

MILLENNIUM HOLLYWOOD PROJECT
DEVELOPMENT REGULATIONS: GUIDELINES AND STANDARDS
DEVELOPMENT REGULATIONS AS UPDATED BY PLUM COMMITTEE ON 6/18/2013.

MILLENNIUM HOLLYWOOD PROJECT
SCOPE OF DEVELOPMENT: DESIGN GUIDELINES AND STANDARDS

TABLE OF CONTENTS

	<u>Page</u>
1. PURPOSE AND OBJECTIVES	1
PURPOSE AND OBJECTIVES	1
1.1 Purpose	1
1.2 Development Objectives	2
1.3 Development Standards and Guidelines	5
1.4 Relationship to the Los Angeles Municipal Code	5
2. BACKGROUND.....	6
2.1 Project Site.....	6
2.2 Site Zoning and Permitted Floor Area	7
3. HISTORIC RESOURCES AND SETTING	8
3.1 Overview.....	8
4. DENSITY	10
4.1 Floor Area Ratio Averaging and Density Transfer	10
4.2 Land Use Equivalency Program	10
5. HEIGHT.....	11
5.1 Building Height Standards.....	11
6. BUILDING AND STREET EXPERIENCE	12
6.1 Tower Massing Standards	12
6.2 Street Walls	22
6.3 Street Wall Standards	22
6.4 Street Wall Guidelines.....	24
6.5 Yard Standards	24
6.6 Building Materials and Color Guidelines	25
6.7 Grade Level Standards	28
6.8 Podium Standards	30
6.9 Podium Guidelines	31
6.10 Street and Sidewalk Standards	31
6.11 Screening Standards.....	32
7. TOWERS.....	33
7.1 Purpose.....	33
7.2 Projections.....	33

7.3	General Standards	33
7.4	Wall Standards	34
7.5	Spacing Standards	36
7.6	Rooftops Guidelines	36
7.7	Parapets, Handrails, Roof Mechanical Equipment Screening Standards.....	37
8.	OPEN SPACE	38
8.1	Overview.....	38
8.2	Grade Level Open Space Standards	38
8.3	Passageway Standards	41
8.4	Roof-top Open Space	44
8.5	Residential Common Open Space.....	44
8.6	Residential Private Open Space	45
9.	LANDSCAPE	47
9.1	Grade Level Open Space Standards	47
9.2	Common Open Space Standards.....	47
9.3	Standards For Open Air Portions of Publicly Accessible Passageway.....	48
9.4	Tree Planting Guidelines	50
9.5	Lighting Standards	50
9.6	Publicly Accessible Passageway Lighting Standards.....	51
9.7	Continuity of Design	51
10.	PARKING	52
10.1	Automobile Standards	52
10.2	Additional Regulations	53
10.3	Screening	54
10.4	Bicycle Standards.....	54
10.5	Transportation Demand Management Plan	55
11.	SIGNAGE	56
11.1	Hollywood Signage Supplemental Use District	56
11.2	Modification to Guidelines	56
12.	SUSTAINABILITY	57
12.1	Non-Residential Projects.....	57
12.2	Other Projects.....	57
13.	DEFINITIONS	58

1. PURPOSE AND OBJECTIVES

1.1 Purpose

1.1.1 The Development Regulations ("Regulations") govern new development on the Project Site. Specifically, the Regulations:

- a. Establish standards for use, bulk, parking and loading, architectural features, landscape treatment, signage, lighting, sound attenuation and sustainability.
- b. Establish a level of design quality and consistency for the entire development and ensure design continuity will be carried through to the full implementation of the Project.
- c. Establish basic site-wide development standards and criteria that serve to maintain the integrity of an overall master plan concept and protect the visual and environmental quality of the Project as a whole.
- d. Permit design flexibility while establishing a set of controls that will guide the development for the Project Site.
- e. Ensure compliance with the Development Objectives.
- f. Ensure preservation of the Capitol Records Building and the Gogerty Building according to the *Secretary of the Interior's Standards for Rehabilitation*.

1.2 Development Objectives

- 1.2.1 The development objectives are intended to transform the Project Site consistent with the priorities and unique vision for the site shared by various Hollywood stakeholders. The Development Regulations will in turn ensure that new development on the Project Site is consistent with these objectives.
- 1.2.2 The objectives for new development on the Project Site are to:
- Preserve the Capitol Records Building and the Gogerty Building according to established preservation guidelines (the *Secretary of the Interior's Standards for Rehabilitation* and guidance provided by Office of Historic Resources).
 - Preserve public views from certain key vantage points to the Capitol Records Tower by creating grade level open space / civic plazas on the East Site adjacent to the Jazz Mural and Capitol Records Building and West Site across from the Capitol Records.
 - Preserve existing view corridors from certain key vantage points to the Hollywood Hills.



fig. 1.2.2.b-c: Capitol Records View Corridors

- Create civic plazas that are activated by retail, landscaped, and enhance the Hollywood Walk of Fame by providing it as an urban node. Reinforce the urban and historical

importance of the intersection of Hollywood and Vine by the creation of an active street life focused on Vine Street.

- e. Encourage street life by the creation of a new pedestrian connection between Ivar Avenue, Vine Street, and Argyle Avenue.
- f. Create vibrant urban spaces that permit open and green spaces for both the on-site and off-site population.



fig 1.2.2.d: View North Along Vine Street

- g. Create a 24 hr. community by the creation of a Thriving Mixed-Use Development.
- h. Eliminate the visual impact of current on-site parking.
- i. Establish where feasible pedestrian linkages to existing public transportation routes in proximity to the Project Site, including the Metro Red Line Station at Hollywood Boulevard and Vine Street, and existing bus routes.
- j. Establish standards to address architectural excellence.

