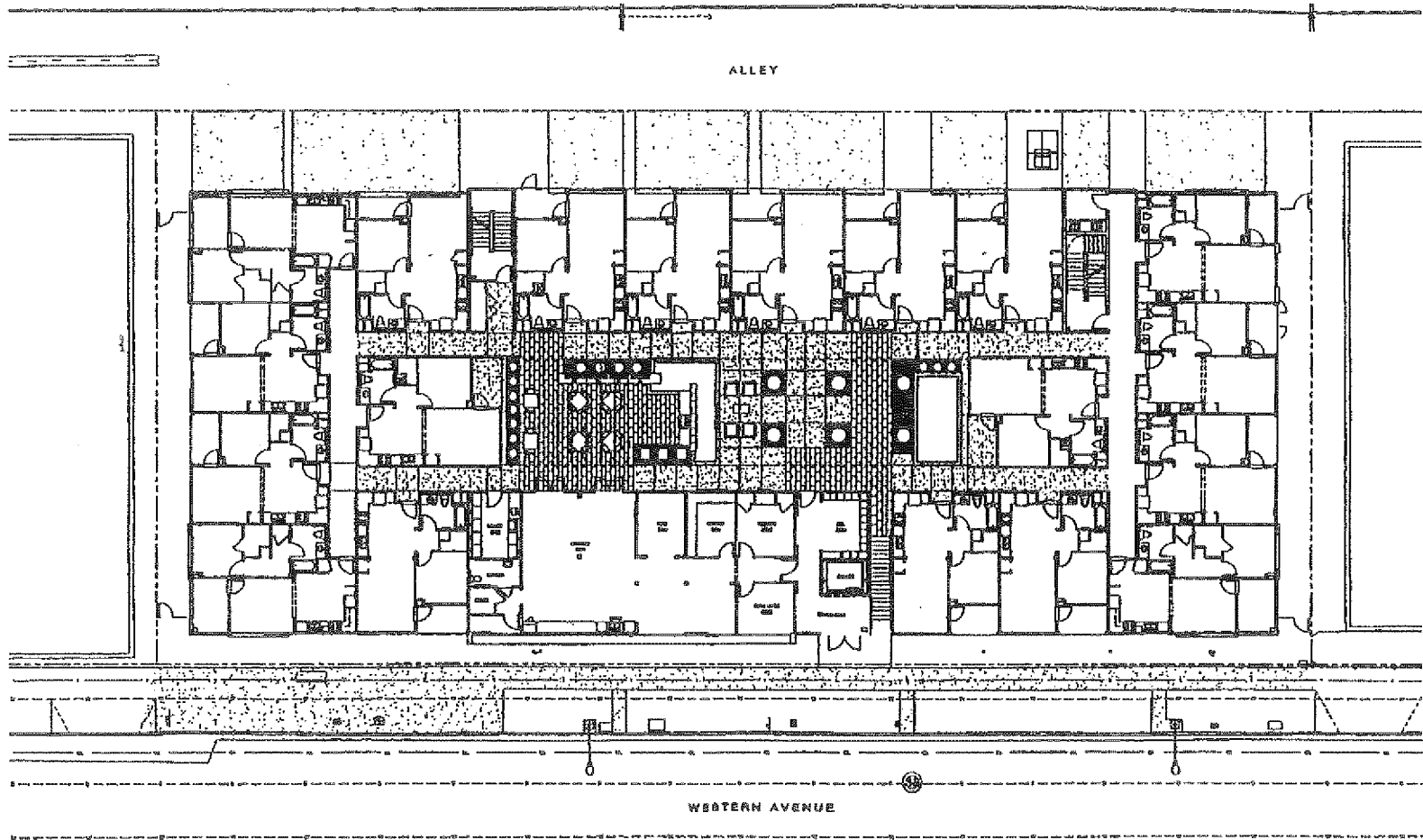
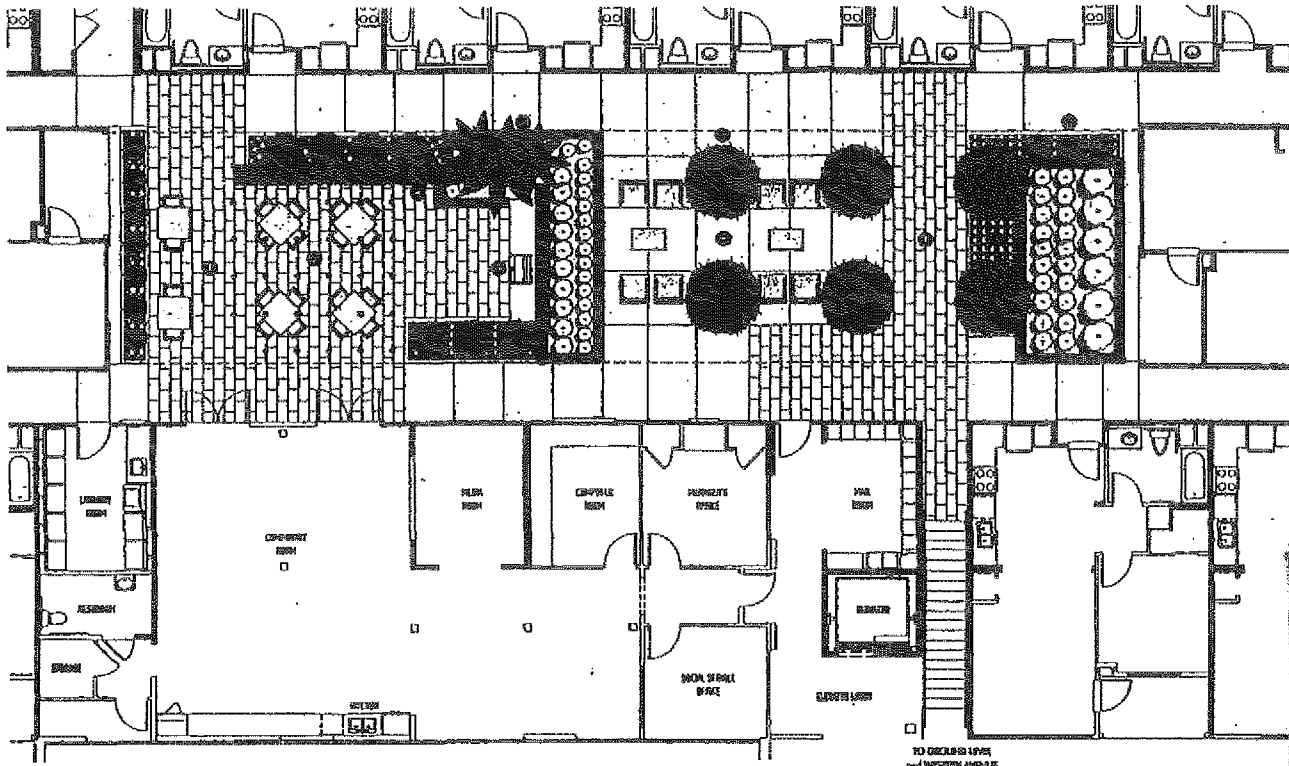


EXHIBIT "A"  
Page No. 13 of 14  
Case No. \_\_\_\_\_

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- 2011-3126



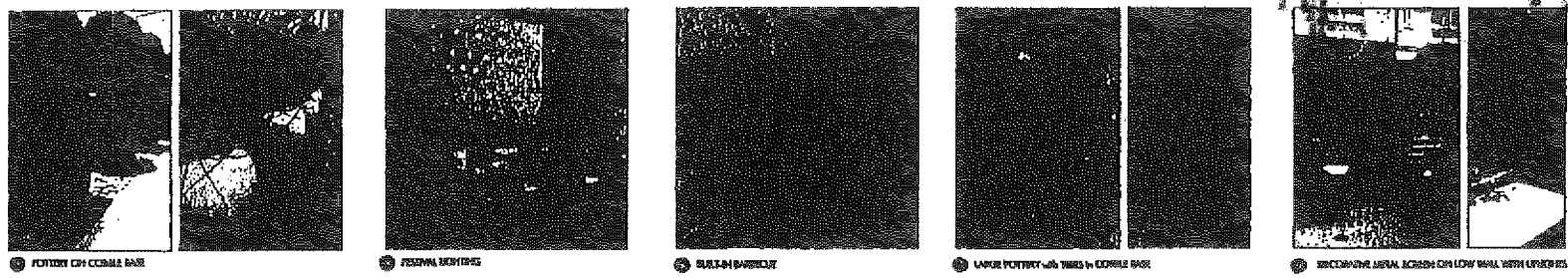
**LANDSCAPE AMENITIES KEY:**

- ① TREE SYMBOL
- ② 30" x 30" CONCRETE PLANTER
- ③ POTTERY on CONCRETE BASE
- ④ COLORED CONCRETE TYPHOID SLAB
- ⑤ FEDERAL SEATING (attached to wall with)
- ⑥ BUILT-IN BAMBURGE with COUNTERTOP and (TILED BACKSPLASH WALL)
- ⑦ LARGE POTTERY with TREES on CONCRETE BASE
- ⑧ DECORATIVE METAL SCREEN on LOW WALL with URBANIST

**KEY:**

- ⑨ BASKET PLANTER (over structure)
- ⑩ MP CLEAR from BUILDINGS

TO OVERLOOK LEVEL and WESTERN AVENUE



① POTTERY ON CONCRETE BASE      ② FEDERAL SEATING      ③ BUILT-IN BAMBURGE      ④ LARGE POTTERY with TREES on CONCRETE BASE      ⑤ DECORATIVE METAL SCREEN ON LOW WALL WITH URBANIST

**WESTERN AFFORDABLE APARTMENT HOMES**  
10311 S. WESTERN AVENUE, Littleton, CO 80120

**CONCEPTUAL LANDSCAPE PLAN - PODIUM COURTYARD**



**EXHIBIT "A"**  
Page No. 14 of 14  
Case No. \_\_\_\_\_

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planning.lacity.org

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Download forms

Appeal Form CP-7769





## SOUTH LOS ANGELES AREA PLANNING COMMISSION

200 N. Spring Street, Room 272, Los Angeles, California, 90012-4801, (213) 978-1300  
www.lacity.org/PLN/index.htm

Determination mailing date: MAR 29 2012

Case No. ZA-2011-3126-ZV-1A  
CEQA: ENV-2011-3127-CE

Location: 10311-10333 S. Western Avenue  
Council District: 8 – Parks  
Plan Area: South Los Angeles  
Zone: C2-1VL  
D.M. : 091-5A193  
Legal Description: Lots 3-7, Tract 7906

Applicant: LA Pro II Preservation LP, William Szymczak  
Representative: Burns and Bouchard Inc., Jonathan & Kristen Lonner  
Appellant: Bobbie\_Jean, Cathryn Collins, Linda Riley & Ella Kennedy, 103<sup>rd</sup> Manhattan Place HOA

At its meeting on March 23, 2012, the following action was taken by the South Los Angeles Area Planning Commission:

1. Denied the appeal.
2. Sustained the Zoning Administrator's decision, pursuant to Charter Section 562 and Los Angeles Municipal Code Sections 12.27 and 12.24.X,22 to approve a Variance from LAMC Section 12.21.1-A,1 to permit a total floor area of two and one tenth times the buildable area of the lot (2.1:1 FAR) in lieu of the maximum one and one-half times the buildable area of the lot in the C2-1VL Zone, and a variance to allow a maximum height of 45 feet, in lieu of the transitional height requirements of LAMC Section 12.21.1-A,10.
3. Adopted the Categorical Exemption No. ENV-2011-3127-CE.

Fiscal Impact Statement: There is no General Fund Impact as administrative costs are recovered through fees.

This action was taken by the following vote:

Motion: Mitchell  
Seconded: Franklin  
Ayes: Aquino  
Absent: Mills, Silcott  
Vote: 3-0

  
James K. Williams, Commission Executive Assistant II  
South Los Angeles Area Planning Commission

**Effective Date / Appeals:** The City Planning Commission's determination regarding the *Zone Variance* request is appealable to the City Council if approved. Any aggrieved party may file an appeal within **20-days** after the mailing date of this determination letter. Any appeal not filed within the 20-day period shall not be considered by the City Council. All appeals shall be filed on forms provided at the Planning Department's Public Counters at 201 N. Figueroa Street, Fourth Floor, Los Angeles, or at 6262 Van Nuys Boulevard, Suite 251, Van Nuys.

FINAL APPEAL DATE: APR 18 2012

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits which also affect your ability to seek judicial review.