- k. Provide designs that address, respect and complement the existing context, including standards for ground-level open space, podium heights and massing setbacks that minimize impacts to the historic setting.
- l. Create architecture that seeks to be a leader in minimizing the negative environmental impact of buildings by enhancing efficiency and moderation in the use of materials, energy and development space.
- m. Create buildings that emphasize the vertical architecture and become visible icons.
- n. Develop a visual gateway to Hollywood from the Hollywood Freeway.

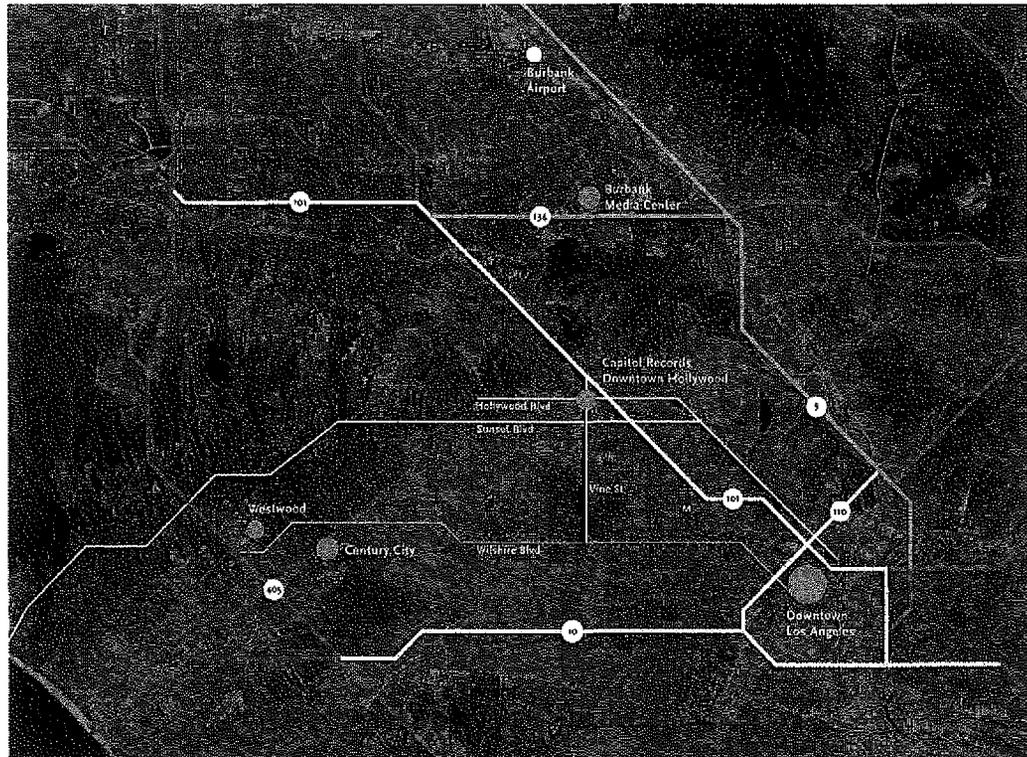


fig. 1.2.2.n: Hollywood: A major urban center and gateway to the Los Angeles basin.

1.3 Development Standards and Guidelines

The Development Regulations consist of standards and guidelines. The standards impose strict requirements for new development. For example, the standards include specific setback requirements along Vine Street. There are also mandatory requirements or standards for minimum open space on the ground floor as well as maximum building heights. By comparison, the guidelines are measures that may include a range of choices and require a degree of interpretation by the architect and design team to achieve compliance with the Regulations. The purpose of these guidelines is to create a principal design theme or objective without comprising high quality design. The purpose is to provide a range of flexibility to permit the selection of the most appropriate design feature based on the final development scenario. For instance, façade treatments for new development may take different form depending on the final design plans. The Regulations will guide the ultimate façade treatment by providing a limited range of choices in the use of material and color for the façades.

1.4 Relationship to the Los Angeles Municipal Code

- 1.4.1 The Development Regulations are approved by the City of Los Angeles City Council pursuant to Ordinance No. _____.
- 1.4.2 Wherever the Regulations contain provisions which establish regulations that are different from or more or less restrictive than the zoning or land use regulations in the Los Angeles Municipal Code ("LAMC") that apply to the Project Site, the Regulations shall prevail pursuant to the Ordinance approved by the City Council.

2. BACKGROUND

2.1 Project Site

2.1.1 The Project Site consists of eight parcels on 4.47 acres of land. The subject property occupies two distinct sites, both bounded by Yucca Street to the north and separated by Vine Street.

The area bounded by Ivar Avenue, Vine Street and Yucca Street is the West Site.

The area bounded by Yucca Street, Vine Street and Argyle Avenue is the East Site.

The East Site and the West Site make up the Project Site.

The Project Site currently contains a mix of commercial and on grade open parking. The topography has a natural incline of approximately 21 feet (NE to SW) from Vine Street to Argyle Avenue and 21 feet (NW to SE) from Ivar Avenue to Vine Street. The existing sidewalk elevations will not be altered as part the Project.

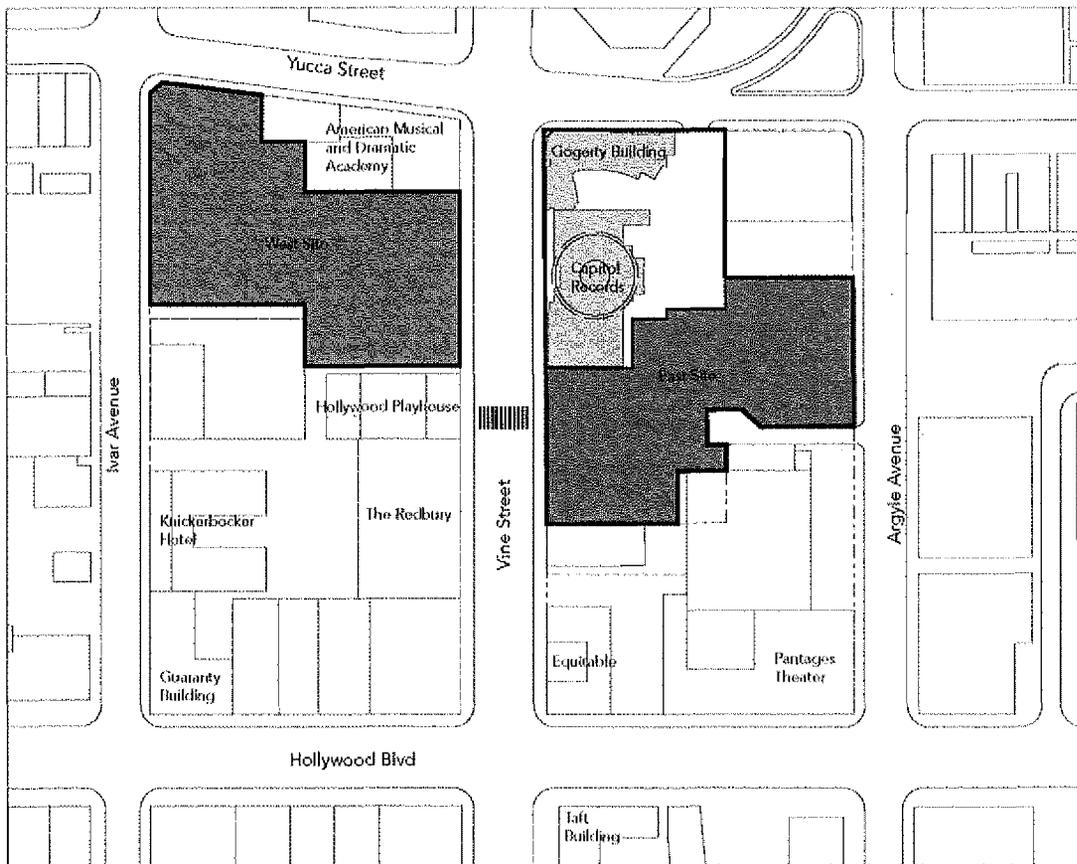


fig. 2.1. Site Plan

2.2 Site Zoning and Permitted Floor Area

- 2.2.1 The Project Site is zoned Commercial (C2). The City General Plan land use designation is Regional Center commercial.
- 2.2.2 The Project Site is within the Special Sign District and within the Hollywood Community Redevelopment Project Area of the Community Redevelopment Agency (CRA) of the City of Los Angeles.
- 2.2.3 Notwithstanding any provision in these Regulations, residential floor area is not permitted within 500 feet of any freeway.
- 2.2.4 Floor Area Ratio: 6:1
- 2.2.5 Height District: No. 2

3. HISTORIC RESOURCES AND SETTING

3.1 Overview

The Project Site is located in a historically rich area of Hollywood that contains a number of recognized historic resources. This Project is a preservation project in that its ambition is to respect, respond to, and preserve the Capitol Records Building and to continue the urban character of Vine Street on the Project Site. The Project is designed to be observant of historic settings and buildings. Two buildings located on the Project Site, the Capitol Records Tower and the Gogerty Building, are historically significant. Other historic buildings, located on adjacent parcels, are the Pantages Theater, the Equitable Building, the Hollywood Palace, and the Art Deco commercial building at 6316-6324 Yucca Street. Several of these historic resources are located within the Hollywood Boulevard Commercial and Entertainment District, a National Register listed historic district located just south of the Project Site.

Composed of commercial properties from the first half of the 20th Century, contributing properties to the Hollywood Boulevard Commercial and Entertainment District include a wide variety of property types including single-story storefronts, two-story commercial blocks, department stores, theaters, high-rise office buildings and hotels.

The Capitol Records Building is a unique building whose cylindrical form has always been visible from portions of Hollywood and Vine from the south and the freeway from the north. The Capitol Records Tower and the iconic buildings in the Hollywood Boulevard Commercial and Entertainment District (the Hollywood Palace, Pantages Theater, Equitable Building) will maintain their prominence after implementation of the Project. Portions of the Hollywood Walk of Fame (L.A. Historic Cultural Monument #194) are located along Vine Street between Yucca Street and Sunset Boulevard and will be protected.

The protection of Hollywood's historic resources and unique character is an important objective of the Project. The guidelines and standards contained in this document were created in part to ensure the protection of historic resources within the Project Site and minimize potential adverse effects to historic resources from new development. Key Project objectives regarding historic resources include:

- 1) Preservation, maintenance, and rehabilitation of the Capitol Records Building and the Gogerty Building in accordance with the Secretary of the Interior's Standards. See sections 1.2.2a and 1.2.2b of this document.
- 2) Protection and preservation of the portions of the Hollywood Walk of Fame (LA Historic Cultural Monument #194) will need to be temporarily removed during construction and replaced after construction is completed. A preservation plan, outlined in the Hollywood Walk of Fame Terrazzo Pavement and Repair Guidelines (March, 2011) will be prepared for this aspect of the Project.
- 3) Incorporation of ground-floor open space, building setback, and minimum separation between building requirements to moderate the overall massing of new development in a manner that preserves important views to and from the Capitol Records Building, the Hollywood Boulevard Commercial and Entertainment District, and important view corridors to the Hollywood Hills. See sections 1.2.2 c, 6.1, 6.9, 7.1, 7.5, 8.1 and 8.2 of this document.
- 4) Incorporation of ground-floor open space, building setback, and minimum separation between building requirements to reduce massing at the street level and limit the visual crowding of adjacent historic

resources. See sections 1.2.2c, 6.1, 7.1, 7.5, 8.1 and 8.2 of this document.