Attachments: Zoning Administrator's determination dated February 6, 2012  
Zoning Administrator: Jae Kim

LINN K. WYATT  
CHIEF ZONING ADMINISTRATOR

CITY OF LOS ANGELES  
CALIFORNIA

DEPARTMENT OF  
CITY PLANNING

ASSOCIATE ZONING ADMINISTRATORS

R. NICOLAS BROWN  
SUE CHANG  
LOURDES GREEN  
FERNANDO TOVAR  
MAYA E. ZAITZEVSKY



MICHAEL J. LOGRANDE  
DIRECTOR

OFFICE OF  
ZONING ADMINISTRATION  
200 N. SPRING STREET, 7<sup>TH</sup> FLOOR  
LOS ANGELES, CA 90012  
(213) 978-1318  
FAX: (213) 978-1334  
www.planning.lacity.org

ANTONIO R. VILLARAIGOSA  
MAYOR

February 6, 2012

William Szymczak (A)  
LA Pro II Preservation LP  
21515 Hawthorne Boulevard, Suite 125  
Torrance, CA 90503

Los Angeles Properties Apts. II, LP (O-1)  
224 South Santa Anita Avenue  
Arcadia, CA 91006

Allison Anderson (O-2)  
2845 South Harcourt Avenue  
Los Angeles, CA 90016

Jonathan Lonner (R)  
Burns & Bouchard, Inc.  
11990 San Vicente Boulevard, Suite 200  
Los Angeles, CA 90049

CASE NO. ZA 2011-3126(ZV)  
ZONE VARIANCE  
10311-33 South Western Avenue  
South Los Angeles Planning Area  
Zone : C2-1VL  
D. M. : 091-5A193  
C. D. : 8  
CEQA : ENV-2011-3127-CE  
Legal Description: Lots 3-7, Tract 7906

Pursuant to Charter Section 562 and Los Angeles Municipal Code (LAMC) Sections 12.27 and 12.24-X,22, I hereby APPROVE:

a variance from Section LAMC 12.21.1-A,1 to permit a total floor area of two-and-one-tenth times the buildable area of the lot (2.1:1 FAR) in lieu of the maximum one-and-one-half times the buildable area of the lot in the C2-1VL Zone, and

a variance to allow a maximum height of 45 feet, in lieu of the transitional height requirements of LAMC Section 12.21.1,A-10,

upon the following additional terms and conditions:

1. All other use, height and area regulations of the Municipal Code and all other applicable government/regulatory agencies shall be strictly complied with in the development and use of the property, except as such regulations are herein specifically varied or required.
2. The use and development of the property shall be in substantial conformance with the plot plan submitted with the application and marked Exhibits "A", except as may be revised as a result of this action.

3. The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the Zoning Administrator to impose additional corrective Conditions, if, in the Administrator's opinion, such Conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.
4. All graffiti on the site shall be removed or painted over to match the color of the surface to which it is applied within 24 hours of its occurrence.
5. A copy of the first page of this grant and all Conditions and/or any subsequent appeal of this grant and its resultant Conditions and/or letters of clarification shall be printed on the building plans submitted to the Public Offices of the Department of City Planning and the Department of Building and Safety for purposes of having a building permit issued.
6. Indemnification. The applicant shall defend, indemnify and hold harmless the City, its agents, officers, or employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void or annul this approval which action is brought within the applicable limitation period. The City shall promptly notify the applicant of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim action or proceeding, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City.
7. The authorization shall be for the construction, use and maintenance of an apartment building not to exceed 2.1:1 Floor Area Ratio (FAR) for a total floor area of 52,126 square feet, consisting of 63 residential units.
8. The maximum height of the building shall not exceed 45 feet.
9. A consistent use of architectural and building materials shall be applied throughout all exterior facades of the building to avoid creating a "backside" to the site. The proposed project shall not use architectural finishes that would produce substantial glare.
10. Prior to the issuance of any building permits, detailed development site and elevation plans including a landscape and irrigation plan by a licensed landscape architect or architect shall be submitted for review and approval by the Department of City Planning for verification of compliance with the imposed conditions.
11. Prior to the clearance of any conditions, the applicant shall show proof that all fees have been paid to the Department of City Planning, Expedited Processing Section.
12. Prior to issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement for CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. This agreement with the conditions attached must be submitted to the Department of City Planning for approval before being

recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the subject case file.

#### **OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES - TIME EXTENSION**

All terms and Conditions of the approval shall be fulfilled before the use may be established. The instant authorization is further conditional upon the privileges being utilized within two years after the effective date of approval and, if such privileges are not utilized or substantial physical construction work is not begun within said time and carried on diligently to completion, the authorization shall terminate and become void. A Zoning Administrator may extend the termination date for one additional period not to exceed one year, prior to the termination date of the period, if a written request on appropriate forms, accompanied by the applicable fee is filed therefore with a public Office of the Department of City Planning setting forth the reasons for said request and a Zoning Administrator determines that good and reasonable cause exists therefore.

#### **TRANSFERABILITY**

This authorization runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent upon you to advise them regarding the conditions of this grant.

#### **VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**

Section 12.29 of the Los Angeles Municipal Code provides:

"A variance, conditional use, adjustment, public benefit or other quasi-judicial approval, or any conditional approval granted by the Director, pursuant to the authority of this chapter shall become effective upon utilization of any portion of the privilege, and the owner and applicant shall immediately comply with its Conditions. The violation of any valid Condition imposed by the Director, Zoning Administrator, Area Planning Commission, City Planning Commission or City Council in connection with the granting of any action taken pursuant to the authority of this chapter shall constitute a violation of this chapter and shall be subject to the same penalties as any other violation of this Code."

Every violation of this determination is punishable as a misdemeanor and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the county jail for a period of not more than six months, or by both such fine and imprisonment.

#### **APPEAL PERIOD - EFFECTIVE DATE**

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any Condition of this grant is violated or if the same be not complied with, then the applicant or his successor in interest may be prosecuted for

violating these Conditions the same as for any violation of the requirements contained in the Municipal Code. The Zoning Administrator's determination in this matter will become effective after February 21, 2012, unless an appeal there from is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of the Zoning Administrator's action, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. **Forms are also available on-line at <http://planning.lacity.org/>** Public offices are located at:

Figueroa Plaza  
201 North Figueroa Street,  
4th Floor  
Los Angeles, CA 90012  
(213) 482-7077

Marvin Braude San Fernando  
Valley Constituent Service Center  
6262 Van Nuys Boulevard, Room 251  
Van Nuys, CA 91401  
(818) 374-5050

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits, which also affect your ability to seek judicial review.

#### NOTICE

The applicant is further advised that all subsequent contact with this office regarding this determination must be with the Zoning Administrator who acted on the case. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished **BY APPOINTMENT ONLY**, in order to assure that you receive service with a minimum amount of waiting. You should advise any consultant representing you of this requirement as well.

#### FINDINGS OF FACT

After thorough consideration of the statements contained in the application and the plans submitted therewith, all of which are by reference made a part hereof, as well as knowledge of the property and surrounding district, I find as follows:

#### BACKGROUND

The applicant proposes to construct a new 55,059 square-foot (52,126 square feet of floor area), 4-story affordable housing complex comprised of 63 rental units with 63 on-site parking spaces. The proposed building comprises of a parking garage at the ground level and three levels of above-ground residential units. The primary pedestrian entrance is located along the street front abutting Western Avenue while vehicular access takes place off the alley in the "rear" of the property. The height of the building is proposed at approximately 44 feet to the top of the parapet.

The proposed project is an affordable apartment building financed by the U.S. Department of Housing and Urban Development (HUD), "9% Tax Credits" through the State of California, and the Los Angeles Housing Department. This project is a component of a larger multi-site, portfolio-awarded subsidy by the aforementioned agencies. On the subject site, 24 existing affordable units will be demolished and 63 affordable units rebuilt in their place. On the other three "subsidy" sites, a total of 60 affordable units will be rehabilitated in order to preserve existing "At-Risk" Section 8 housing. As a part of this funding process, HUD has agreed to transfer a portion of the existing Section 8 contract to the subject 63-unit structure. HUD and the Housing Authority have approved the permanent relocation plan for the existing 24 households.

The subject site is a level, rectangular-shaped lot consisting of five contiguous parcels consisting of 27,698 gross square feet in the C2-1VL Zone and designated as General Commercial land use in the South Los Angeles Community Plan area. The project site is located on the west side of Western Avenue mid-block between 103<sup>rd</sup> and 104<sup>th</sup> Streets. The site is also located within the Central City Revitalization Zone.

The subject site is currently developed with six, 4-unit apartment structures (24 total units) constructed in 1943, and in deteriorating condition. The site also includes one vacant commercial building with three empty store fronts. These uses will be demolished in order to construct a project that includes 63 1-bedroom affordable apartments. The property to the north is developed with an auto repair use in the C2 Zone. Properties to the east, across Western Avenue, are variably developed with an auto repair use, a duplex and small retail uses in the C2 zone. The property is developed with a 2-story apartment building in the C2 Zone. Properties to the east, across the alley, are developed with single-family homes in the R1 Zone.

#### Previous Cases, Affidavits, Permits, and Orders On the Applicant's Property:

There are no relevant cases.

#### Previous Cases, Affidavits, Permits, and Orders On Surrounding Properties:

Case No. ZA 2010-0680(ZAA) – On March 15, 2011, the Zoning Administrator approved in part and denied in part yard adjustments for the expansion of a single-family home.

Western Avenue is a Major Highway Class II dedicated to a 100-foot width at the project's street frontage.

An alley is dedicated to a 20-foot width at the project's street frontage.

#### ZONE VARIANCE FINDINGS

In order for a variance from the zoning regulations to be granted, all five of the legally mandated findings delineated in Section 12.27 of the Los Angeles Municipal Code must be made in the affirmative. Following (highlighted) is a delineation of the findings and the application of the relevant facts of the case to same:

1. **The strict application of the provisions of the Zoning Ordinance would result in practical difficulties or unnecessary hardships inconsistent with the general purpose and intent of the zoning regulations.**

#### Floor Area Ratio

The applicant proposes to construct a new 55,059 square-foot (52,126 square feet of floor area), 4-story affordable housing complex comprised of 63 rental units on a site consisting of 27,698 gross square feet (24,954 square feet of buildable lot area) in the C2-1VL Zone. This would result in a floor area ratio of approximately 2.1:1 FAR (52,126 / 24,954), which exceeds the permitted total floor area of a maximum 1.5:1 FAR. The Zoning Code restricts the total floor area of a building(s) on a lot in a commercial zone in Height District No. 1 to not exceed one-and-one-half times the buildable area of the lot, or 1.5:1 FAR, regardless of whether the use is commercial or residential. On the other hand, the Code allows a total floor area of a building(s) on a lot in a less intensive R4 Zone in the same Height District No. 1 up to three times the buildable area of the lot, or 3:1 FAR. A C2-1VL Zone, which allows for more intensive commercial uses, also allows uses permitted on a R4-1VL Zone as a matter of right. In other words, if the site was zoned R4, the proposed affordable apartment project would have been allowed without any special entitlements. However, in this particular case, the floor area provisions of a site zoned C2, which is intended for the purpose of tempering the massing of a commercial use, would restrict a residential building that would otherwise be allowed by-right on a lot zoned R4, a less intensive zone. The variance consideration in the Code is to allow the Zoning Administrator flexibility in approving projects that would result in practical difficulties inconsistent with the general purpose and intent of the floor area regulations. The proposed affordable housing project meets the intent of the Code in allowing multi-residential uses at less than 3:1 FAR. Further, careful design and architectural treatments have been incorporated to enhance a deteriorating, under-utilized site.

#### Transitional Height

The subject site is designated a Height District No. 1VL, which permits the height of buildings to a maximum of 45 feet. The height of the proposed apartment building is approximately 44 feet to the top of the parapet, which would be in compliance with the requirements of the Zoning Code. However, the Code restricts the height of a building on a commercially zoned lot of a maximum of 25 feet when located within a distance of 49 feet to a lot zoned for single-family homes. The project site is zoned C2-1VL and is located adjacent to a lot zoned R1 to the west. Thus, the proposed project is subject to the height limit of 25 feet. If, however, the site was zoned for multi-family residential uses, such as less intensive R4-1VL, then the height of the proposed apartment building would be fully in compliance with the height regulations. There are countless instances throughout the City where single-family zoned lots are purposefully positioned adjacent to multi-family zoned lots to create a buffer away from more intense, major commercial corridors. This creates a natural progression, or "transition", of less intensive uses to more intensive uses. In fact, it is proper planning practice to arrange single-family homes next to multi-family

residential buildings and thereby away from commercial uses. The approval of this variance will allow the redevelopment of a blighted site in favor of attractive, affordable, new housing. The proposed affordable multi-family development serves as an appropriate transition between the single-family residences to the west and the relatively busy commercial uses and traffic along Western Avenue to the east.

As such, the strict application of the Code would create unnecessary hardships for the proposed affordable residential building inconsistent with the general purpose and intent of the floor area and transitional height provisions.