- 5) Requirement that design of new buildings be in a manner that is differentiated from but compatible with adjacent historic resources. See sections 6.6, 6.8, 7.1.5, and 7.4 of this document.

One means of creating compatible new buildings in an urbanized setting is to incorporate qualities of vertical and horizontal visual complexity in world class design. The general characteristics, proportions, and details of older buildings may serve as a reference for the Project. The Project's intent is to allow old and new to mix, recognizing that Hollywood sustains its image through both the rehabilitation of existing historic structures and the design of creative and contemporary architecture

4. DENSITY

4.1 Floor Area Ratio Averaging and Density Transfer

The Owner may transfer density and buildable floor area from one parcel within the Project Site to another parcel within the Project Site, as long as the minimum and maximum building heights in the Regulations are maintained and the entire Project does not exceed the cumulative, allowable density and floor area of the zoning for the sum of the individual parcels.

To allow for the spatial distribution of the development on the Project Site and ensure relationship and sensitivity with the uses surrounding the Project Site, parking, open space and related development requirements for any component of the Project may be developed in any location within the Project Site.

4.2 Land Use Equivalency Program

The Land Use Equivalency Program is intended to provide flexibility in land uses for the Project while ensuring that a change in land uses would not result in new significant environmental impacts or a substantial increase in the severity of significant environmental impacts identified in the EIR, ENV-2011-0675-EIR (SCH No. 2011041094). With respect to any proposed Phase of the Project (an "Exchange Phase") that would result in a build out of the Project that is not consistent with at least one of the Project scenarios studied under the EIR, under the Land Use Equivalency Program, the developer may request a transfer or exchange of land uses, as well as modifications to the siting, massing or other development standard in so far as they are consistent with the provisions herein, for such Exchange Phase by a delivering written request therefore to the Planning Department of the City, which request shall be accompanied by (a) detailed information identifying the land use transfer/exchange that is being proposed for such Exchange Phase; (b) information documenting how the proposed land uses and densities in the Exchange Phase, together with the existing improvements and the other phases previously developed, are consistent with the overall AM and PM peak hour trip cap identified in Table II-3, Project Trip Cap from the EIR; and (c) supporting documentation to demonstrate that the Project including the proposed Exchange Phase would not exceed the maximum environmental impacts identified in the EIR (collectively, an "Equivalency Program Exchange Submission"). The Planning Director shall approve such request if the Equivalency Program Exchange Submission reasonably demonstrates that the Project including the proposed Exchange Phase is consistent with the overall AM and PM peak hour trip cap identified in such Table II-3, Project Trip Cap, does not conflict with the impacts analysis for the maximum Commercial and Residential Scenarios, and would not otherwise exceed the maximum environmental impacts identified in the EIR.

5. HEIGHT

5.1 Building Height Standards

The Regulations establish heights zones (A, B, C and D) to limit maximum building heights and control bulk in response to the Development Objectives including context with the built environment and to reinforce view corridors to the Capital Records Tower.

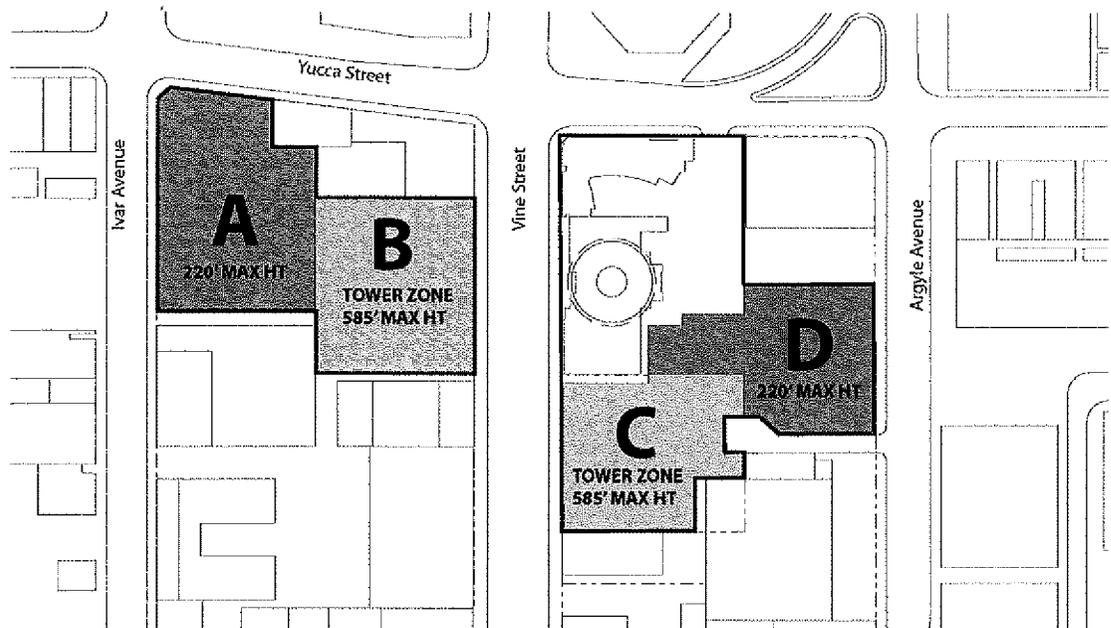


Fig. 5.1 Height Zones

- 5.1.1 The number of stories of a building shall be counted to the last occupiable programmatic floor, excluding all mechanical spaces (interior and exterior), observation deck(s), and any occupiable space required to access and/or service above the uses, including, but not limited to elevator lobbies, vestibules, and restrooms.
- 5.1.2 The height of the building and number of stories shall be measured from the curb/grade level of the primary street frontage for that portion of the Project Site (i.e., West Site Zone B tower measured from Vine Street).