2. **There are special circumstances applicable to the subject property such as size, shape, topography, location or surroundings that do not apply generally to other property in the same zone and vicinity.**

The subject site is a level, rectangular-shaped lot consisting of five contiguous parcels comprised of 27,698 gross square feet in the C2-1VL Zone and designated as General Commercial land use in the South Los Angeles Community Plan area. The project site is located on the west side of Western Avenue mid-block between 103<sup>rd</sup> and 104<sup>th</sup> Streets. The subject site is currently developed with six smaller apartment buildings built in 1943, in deteriorating condition. The site also includes one vacant commercial building with three empty store fronts. These uses will be demolished in order to construct a project that includes 63 one-bedroom affordable rental units. The property to the north is developed with an auto repair use in the C2 Zone. Properties to the east, across Western Avenue, are variably developed with an auto repair use, a duplex and small retail uses in the C2 zone. The property to the south is developed with a two-story apartment building also in the C2 Zone. Properties to the east, across the alley, are developed with single-family homes in the R1 Zone. Nearby blocks to the north and south on Western Avenue contain a mixture of commercial, residential and public uses with building heights varying between 15 and 45 feet.

As mentioned above, the subject site is zoned C2-1VL, which allows for more intensive commercial uses with a maximum of 1.5:1 FAR, whereas a site zoned R4-1VL allows less intensive residential uses but with a higher 3:1 FAR. Special circumstances exist due to the fact that an apartment project is being proposed at 2.1:1 FAR in a commercial zone. If the site was zoned R4, for instance, the proposed affordable apartment project would have been allowed as a matter of right. No special entitlements would be required. There has been a relatively recent recognition by the City for the need to allow residential uses (and mixed uses) at 3:1 FAR along commercial corridors, resulting in the creation of RAS3 and RAS4 Zones. The proposed apartment project is also subject to the transitional height requirements because the site is commercially zoned. The intent of the transitional height requirements is to buffer single-family homes away from the more intensive uses and traffic impacts of commercial corridors. The proposed project is a multi-family residential use with affordable units. Again, if the site were zoned for multi-family residential uses, such as R4-1VL, then the height of the proposed apartment building would be fully in compliance with the height regulations.



In both instances, inherent conflicts exist between policies encouraging the production of affordable housing and the provisions of the Code that were created to help buffer single-family housing from adjacent commercial buildings. The approval this variance would allow an apartment building, which would otherwise be permitted by-right on a multi-family residential zone, on a commercial zone. The current market forces and social trend are pushing commercial corridors to evolve into mixed-use centers as a viable option for permanent residence and providing an opportunity for the area to be developed into an urban community. In-fill developments of residential and mixed-use buildings have become part of traditional major commercial thoroughfares to provide much-needed housing options.

3. **Such variance is necessary for the preservation and enjoyment of a substantial property right or use generally possessed by other property in the same zone and vicinity but which, because of such special circumstances and practical difficulties or unnecessary hardships, is denied the property in question.**

The project site is located in a C2-1VL Zone along Western Ave. This portion of Western Avenue forms a transitional commercial corridor, and the immediate surrounding properties comprise of commercial, including auto repair uses, and multi-family uses. The proposed project is proposing an attractive and efficiently designed residential development that is consistent with the General Commercial designation which permits residential properties that comply with R4 zoning standards. The project provides 63 parking spaces for 63 rental units, consistent with Parking Option One of the City's affordable housing incentives.

The design of the proposed development comprises of a parking garage at the ground level and three levels of above-ground residential units. The primary pedestrian entrance is located along the street front abutting Western Avenue to activate the sidewalk, while vehicular access takes place off the alley in the "rear" of the property with minimal circulation impacts. The height of the building is proposed at approximately 44 feet to the top of the parapet, substantially in conformance with Height District No. 1VL of 45 feet and consistent with a mixture of commercial, residential and public uses of building heights varying between 15 and 45 feet along nearby blocks to the north and south on Western Avenue. The approval of this variance would allow the community to enjoy the benefits of a well-designed, new housing project providing affordable rates, which would otherwise not be allowed.

4. **The granting of such variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the same zone or vicinity in which the property is located.**

The granting of such variances will not be materially detrimental to the public welfare, in that the site is located along Western Avenue, a transitional, mostly-commercial in nature with some multi-family uses in the South Los Angeles Community Plan area. The housing project will increase activity along the sidewalk as well as providing well-placed lighting to create a safer neighborhood. The bright-colored, affordable housing complex will enhance a site that is in deteriorating condition. Further, the project will have minimal impacts on the surrounding

neighborhood as the single-family lots to the west are separated by a 20-foot wide alley. The distance from the proposed apartment building to the closest single-family home (excluding non-habitable garages) is approximately 100 feet.

The proposed project is an affordable apartment building, financed by the U.S. Department of Housing and Urban Development (HUD), "9% Tax Credits" through the State of California, and the Los Angeles Housing Department. This project is a component of a larger multi-site, portfolio-awarded subsidy by the aforementioned agencies. On the subject site, 24 existing affordable units will be demolished and 63 affordable units rebuilt in their place. On the other three "subsidy" sites, a total of 60 affordable units will be rehabilitated in order to preserve existing "At-Risk" Section 8 housing. As a part of this funding process, HUD has agreed to transfer a portion of the existing Section 8 contract to the subject 63-unit structure. HUD and the Housing Authority have approved the permanent relocation plan for the existing 24 households.

Additionally, the Applicant has garnered the support of the Council Office and Mayor's Office for this project. The much-needed affordable housing project will not be materially detrimental to the general welfare, but in fact, provide benefits to the community.

**5. The granting of the variance will not adversely affect any element of the General Plan.**

The South Los Angeles Community Plan map designates the property for General Commercial land use with a corresponding zone of C1.5, C2, C4, RAS3, and RAS4. The General Commercial designation permits residential properties that comply with R4 zoning standards. The proposed development of 63 affordable residential rental units is allowable under the current adopted zone and the land use designation. The site is located in a developed urban area along Western Avenue, a Major Highway Class II, which is predominantly characterized by a variety of commercial, some multi-family residential and light industrial uses. It is served by several transit lines, including Metro bus lines 207, 305 and 757. The apartment project will provide much needed affordable housing units for the South Los Angeles Community Plan area, meeting several of the plan's objectives for residential development.

*Objective 1-1:* To provide for the preservation of existing housing and for the development of new housing to meet the diverse economic and physical needs of the existing residents and projected population of the Plan area to the year 2010.

*Objective 1-2:* To locate new housing in a manner which reduces vehicular trips and makes it accessible to services and facilities.

*Objective 1-3:* To preserve and enhance the varied and distinct residential character and integrity of existing single- and multi-family neighborhoods.

*Objective 1-5:* To promote and ensure the provision of adequate housing for all persons regardless of income, age, or ethnic background.

**ADDITIONAL MANDATORY FINDINGS**

12. The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that the property is located in Zone C, areas of minimal flooding.
13. On January 18, 2012, the project was issued a Notice of Exemption, log reference ENV-2011-3127-CE, for a Categorical Exemption, Class 5, Category 10. I hereby adopt that action.

I concur with the report prepared by Jae Kim, Planning Staff for the Office of Zoning Administration, on this application and approve same.

Jae Kim  
City Planner  
(213) 978-1383



LINN K. WYATT  
Chief Zoning Administrator  
Direct Telephone Number (213) 978-1318

LW:JK:jjq

cc: Councilmember Bernard Parks,  
Eighth District  
Adjoining Property Owners

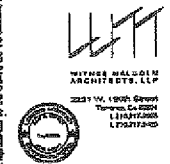


Lot No.	
Open	
Close	
Project	

# WESTERN APARTMENTS

10311 SO. WESTERN AVENUE, LOS ANGELES  
for:  
PRESERVATION PARTNERS DEVELOPMENT III, LLC  
21515 HAWTHORNE BLVD. SUITE 125 TORRANCE, CA 90503

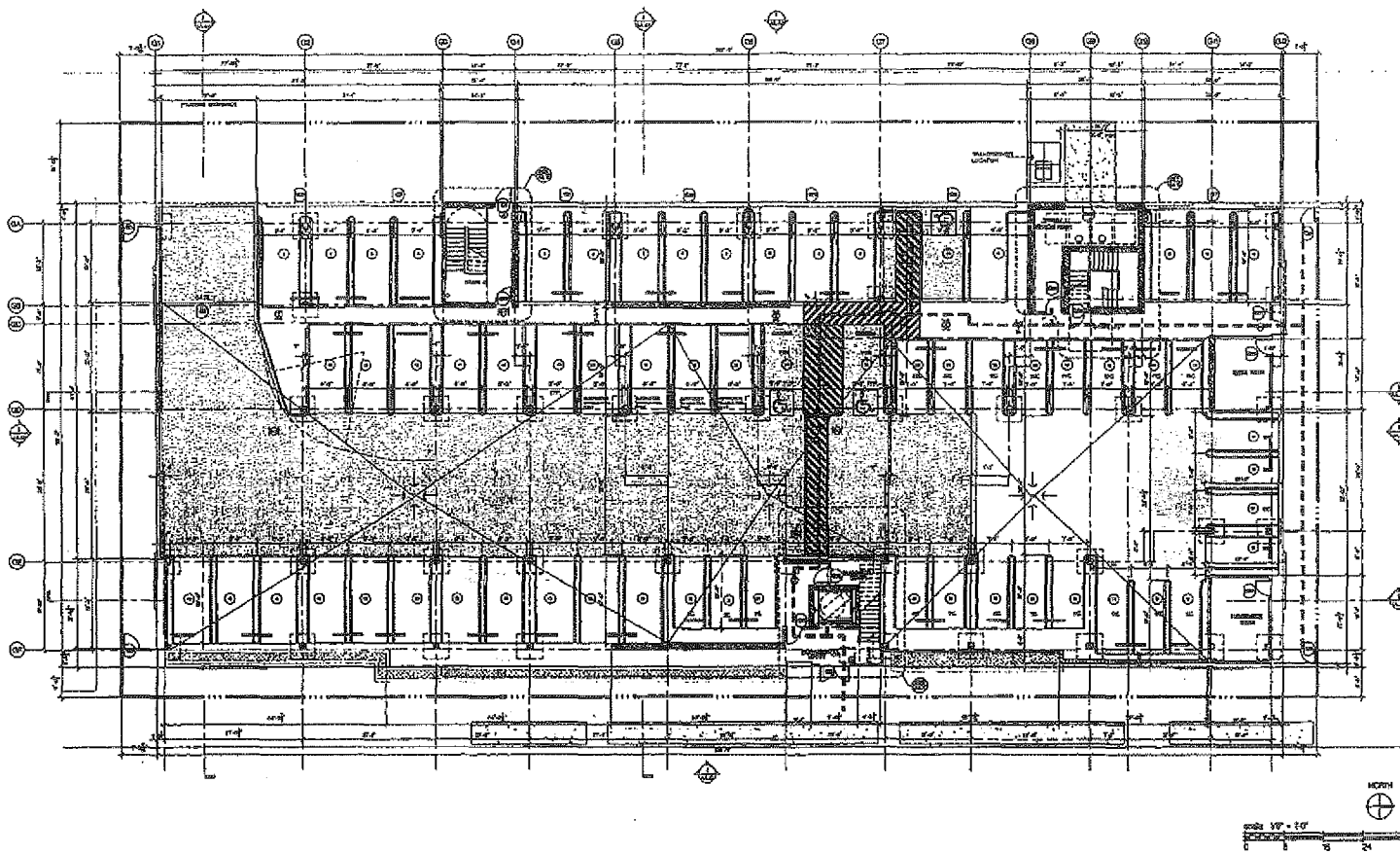
**WESTERN APARTMENTS**  
10311 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
PRESERVATION PARTNERS DEVELOPMENT III, LLC  
21515 HAWTHORNE BLVD. SUITE 125 TORRANCE, CA 90503



**EXHIBIT "A"**  
Page No. 1 of 14  
Case No. \_\_\_\_\_

ZA 2011 3126

All drawings and plans prepared by US Group, Inc. are the property of US Group, Inc. and shall remain the property of US Group, Inc. without the written consent of US Group, Inc.



garage plan notes	proposed building plan accessibility notes	wall legend	garage plan legend
<p>1. ALL APERTURES TO THE FLOOR OR FROM A RECESSED CEILING SHALL BE PROVIDED WITH CURBS OR RAMPED SURFACES TO PREVENT TRIPPING AND TO MAINTAIN CLEARANCE OF 80\"/&gt; <p>2. ALL APERTURES TO THE FLOOR OR FROM A RECESSED CEILING SHALL BE PROVIDED WITH CURBS OR RAMPED SURFACES TO PREVENT TRIPPING AND TO MAINTAIN CLEARANCE OF 80\"/&gt; <p>3. ALL APERTURES TO THE FLOOR OR FROM A RECESSED CEILING SHALL BE PROVIDED WITH CURBS OR RAMPED SURFACES TO PREVENT TRIPPING AND TO MAINTAIN CLEARANCE OF 80\"/&gt; </p></p></p>	<p>1. ALL APERTURES TO THE FLOOR OR FROM A RECESSED CEILING SHALL BE PROVIDED WITH CURBS OR RAMPED SURFACES TO PREVENT TRIPPING AND TO MAINTAIN CLEARANCE OF 80\"/&gt; <p>2. ALL APERTURES TO THE FLOOR OR FROM A RECESSED CEILING SHALL BE PROVIDED WITH CURBS OR RAMPED SURFACES TO PREVENT TRIPPING AND TO MAINTAIN CLEARANCE OF 80\"/&gt; <p>3. ALL APERTURES TO THE FLOOR OR FROM A RECESSED CEILING SHALL BE PROVIDED WITH CURBS OR RAMPED SURFACES TO PREVENT TRIPPING AND TO MAINTAIN CLEARANCE OF 80\"/&gt; </p></p></p>	<p>1. 1/2\"/&gt; <p>2. 1/2\"/&gt; <p>3. 1/2\"/&gt; <p>4. 1/2\"/&gt; <p>5. 1/2\"/&gt; </p></p></p></p></p>	<p>1. 1/2\"/&gt; <p>2. 1/2\"/&gt; <p>3. 1/2\"/&gt; <p>4. 1/2\"/&gt; <p>5. 1/2\"/&gt; </p></p></p></p></p>

DATE	10/20/11
BY	ARCHITECT
CHECKED	ARCHITECT
SCALE	AS SHOWN
PROJECT	WESTERN APARTMENTS
LOCATION	16311 S. WESTERN AVENUE, LOS ANGELES, CA 90047
DESIGNER	WESTERN APARTMENTS
CLIENT	PRESERVATION PARTNERS DEVELOPMENT II, LLC
CONTRACT NO.	21515 HAWTHORNE BLVD., SUITE 102, TORRANCE, CA 90503
PROJECT NO.	
DATE	
BY	
CHECKED	
SCALE	
PROJECT	
LOCATION	
DESIGNER	
CLIENT	
CONTRACT NO.	
PROJECT NO.	