6. BUILDING AND STREET EXPERIENCE

6.1 Tower Massing Standards

6.1.1 The Tower Massing Standards apply to the portion of a building located 150 feet above curb level – see Table 6.1.1.

Tower Height (feet)	Maximum Tower Lot Coverage (%)	Minimum Floor Area Below 220 Feet (%)	Maximum Tower Floor Plate (sq. ft.)	Minimum Tower Setback (feet)	Minimum Public Open Space (%)	Figures
151 – 585	11.5	50	13,325 East Site 9,042 West Site	10 15 ¹	12	6.1.2.d.1 6.1.2.d.2
151 – 550	20	50	23,173 East Site 15,726 West Site	10 15 ¹	10	6.1.2.c.1 6.1.2.c.2
151 – 400	28	50	32,443 East Site 22,016 West Site	10 15 ¹	8	6.1.2.b.1 6.1.2.b.2
150 – 220	48	n/a	55,616 East Site 37,742 West Site	10 15 ¹	5	6.1.2.a.1 6.1.2.a.2

Table 6.1.1

Note 1: 15' tower setback required for any tower fronting Vine Street on West parcel. See Figure 6.3.2.

6.1.2 For the purpose of calculating the maximum lot coverage the total lot area is equal to the total lot area for each of the sites, the West Site and the East Site. If there is more than one tower on a site, the maximum lot coverage requirement in Table 6.1.1 is calculated based on the combined area of all towers on each site. The total lot coverage applies to the aggregate floor plate(s) of the tower or towers on each site.

6.1.3 Minimum grade level open space will be 5% of total lot area of the development site for buildings up to a height of 220 feet. (See Figs. 6.1.2.a.1 – 2.)

6.1.4 At least 50% of total floor area must be located below 220 feet.

6.1.5 Tower wall articulation:

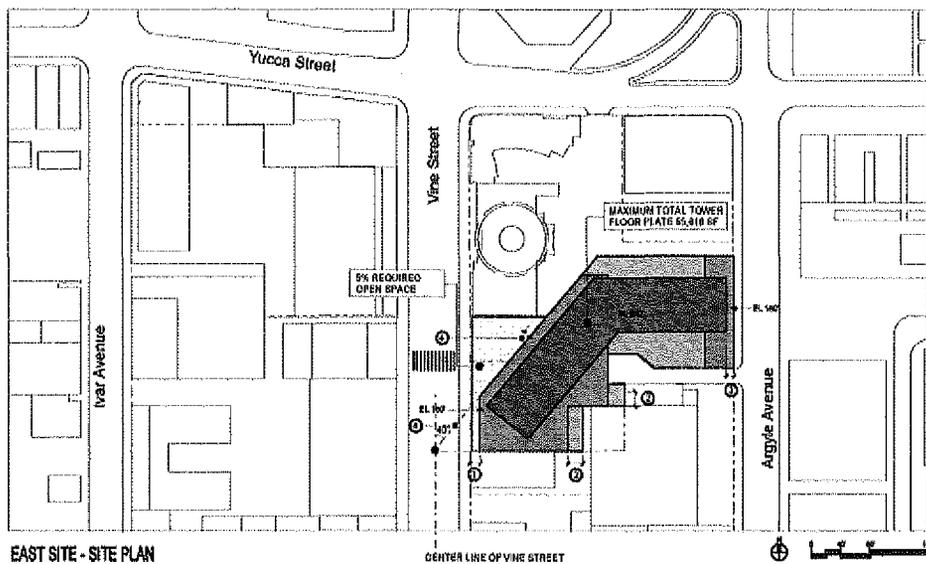
- a. Minimum 10% of tower aggregate area shall be articulated.

6.1.6 Types of permitted articulations for tower walls:

- a. Recess: recesses shall be permitted to a maximum depth of 15'-0".
- b. Balcony: a balcony may project a minimum of 3'-0" from face of building over a grade level open space, building setback, and/or any required separation between buildings.

- c. Bay window: a bay window may project from a required street wall over a grade level open space.
- d. Expression band: an identifiable break shall be provided between a building's retail floors and upper floors. This break may consist of a change in material, change in fenestration, or similar means.

The following developments are for illustrative purposes only.
Maximum Lot Coverage and Tower Floor Plate – Figs. 6.1.2.a – d.



EAST SITE - SITE PLAN

CENTER LINE OF VINE STREET

- ① MINIMUM 10' SETBACK ALONG VINE STREET
- ② MINIMUM 20' SETBACK ABOVE 100'
- ③ MINIMUM 10' SETBACK ABOVE 105'
- ④ 10' MINIMUM SEPARATION FROM CAPITOL RECORDS BUILDING

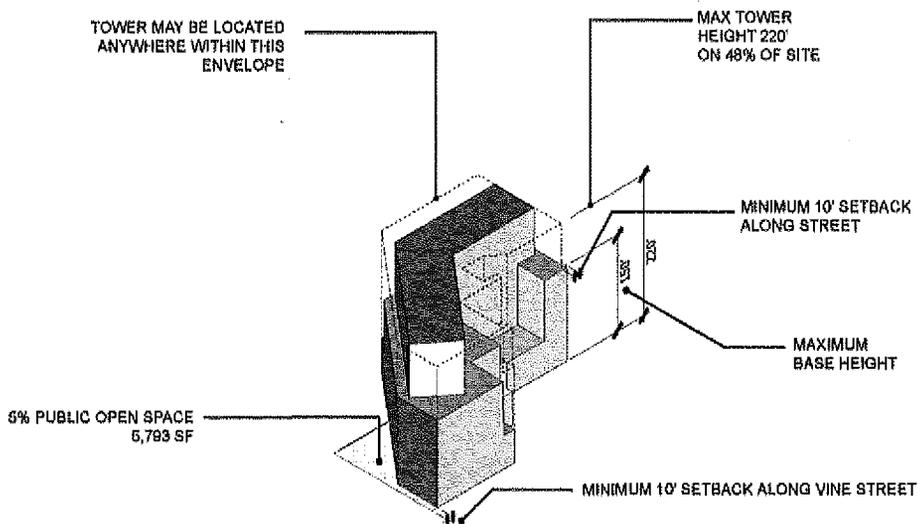
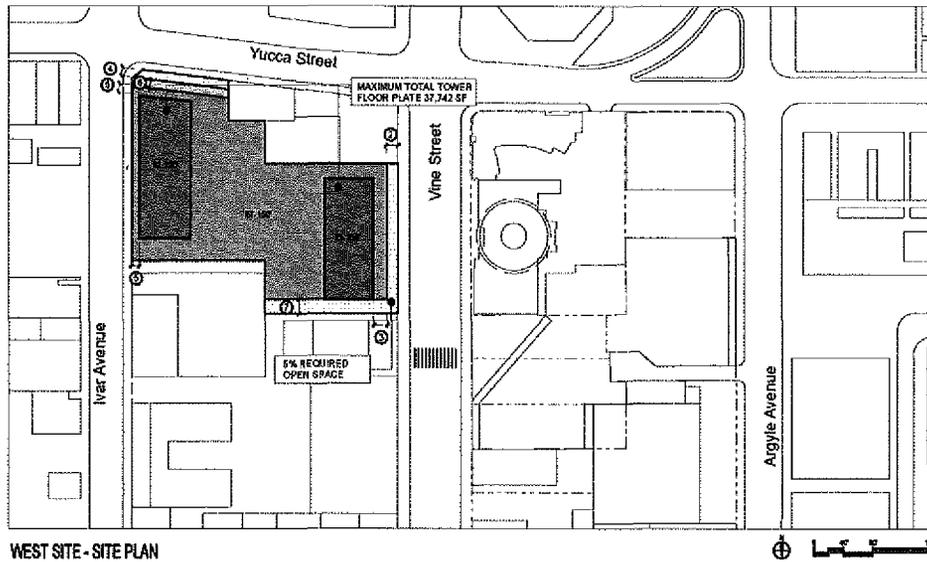


fig. 6.1.2.a.1: East Site – 220 Feet Maximum Tower Height



WEST SITE - SITE PLAN

- ① NOT USED
- ② MINIMUM 15' SETBACK ALONG VINE STREET
- ③ MINIMUM 15' SETBACK ABOVE 40'
- ④ MINIMUM 10' SETBACK ALONG YUCCA STREET
- ⑤ MINIMUM 10' SETBACK ABOVE 150'
- ⑥ MINIMUM 10' SETBACK ABOVE 30'
- ⑦ MINIMUM 20' SETBACK ALONG THIS PROPERTY LINE

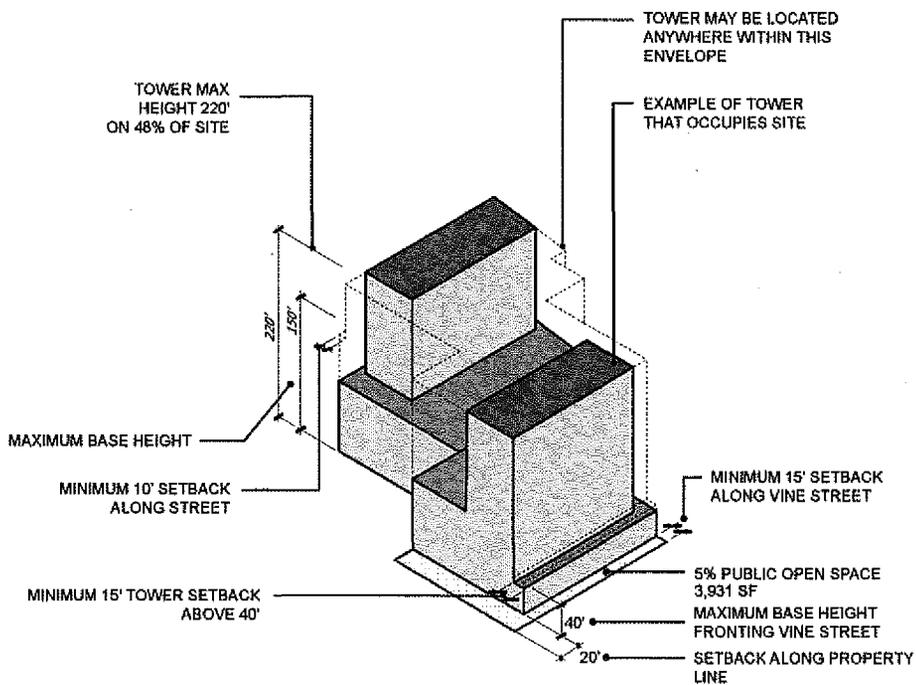
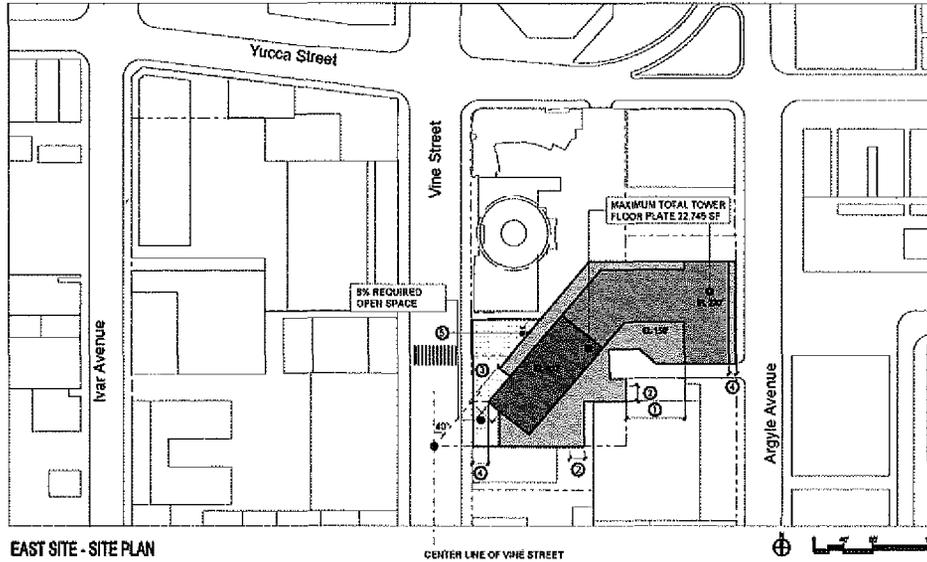