**WESTERN APARTMENTS**  
 16311 S. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 21515 HAWTHORNE BLVD., SUITE 102, TORRANCE, CA 90503

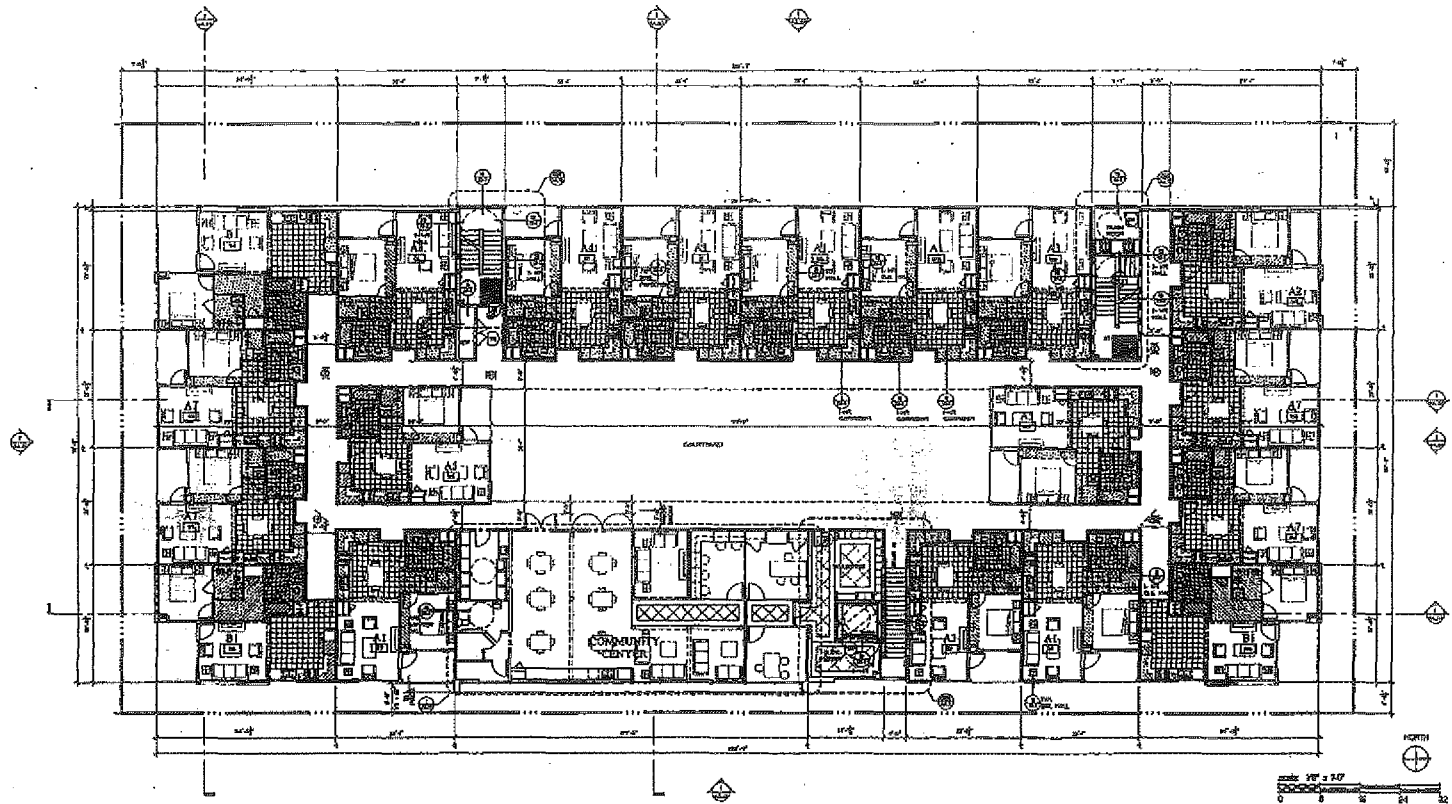
WATSON MALCOLM  
 ARCHITECTS, LLP  
 2881 W. 156th Street  
 Torrance, CA 90505  
 310.571.2000  
 310.571.2001



1st/ground floor  
 garage building plan  
 AA-10  
 DESIGN DEVELOPMENT  
 PROGRESS

**EXHIBIT "A"**  
 Page No. 2 of 14  
 Case No. \_\_\_\_\_

**ZA - 2011-3126**



building department notes	composite building plan notes	composite building plan accessibility notes	composite building plan legend
<p>1. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>2. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>3. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>4. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>5. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p>	<p>1. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>2. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>3. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>4. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>5. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p>	<p>1. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>2. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>3. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>4. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>5. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p>	<p>1. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>2. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>3. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>4. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p> <p>5. All work shall be in accordance with the applicable provisions of the Building Code of the City of Los Angeles, California, and all other applicable laws, rules, regulations, codes, and ordinances.</p>

Sheet No.	AA-2
Date	
Scale	
Project	
Client	
Architect	
Engineer	
Contractor	
Inspector	
Permit No.	
City	
County	
State	

**WESTERN APARTMENTS**  
 1081 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 2155 HAWTHORNE BLVD., SUITE 125, TORRANCE, CA 90503

WITNESS MALCOLM  
 ARCHITECTS, L.L.P.  
 2001 W. TROEN STREET  
 TORRANCE, CA 90503  
 310.572.2000

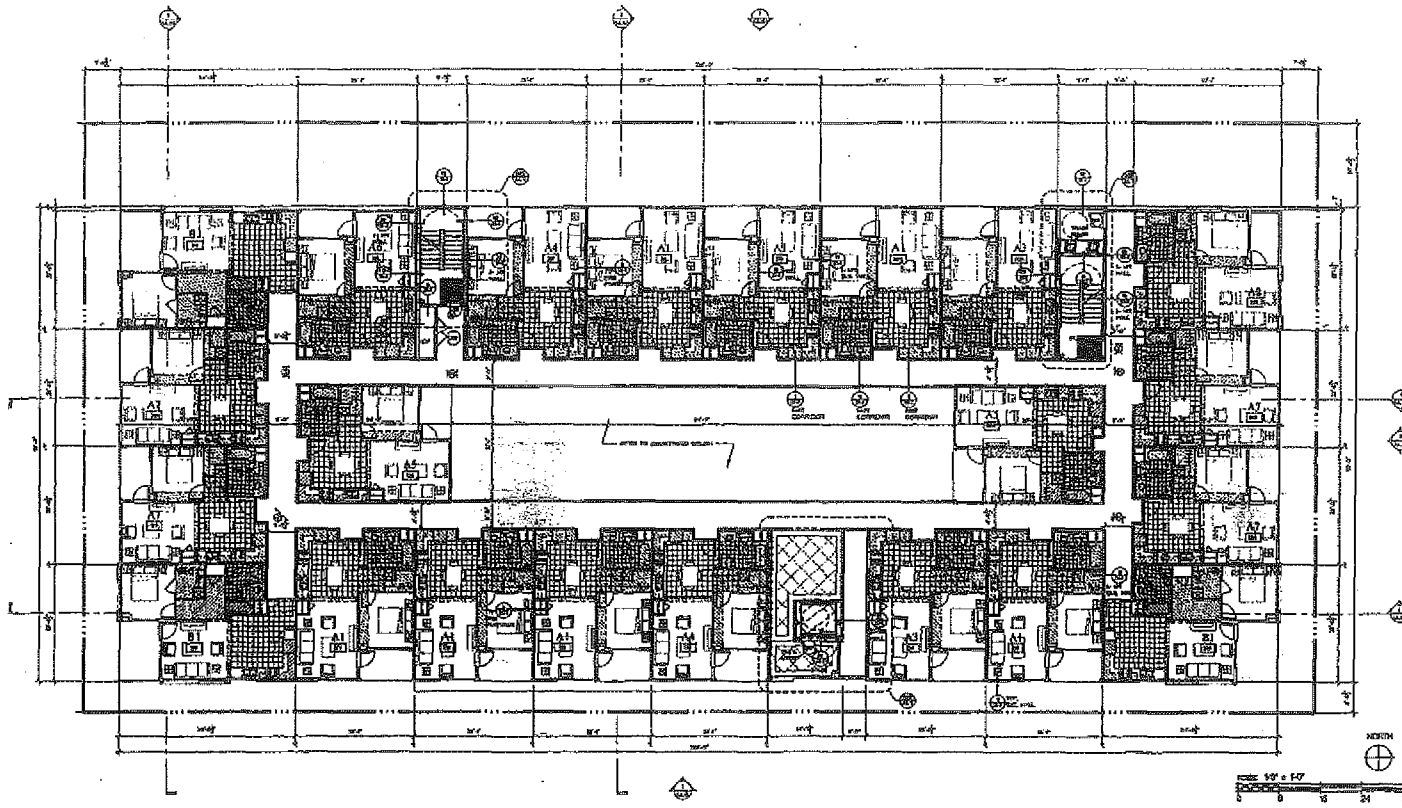
and / position  
 Building

AA-2

DESIGN DEVELOPMENT  
 PROGRESS

**EXHIBIT "A"**  
 Page No. 3 of 14  
 Case No. \_\_\_\_\_

ZA - 2011-3126



Job No.	2011-3126
Client	Western Apartments
Date	08/20/11
Scale	1/8" = 1'-0"
Sheet	AA-30

**WESTERN APARTMENTS**  
 1831 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 2355 HAWTHORNE BLVD. SUITE 125, TORRANCE, CA 90503

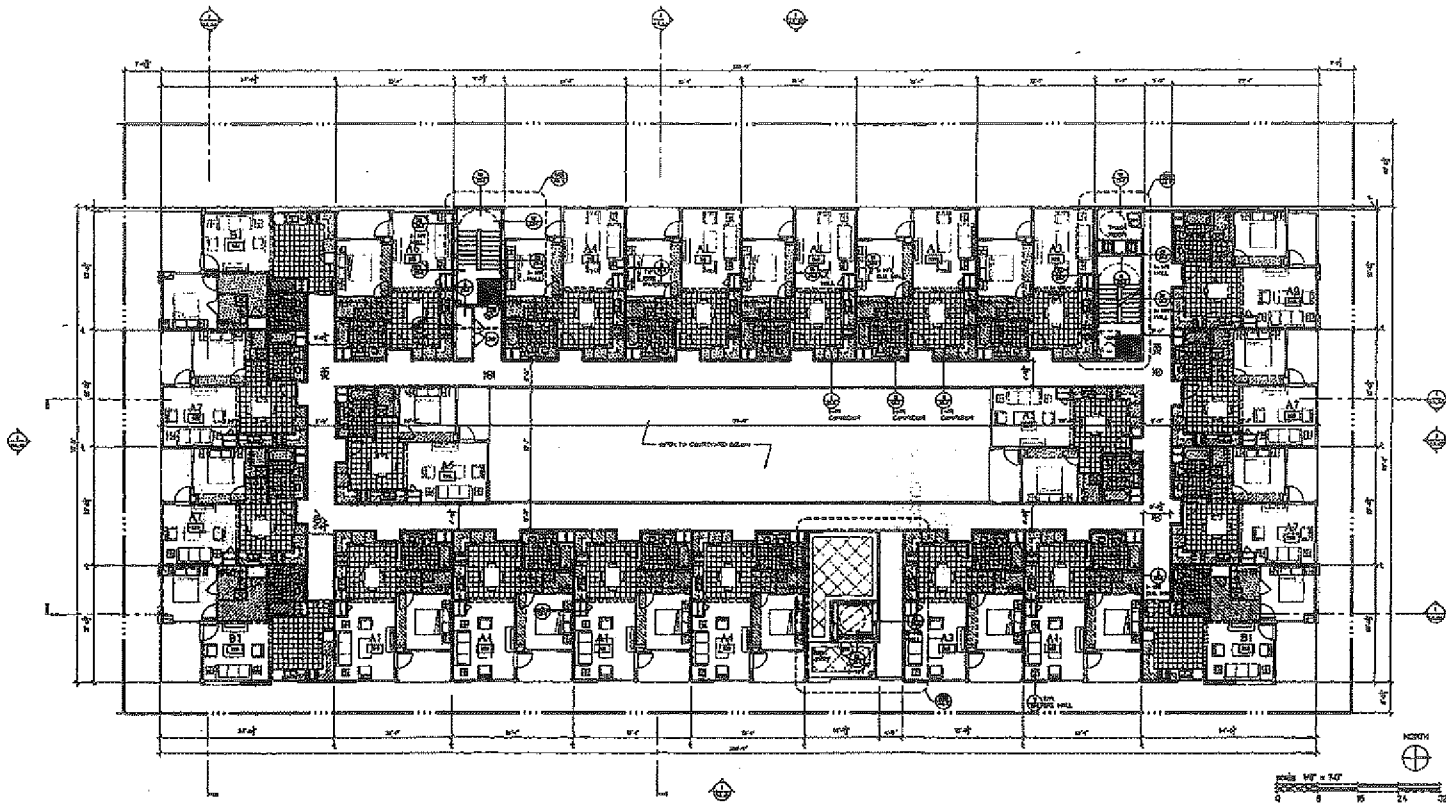
building department rules	composite building plan notes	composite building plan accessibility notes	composite building plan legend
<p>1. ALL BUILDING DEPARTMENT RULES SHALL BE APPLIED TO THIS PROJECT. THE FOLLOWING RULES ARE SPECIFIC TO THIS PROJECT AND SHALL BE APPLIED TO ALL AREAS OF THE PROJECT.</p> <p>2. ALL BUILDING DEPARTMENT RULES SHALL BE APPLIED TO THIS PROJECT. THE FOLLOWING RULES ARE SPECIFIC TO THIS PROJECT AND SHALL BE APPLIED TO ALL AREAS OF THE PROJECT.</p> <p>3. ALL BUILDING DEPARTMENT RULES SHALL BE APPLIED TO THIS PROJECT. THE FOLLOWING RULES ARE SPECIFIC TO THIS PROJECT AND SHALL BE APPLIED TO ALL AREAS OF THE PROJECT.</p>	<p>1. ALL BUILDING DEPARTMENT RULES SHALL BE APPLIED TO THIS PROJECT. THE FOLLOWING RULES ARE SPECIFIC TO THIS PROJECT AND SHALL BE APPLIED TO ALL AREAS OF THE PROJECT.</p> <p>2. ALL BUILDING DEPARTMENT RULES SHALL BE APPLIED TO THIS PROJECT. THE FOLLOWING RULES ARE SPECIFIC TO THIS PROJECT AND SHALL BE APPLIED TO ALL AREAS OF THE PROJECT.</p> <p>3. ALL BUILDING DEPARTMENT RULES SHALL BE APPLIED TO THIS PROJECT. THE FOLLOWING RULES ARE SPECIFIC TO THIS PROJECT AND SHALL BE APPLIED TO ALL AREAS OF THE PROJECT.</p>	<p>1. ALL BUILDING DEPARTMENT RULES SHALL BE APPLIED TO THIS PROJECT. THE FOLLOWING RULES ARE SPECIFIC TO THIS PROJECT AND SHALL BE APPLIED TO ALL AREAS OF THE PROJECT.</p> <p>2. ALL BUILDING DEPARTMENT RULES SHALL BE APPLIED TO THIS PROJECT. THE FOLLOWING RULES ARE SPECIFIC TO THIS PROJECT AND SHALL BE APPLIED TO ALL AREAS OF THE PROJECT.</p> <p>3. ALL BUILDING DEPARTMENT RULES SHALL BE APPLIED TO THIS PROJECT. THE FOLLOWING RULES ARE SPECIFIC TO THIS PROJECT AND SHALL BE APPLIED TO ALL AREAS OF THE PROJECT.</p>	<p><b>1</b> - BUILDING DEPARTMENT RULES</p> <p><b>2</b> - BUILDING DEPARTMENT RULES</p> <p><b>3</b> - BUILDING DEPARTMENT RULES</p> <p><b>4</b> - BUILDING DEPARTMENT RULES</p> <p><b>5</b> - BUILDING DEPARTMENT RULES</p>

**RITNER MALCOLM ARCHITECTS, LLP**  
 4385 W. 95TH STREET  
 TORRANCE, CA 90503  
 (310) 555-1234  
 www.rmal.com

3rd Floor  
 building plan  
 AA-30  
 DESIGN DEVELOPMENT  
 PROGRESS

**EXHIBIT "A"**  
 Page No. 7 of 11  
 Case No. \_\_\_\_\_

**ZA - 2011-3126**



building department notes	composite building plan notes	composite building plan accessibility notes	composite building plan legend
<p>1. BUILDING DEPARTMENT NOTES</p> <p>1.1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>1.2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>1.3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>1.4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>1.5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p>	<p>2. COMPOSITE BUILDING PLAN NOTES</p> <p>2.1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>2.2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>2.3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>2.4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>2.5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p>	<p>3. COMPOSITE BUILDING PLAN ACCESSIBILITY NOTES</p> <p>3.1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>3.2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>3.3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>3.4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>3.5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p>	<p>4. COMPOSITE BUILDING PLAN LEGEND</p> <p>4.1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>4.2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>4.3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>4.4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p> <p>4.5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA BUILDING CODE.</p>

WESTERN APARTMENTS  
 10811 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT & LLC  
 2355 SANDHURST BLVD., STE. 100, IRVINE, CA 92614

4th floor  
 Building plan

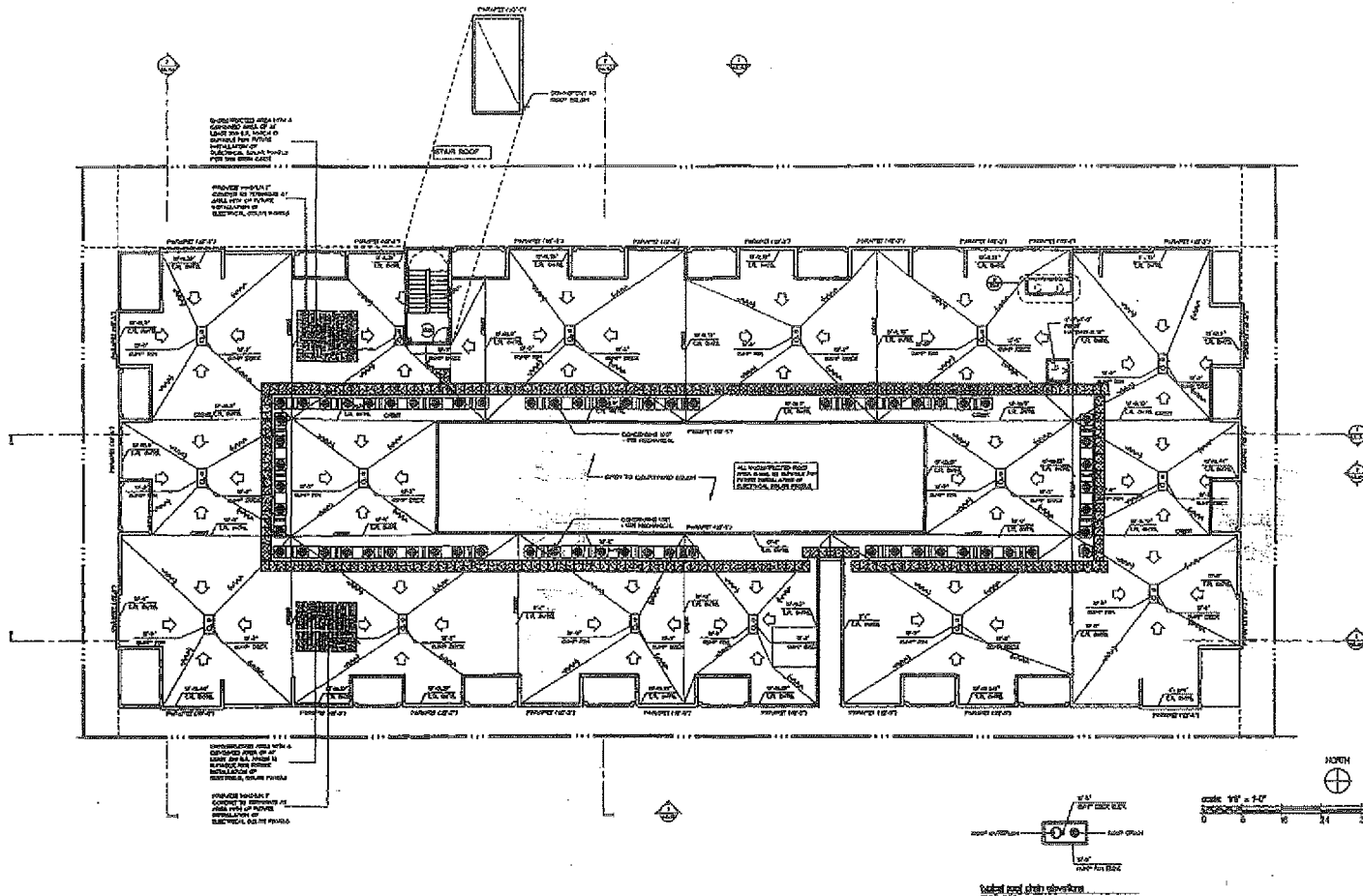
AA-40

DESIGN DEVELOPMENT  
 PROGRESS

**EXHIBIT "A"**  
 Page No. 5 of 14  
 Case No. \_\_\_\_\_

**ZA - 2011-3126**





roof notes	typical details	roof plan legend
<p>1. ALL ROOF DECKS SHALL BE CONCRETE WITH A MINIMUM THICKNESS OF 4" UNLESS OTHERWISE NOTED.</p> <p>2. ALL ROOF DECKS SHALL BE FINISHED WITH A POLISHED TERRAZZO SURFACE.</p> <p>3. ALL ROOF DECKS SHALL BE FINISHED WITH A POLISHED TERRAZZO SURFACE.</p> <p>4. ALL ROOF DECKS SHALL BE FINISHED WITH A POLISHED TERRAZZO SURFACE.</p> <p>5. ALL ROOF DECKS SHALL BE FINISHED WITH A POLISHED TERRAZZO SURFACE.</p> <p>6. ALL ROOF DECKS SHALL BE FINISHED WITH A POLISHED TERRAZZO SURFACE.</p> <p>7. ALL ROOF DECKS SHALL BE FINISHED WITH A POLISHED TERRAZZO SURFACE.</p> <p>8. ALL ROOF DECKS SHALL BE FINISHED WITH A POLISHED TERRAZZO SURFACE.</p> <p>9. ALL ROOF DECKS SHALL BE FINISHED WITH A POLISHED TERRAZZO SURFACE.</p> <p>10. ALL ROOF DECKS SHALL BE FINISHED WITH A POLISHED TERRAZZO SURFACE.</p>	<p>1. CONCRETE DECK</p> <p>2. POLISHED TERRAZZO SURFACE</p> <p>3. MECHANICAL ROOM</p> <p>4. STAIR ROOF</p> <p>5. STAIR ROOF</p> <p>6. STAIR ROOF</p> <p>7. STAIR ROOF</p> <p>8. STAIR ROOF</p> <p>9. STAIR ROOF</p> <p>10. STAIR ROOF</p>	<p>1. CONCRETE DECK</p> <p>2. POLISHED TERRAZZO SURFACE</p> <p>3. MECHANICAL ROOM</p> <p>4. STAIR ROOF</p> <p>5. STAIR ROOF</p> <p>6. STAIR ROOF</p> <p>7. STAIR ROOF</p> <p>8. STAIR ROOF</p> <p>9. STAIR ROOF</p> <p>10. STAIR ROOF</p>

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**WESTERN APARTMENTS**  
 13311 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 24516 HANCOCK BLVD., SUITE 100, TORRANCE, CA 90503