fig. 6.1.2.a.2: West Site - 220 Feet Maximum Tower Height.



- ① MINIMUM 80' SEPARATION BETWEEN "TOWERS" ON SAME SITE
- ② MINIMUM 20' SETBACK ABOVE 150'
- ③ MAXIMUM 40% OF STREET WALL CAN EXCEED MAXIMUM STREET WALL HEIGHT
- ④ MINIMUM 10' SETBACK ABOVE 150'
- ⑤ 10' MINIMUM SEPARATION FROM CAPITOL RECORDS BUILDING

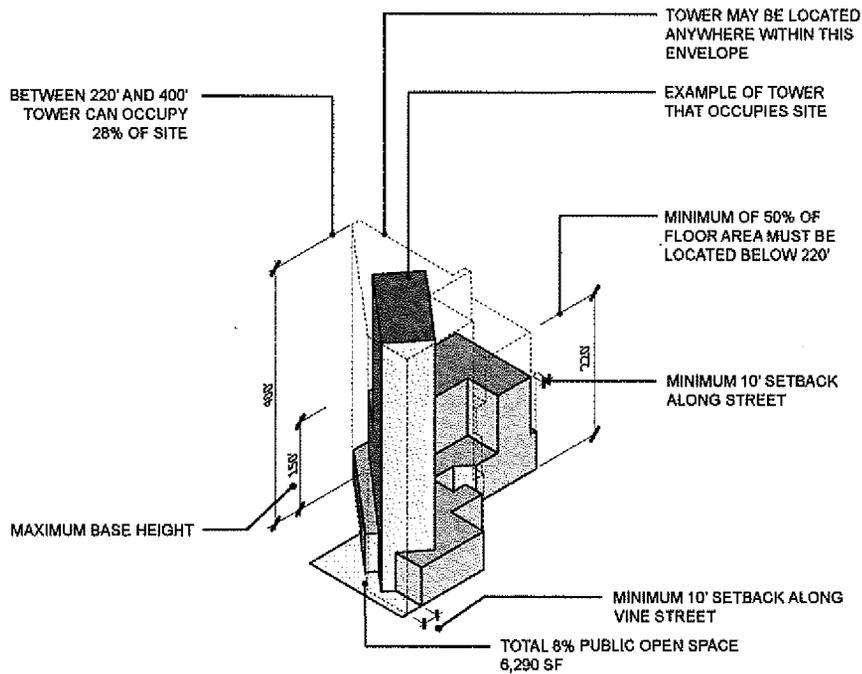
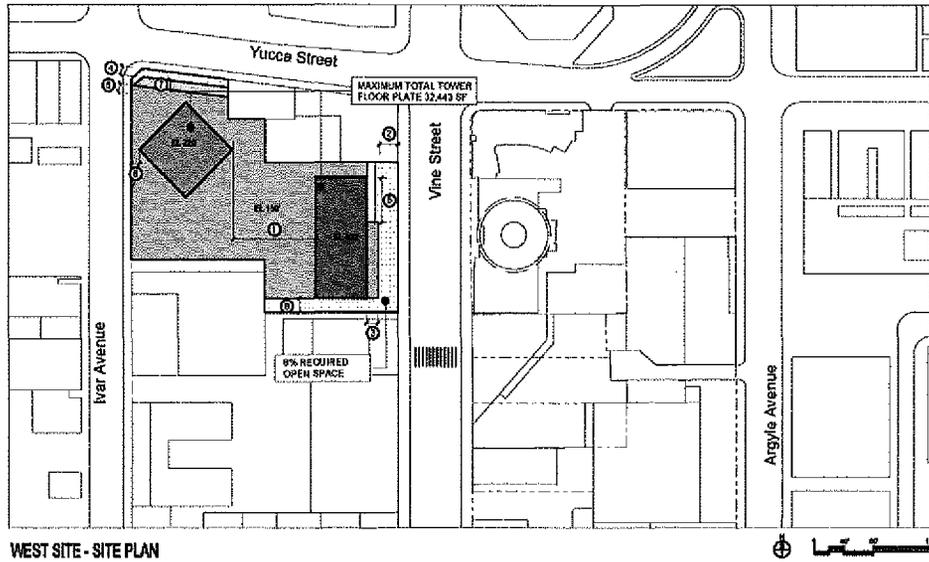