WITHEE HANCOCK ARCHITECTS, LLP  
 2351 W. 150TH STREET  
 TULSA, OK 74127  
 L 918.437.8888  
 F 918.437.8888

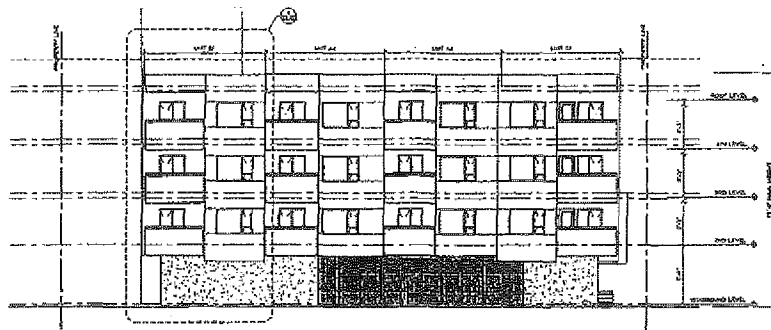
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AA-50

DESIGN DEVELOPMENT  
 PROGRESS

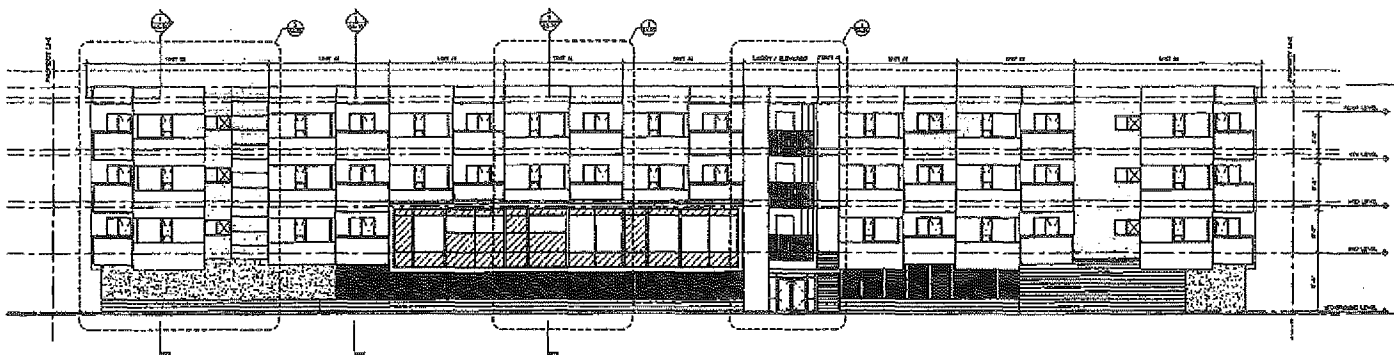
**EXHIBIT "A"**  
 Page No. 6 of 14  
 Case No. 7

**ZA - 2011-3126**



south elevation

2



south elevation - western avenue

1

**elevation keynotes**

- 1. All exterior surfaces shall be finished with a light tan color.
- 2. All window and door frames shall be finished with a light tan color.
- 3. All window and door frames shall be finished with a light tan color.
- 4. All window and door frames shall be finished with a light tan color.
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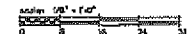
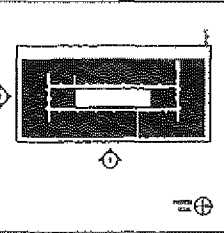
**general elevation notes**

- 1. All exterior surfaces shall be finished with a light tan color.
- 2. All window and door frames shall be finished with a light tan color.
- 3. All window and door frames shall be finished with a light tan color.
- 4. All window and door frames shall be finished with a light tan color.
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- 9. All window and door frames shall be finished with a light tan color.
- 10. All window and door frames shall be finished with a light tan color.

**general elevation notes**

- 1. All exterior surfaces shall be finished with a light tan color.
- 2. All window and door frames shall be finished with a light tan color.
- 3. All window and door frames shall be finished with a light tan color.
- 4. All window and door frames shall be finished with a light tan color.
- 5. All window and door frames shall be finished with a light tan color.
- 6. All window and door frames shall be finished with a light tan color.
- 7. All window and door frames shall be finished with a light tan color.
- 8. All window and door frames shall be finished with a light tan color.
- 9. All window and door frames shall be finished with a light tan color.
- 10. All window and door frames shall be finished with a light tan color.

**key plan**



NO.	DATE
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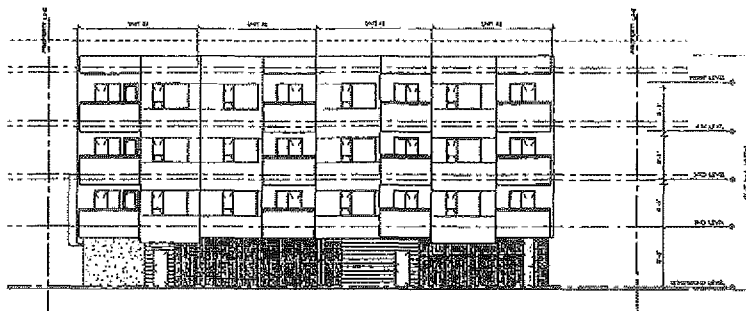
**WESTERN APARTMENTS**  
 10311 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 6555 HAWTHORNE BLVD SUITE 200 TORRANCE, CA 90503

WITBEE MALCOLM ARCHITECTS, LLC  
 2251 W. 170TH STREET  
 TORRANCE, CA 90504  
 310.533.1111  
 WWW.WITBEEARCHITECTS.COM

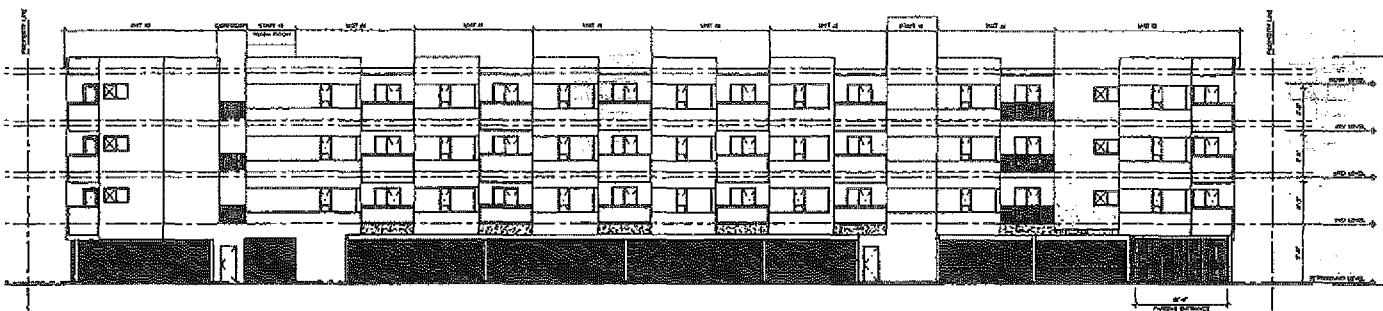
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 DRAWING NO: AA-01  
 DESIGN DEVELOPMENT  
 PROGRESS

**EXHIBIT "A"**  
 Page No. 7 of 14  
 Case No. ZA

- 2011-3126



11th - 13th elevation ②



1st - 10th elevation ①

Scale: 1/8" = 1'-0"

**Elevation keynotes**

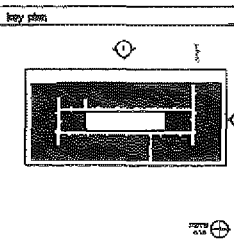
1. All window and door openings shall be in accordance with the approved window and door schedule.
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**General elevation notes**

1. All window and door openings shall be in accordance with the approved window and door schedule.
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12. All window and door openings shall be in accordance with the approved window and door schedule.

**General elevation notes (continued)**

1. All window and door openings shall be in accordance with the approved window and door schedule.
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12. All window and door openings shall be in accordance with the approved window and door schedule.



Sheet No.	
Date	
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Checker	
Project No.	

**WESTERN APARTMENTS**  
 10811 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT III, LLC  
 2151 THRUWAY BLVD., SUITE 225 TORRANCE, CA 90503

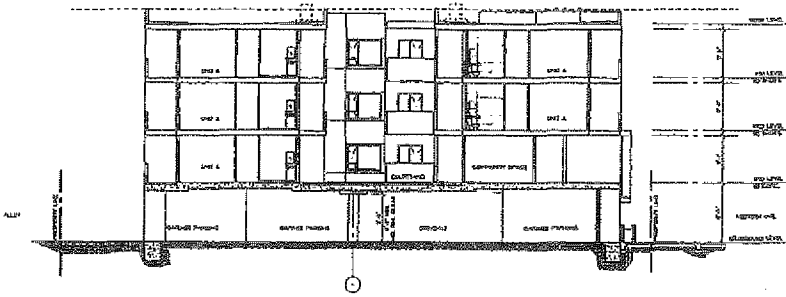
WITHER MALCOLM ARCHITECTS, LLC  
 3031 1/2 115th Street  
 Torrance, CA 90503  
 (310) 326-3000

architect  
 building elevations  
 sheet  
**AA-02**  
 DESIGN DEVELOPMENT  
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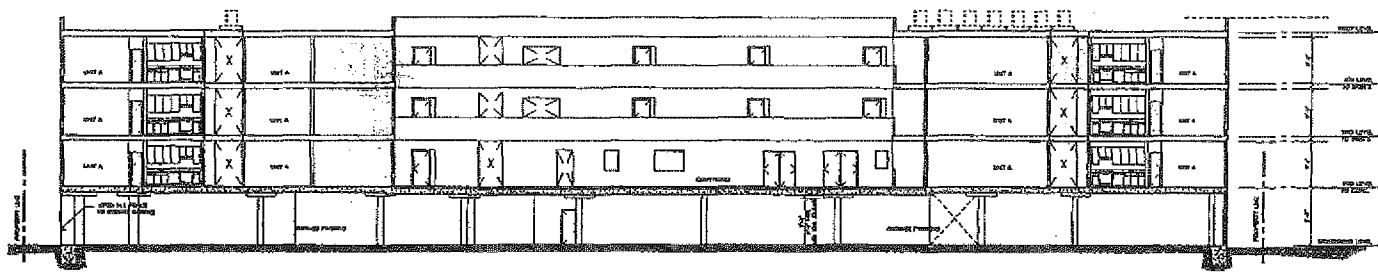
**EXHIBIT "A"**  
 Page No. 8 of 14  
 Case No. \_\_\_\_\_

**ZA**

- 2011-3126



building section / courtyard elevation ②



building section / courtyard elevation ①

**division keynotes**

1. GENERAL NOTES

2. FOUNDATION NOTES

3. STRUCTURAL NOTES

4. MECHANICAL NOTES

5. ELECTRICAL NOTES

6. PLUMBING NOTES

7. FINISHES NOTES

8. SPECIAL NOTES

**general elevation notes**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

5. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.

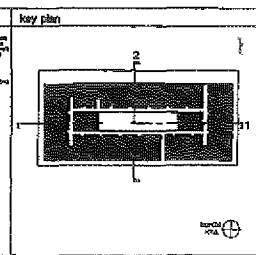
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.

9. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.



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**WESTERN APARTMENTS**  
 10311 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 2155 HAWTHORNE BLVD., SUITE 205, TORRANCE, CA 90503

WITBE WALDMAN ARCHITECTS, LLP  
 22841 W. 190th Street  
 Torrance, CA 90505  
 (310) 209-1234  
 (310) 209-1235

building section/  
 courtyard elevations

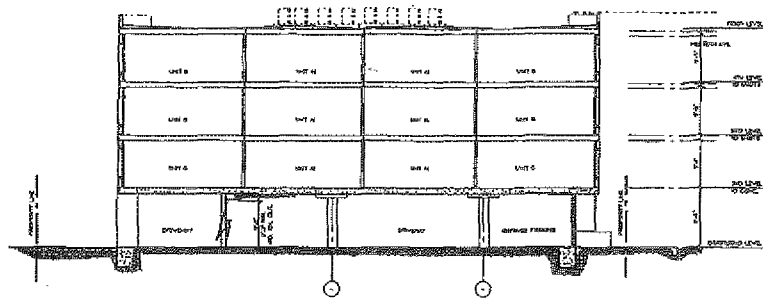
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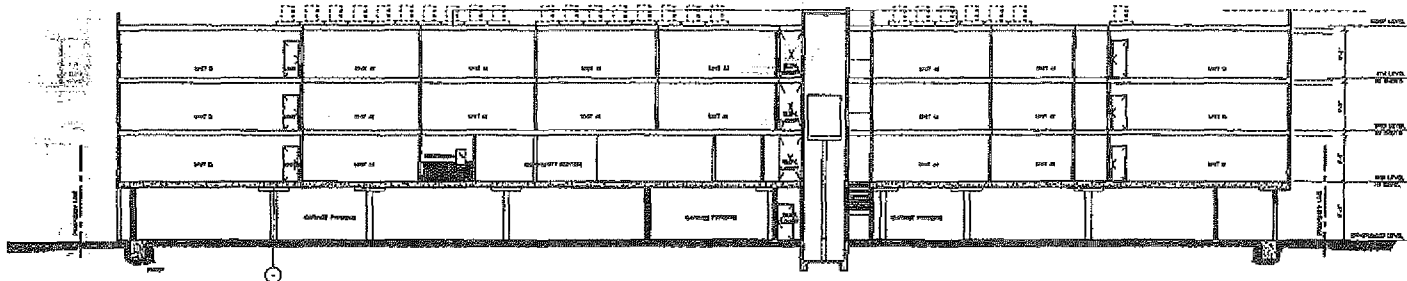
**EXHIBIT "A"**  
 Page No. 9 of 14  
 Case No. \_\_\_\_\_

ZA

-2011-3126



building elevation ②



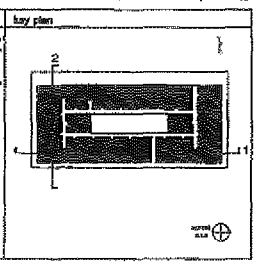
building elevation ①

**elevation notes**

1. All elevations shall be shown as indicated on the drawings. All elevations shall be shown as indicated on the drawings.
2. All elevations shall be shown as indicated on the drawings. All elevations shall be shown as indicated on the drawings.
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**general elevation notes**

1. All elevations shall be shown as indicated on the drawings. All elevations shall be shown as indicated on the drawings.
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NO. 50	

**WESTERN APARTMENTS**  
 16711 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT III, LLC  
 2515 HAVILLOCK BLVD., SUITE 205, TORRANCE, CA 90503

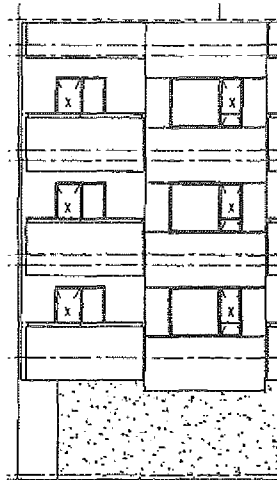
WITHIN ALLOWED ARCHITECT, L.P.  
 2281 W. 19th Street  
 Torrance, CA 90501  
 310-206-1311  
 L37437403

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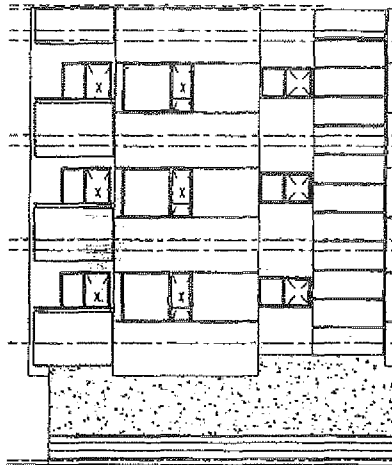
**EXHIBIT "A"**  
 Page No. 10 of 14  
 Case No. \_\_\_\_\_

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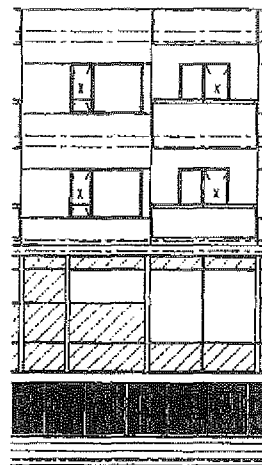
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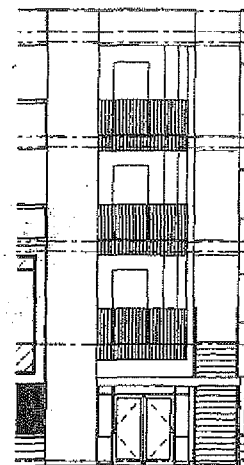
partial exterior elevation ④



partial exterior elevation ③



partial exterior elevation ②



partial exterior elevation ①

Elevation Keynotes	General Elevation Notes
<p><b>1</b> General notes</p> <p><b>2</b> Section cut symbols</p> <p><b>3</b> Section cut symbols</p> <p><b>4</b> Section cut symbols</p> <p><b>5</b> Section cut symbols</p> <p><b>6</b> Section cut symbols</p> <p><b>7</b> Section cut symbols</p> <p><b>8</b> Section cut symbols</p> <p><b>9</b> Section cut symbols</p> <p><b>10</b> Section cut symbols</p> <p><b>11</b> Section cut symbols</p> <p><b>12</b> Section cut symbols</p> <p><b>13</b> Section cut symbols</p> <p><b>14</b> Section cut symbols</p> <p><b>15</b> Section cut symbols</p> <p><b>16</b> Section cut symbols</p> <p><b>17</b> Section cut symbols</p> <p><b>18</b> Section cut symbols</p> <p><b>19</b> Section cut symbols</p> <p><b>20</b> Section cut symbols</p> <p><b>21</b> Section cut symbols</p> <p><b>22</b> Section cut symbols</p> <p><b>23</b> Section cut symbols</p> <p><b>24</b> Section cut symbols</p> <p><b>25</b> Section cut symbols</p> <p><b>26</b> Section cut symbols</p> <p><b>27</b> Section cut symbols</p> <p><b>28</b> 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noted.</p> <p><b>3</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>4</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>5</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>6</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>7</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>8</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>9</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>10</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>11</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>12</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>13</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>14</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>15</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>16</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>17</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>18</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>19</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>20</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>21</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>22</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>23</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>24</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>25</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>26</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>27</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>28</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>29</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>30</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>31</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>32</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>33</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>34</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>35</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>36</b> All elevations are shown in perspective view unless otherwise noted.</p> <p><b>37</b> All elevations are shown in perspective 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elevations are shown in perspective view unless otherwise noted.</p> <p><b>50</b> All elevations are shown in perspective view unless otherwise noted.</p>



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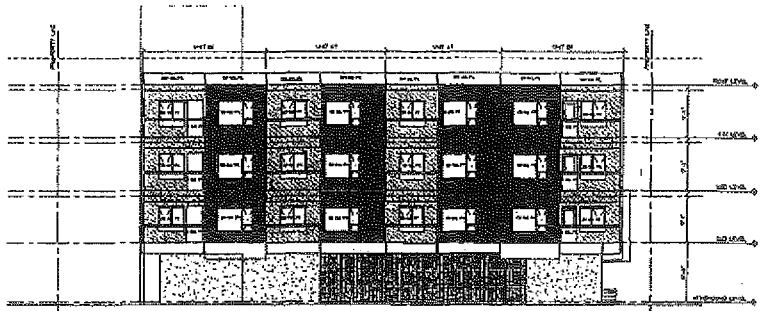
**WESTERN APARTMENTS**  
 10311 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II, LLC  
 2815 HAYMADE AVENUE, SUITE 400, LOS ANGELES, CA 90062

WESTERN COLLEGE  
 ARCHITECTS, A.P.C.  
 2351 W. 190th Street  
 Torrance, CA 90501  
 310.217.0100  
 310.217.0101

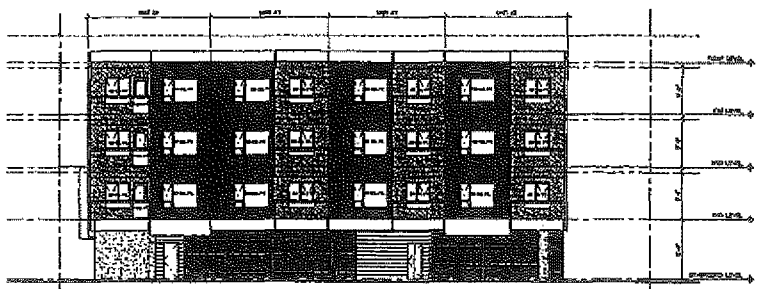
AA-68  
 DESIGN DEVELOPMENT  
 PROGRESS

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 Case No. 71A

- 2011-3126



north elevation ②



north elevation ①

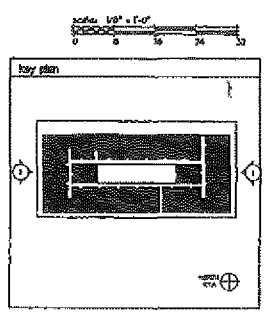
	1.00 Brick (Red)		2.00 Brick (Dark)
	3.00 Brick (Light)		4.00 Brick (Pattern)
	5.00 Brick (Dark)		6.00 Brick (Pattern)

See Material Schedule  
 2.00 Brick (Dark) - 1st floor  
 3.00 Brick (Light) - 2nd floor  
 4.00 Brick (Pattern) - 3rd floor  
 5.00 Brick (Dark) - 4th floor  
 6.00 Brick (Pattern) - 5th floor

	7.00 Brick (Red)		8.00 Brick (Dark)
	9.00 Brick (Light)		10.00 Brick (Pattern)
	11.00 Brick (Dark)		12.00 Brick (Pattern)

See Material Schedule  
 7.00 Brick (Dark) - 1st floor  
 8.00 Brick (Light) - 2nd floor  
 9.00 Brick (Pattern) - 3rd floor  
 10.00 Brick (Dark) - 4th floor  
 11.00 Brick (Pattern) - 5th floor

1.00 Brick (Red)  
 2.00 Brick (Dark)  
 3.00 Brick (Light)  
 4.00 Brick (Pattern)  
 5.00 Brick (Dark)  
 6.00 Brick (Pattern)  
 7.00 Brick (Red)  
 8.00 Brick (Dark)  
 9.00 Brick (Light)  
 10.00 Brick (Pattern)  
 11.00 Brick (Dark)  
 12.00 Brick (Pattern)



12.00	
11.00	
10.00	
9.00	
8.00	
7.00	
6.00	
5.00	
4.00	
3.00	
2.00	
1.00	
0.00	

**WESTERN APARTMENTS**  
 13111 SO. WESTERN AVENUE, LOS ANGELES, CA 90047  
 PRESERVATION PARTNERS DEVELOPMENT II LLC  
 2315 HAWTHORNE BLVD., SUITE 225 TORRANCE, CA 90503

WITNESS MALCOLM ARCHITECTS, L.P.  
 6301 W. 160TH STREET  
 TORRANCE, CA 90504  
 (310) 209-1000

AA-66  
 DESIGN DEVELOPMENT  
 PROGRESS

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 Case No. \_\_\_\_\_

71A

-2011-3129

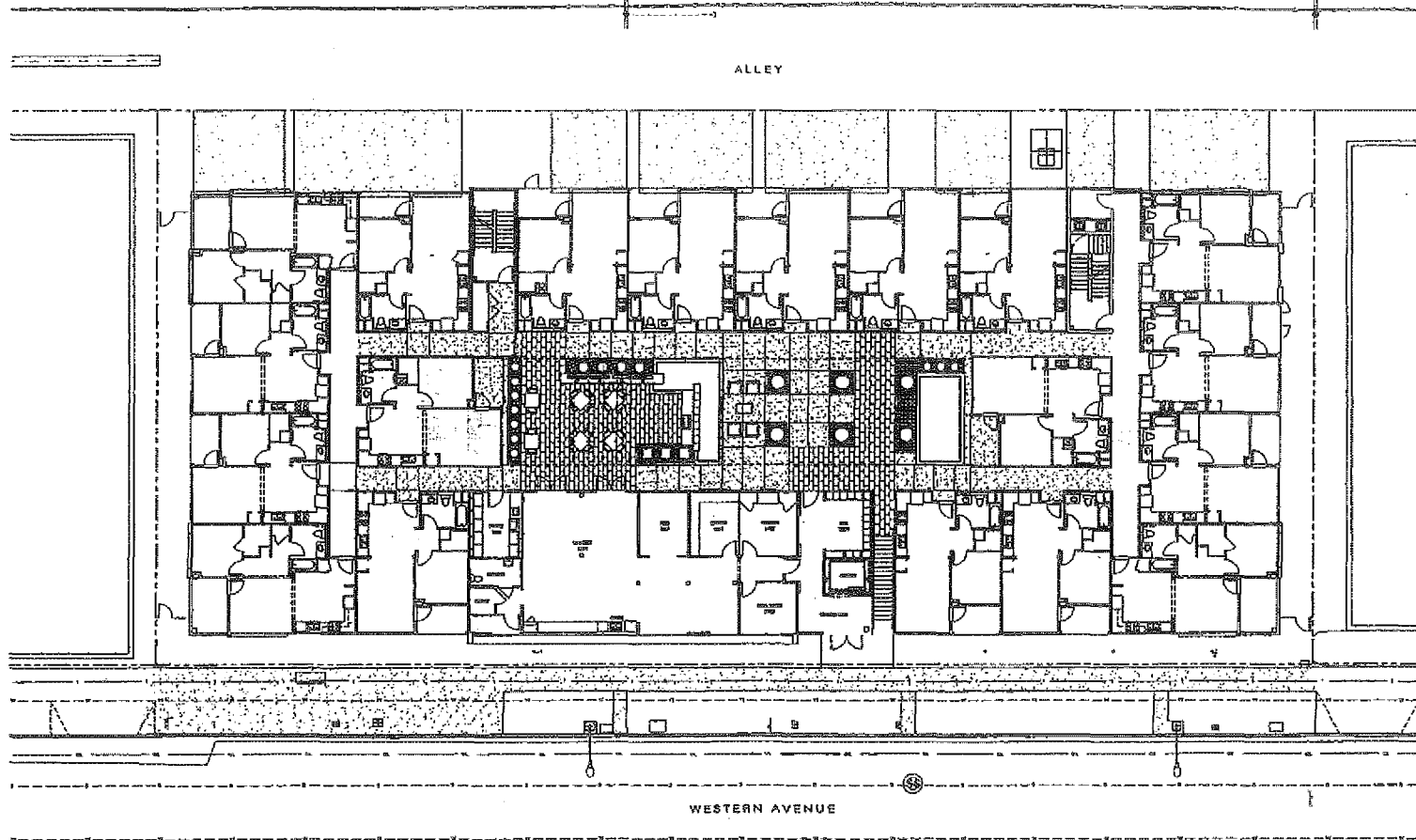
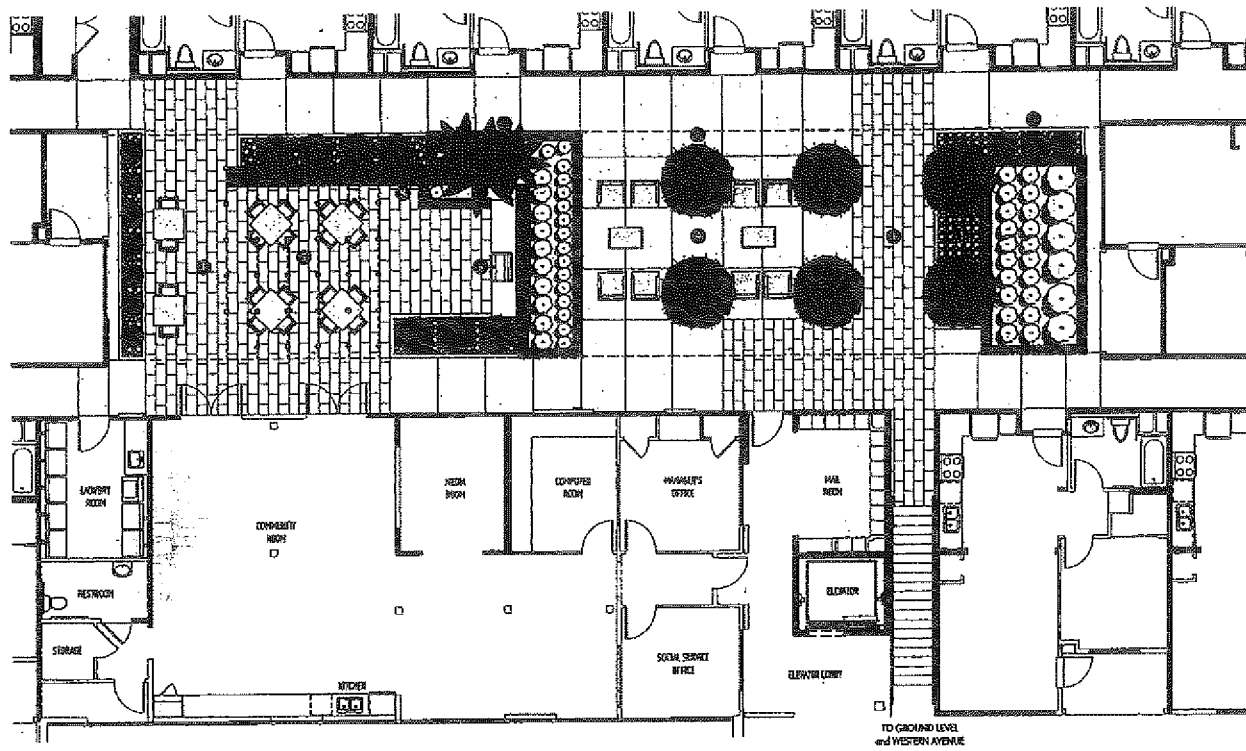


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ZA

-2011-3126





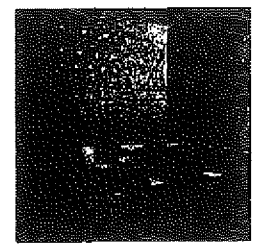
- LANDSCAPE AMENITIES KEY:**
- ① TREE PLANTING
  - ② 30" HI. CMU PLANTED
  - ③ POTTERY on COBBLE BASE
  - ④ COLORED CONCRETE TOWING SLAB
  - ⑤ FESTIVAL LIGHTING (attached to cat walk)
  - ⑥ BUILT-IN BARBEQUE w/ A COUNTERTOP and TILED BACKWASH WALL
  - ⑦ LARGE POTTERY w/ TREES in COBBLE BASE
  - ⑧ DECORATIVE METAL SCREEN on LOW WALL w/ UPLIGHTS
- KEY:**
- ⑨ RAISED PLANTER (over structure) 18" CLEAR from BUILDING



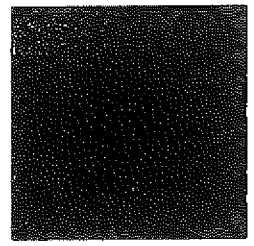
③ POTTERY ON COBBLE BASE



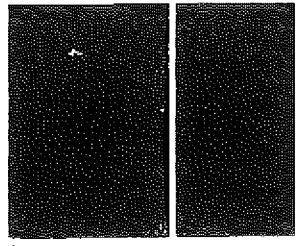
⑤ FESTIVAL LIGHTING



⑥ BUILT-IN BARBEQUE



⑦ LARGE POTTERY w/ TREES in COBBLE BASE



⑧ DECORATIVE METAL SCREEN ON LOW WALL WITH UPLIGHTS

**WESTERN AFFORDABLE APARTMENT HOMES**  
 10311 S. WESTERN AVENUE Los Angeles, CA

**CONCEPTUAL LANDSCAPE PLAN - PODIUM COURTYARD**



NOVEMBER 14, 2011

**EXHIBIT "A"**  
 Page No. 14 of 14  
 Case No. \_\_\_\_\_

COUNTY CLERK'S USE

CITY CLERK'S USE

CITY OF LOS ANGELES  
OFFICE OF THE CITY CLERK  
200 NORTH SPRING STREET, ROOM 360  
LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT  
**NOTICE OF EXEMPTION**  
(California Environmental Quality Act Section 15062)

Filing of this form is optional. If filed, the form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152 (b). Pursuant to Public Resources Code Section 21167 (d), the filing of this notice starts a 35-day statute of limitations on court challenges to the approval of the project. Failure to file this notice with the County Clerk results in the statute of limitations being extended to 180 days.

LEAD CITY AGENCY City of Los Angeles Department of City Planning ZA 2011 3126-ZV COUNCIL DISTRICT 8

PROJECT TITLE WESTERN APARTMENTS LOG REFERENCE ENV 2011-3127-CE

PROJECT LOCATION 10311 S. WESTERN AVE

DESCRIPTION OF NATURE, PURPOSE, AND BENEFICIARIES OF PROJECT: AFFORDABLE HOUSING

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT, IF OTHER THAN LEAD CITY AGENCY:

CONTACT PERSON JONATHAN LONNER AREA CODE (310) TELEPHONE NUMBER 310/420-9165 EXT.

EXEMPT STATUS: (Check One)		
	STATE CEQA GUIDELINES	CITY CEQA GUIDELINES
<input type="checkbox"/> MINISTERIAL	Sec. 15268	Art. II, Sec. 2b
<input type="checkbox"/> DECLARED EMERGENCY	Sec. 15269	Art. II, Sec. 2a (1)
<input type="checkbox"/> EMERGENCY PROJECT	Sec. 15269 (b) & (c)	Art. II, Sec. 2a (2) & (3)
<input checked="" type="checkbox"/> CATEGORICAL EXEMPTION	Sec. 15300 et seq.	Art. III, Sec. 1
Class <u>5</u> Category <u>1D</u> (City CEQA Guidelines)		
<input type="checkbox"/> OTHER (See Public Resources Code Sec. 21080 (b) and set forth state and City guideline provision.)		

JUSTIFICATION FOR PROJECT EXEMPTION: Minor area variances, building location and configuration variances, yard variances, or slight modifications which do not result in any change in land use or additional dwelling units.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

SIGNATURE [Signature] TITLE City Planner DATE 1-18-12

FEE: 81- RECEIPT NO. 5193 REC'D BY Steve Kim DATE 12/6/11

DISTRIBUTION: (1) County Clerk, (2) City Clerk, (3) Agency Record  
Rev. 11-1-03

IF FILED BY THE APPLICANT:

\* JONATHAN LONNER  
NAME (PRINTED)

\* [Signature]  
SIGNATURE

\* 12/6/2011  
DATE

**DETERMINATION LETTER  
ZA-2011-3126-ZV-1A  
MAILING DATE: 03/29/12**

Bobbie-Jean & Cathryn Collins, Linda  
Riley, & Ella Kennedy  
Homeowners Assoc. 103<sup>rd</sup> Manhattan P  
10328 & 10310 S. Manhattan Pl.  
Los Angeles, CA 90047

Betty J. Lowe  
10335 S. Manhattan Pl.  
Los Angeles, CA 90047

Wallace & Kathleen Pounds  
10318 S. Manhattan Place  
Los Angeles, CA 90047

Robert & Ella Kennedy  
10304 S. Manhattan Place  
Los Angeles, CA 90047

Francis Soriano  
2304 9<sup>th</sup> Avenue  
Los Angeles, CA 90019

Empowerment Congress S.W.  
Area Neighborhood Development  
Council  
8475 S. Vermont Avenue  
Los Angeles, CA 90044

Kenneth & Nalis L Mercier  
10311 S. Manhattan Pl.  
Los Angeles, CA 90041

Norris Byrd  
8839 S. Wilton Pl.  
Los Angeles, CA 90047

Kennedy  
10378 S. Manhattan  
Los Angeles, CA 90047

William Szymczak  
LA Pro II Preservation Limited  
Partnership  
21515 Hawthorne Blvd., Ste. 125  
Torrance, CA 90503

Allison Anderson  
2845 S. Harcourt Avenue  
Los Angeles, CA 90016

Jean Bobbie Collins  
10328 S. Manhattan Place  
Los Angeles, CA 90047

Tommie Kyle  
10314 S. Manhattan Place  
Los Angeles, CA 90047

Noe De Dios Morales  
10301 S. Western Avenue #B  
Los Angeles, CA 90037

Javier Chavez  
1303 S. Shadydale Avenue  
West Covina, CA 91790

Michael & Michelle Graham  
454 Muirfield Road  
Los Angeles, CA 90250

Thomasina Lawrence  
8909 Gramercy Pl.  
Los Angeles, CA 90047

Yolanda Kennedy  
10304 S. Manhattan Pl.  
Los Angeles, CA 90047

Hazel Dean  
1347 W. 70<sup>th</sup> Street  
Los Angeles, CA 90044

Kristen & Johnathan Lonner  
Burns & Bouchard, Inc.  
11990 San Vicente Blvd., Ste. 200  
Los Angeles, CA 90049

Rao R. Yalamanchili  
Los Angeles Properties Apts. II, LP  
244 S. Santa Anita Avenue  
Arcadia, CA 91006

The Manhattan Pl. #10324 Trust  
311 N. Robertson Blvd., #477  
Beverly Hills, CA 90211

Donald Riley  
10310 S. Manhattan Place  
Los Angeles, CA 90047

Michael & Pauline Lee  
25250 Denny Road  
Torrance, CA 90047

Perkins, Cariell & Rosalind TRS  
6120 Bedford Avenue  
Los Angeles, CA 90056

Councilmember Bernard Parks  
Eighth Council District  
City Hall, Room 460  
**Mail Stop #213**

Edward & Sharon Watson  
10038 S. Manhattan Pl.  
Los Angeles, CA 90047

Andrew & Ceola McPherson  
1840 W. 77<sup>th</sup> Street  
Los Angeles, CA 90047

Allyne & Monica Elleby  
10300 S. Manhattan Pl.  
Los Angeles, CA 90047

Maxine Wynn  
10221 S. Manhattan Pl.  
Los Angeles, CA 90047

Clarence & Gloria Magee  
2125 W. 84<sup>th</sup> Place  
Los Angeles, CA 90047

Julia Baker  
10045 S Manhattan Pl.  
Los Angeles, CA 90047

Katherine Hennigan  
Office of the Mayor  
City Hall, Room 303  
**Mail Stop #370**

Jae Kim  
City Planner  
City Hall, Room 721  
**Mail Stop #395**