fig. 6.1.2.b.1: East Site – 400 Feet Maximum Tower Height



WEST SITE - SITE PLAN

- ① MINIMUM 80' SEPARATION BETWEEN "TOWERS" ON SAME SITE
- ② MINIMUM 10' SETBACK ALONG VINE STREET
- ③ MINIMUM 15' SETBACK ABOVE 40'
- ④ MINIMUM 10' SETBACK ALONG YUCCA STREET
- ⑤ MAXIMUM 40% OF STREET WALL CAN EXCEED MAXIMUM STREET WALL HEIGHT
- ⑥ MINIMUM 10' SETBACK ABOVE 150'
- ⑦ MINIMUM 10' SETBACK ABOVE 30'
- ⑧ MINIMUM 20' SETBACK ALONG THIS PROPERTY LINE

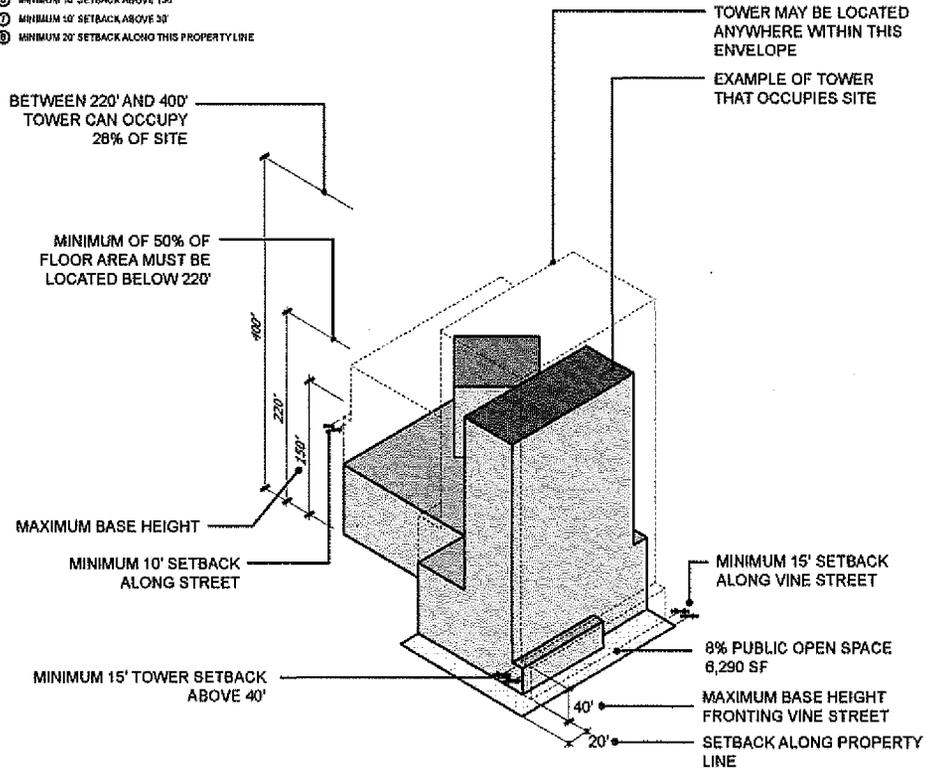
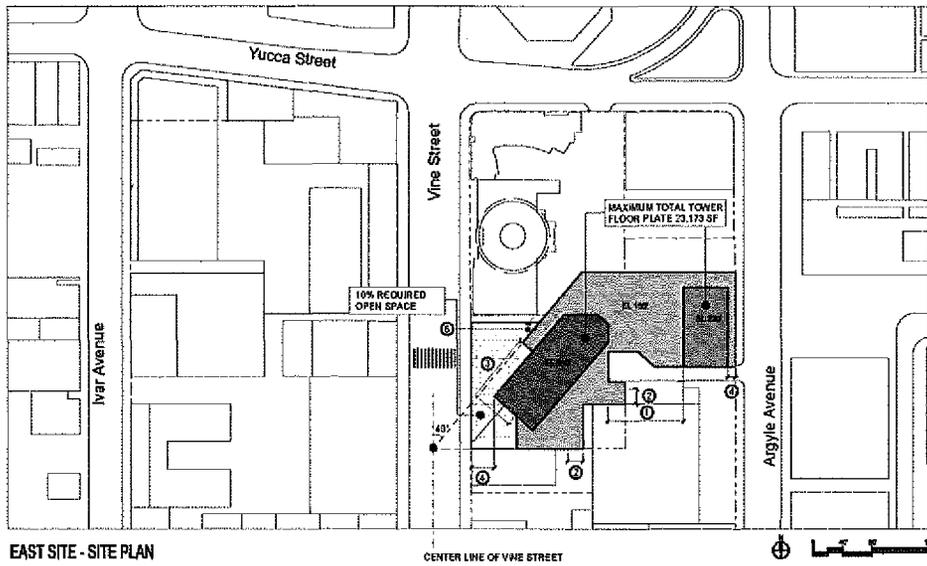


fig. 6.1.2.b.2: West Site – 400 Feet Maximum Tower Height



- ① MINIMUM 8' SEPARATION BETWEEN "TOWERS" ON SAME SITE
- ② MINIMUM 20' SETBACK ABOVE 150'
- ③ MAXIMUM 40% OF STREET WALL CAN EXCEED MAXIMUM STREET WALL HEIGHT
- ④ MINIMUM 10' SETBACK ABOVE 150'
- ⑤ 10' MINIMUM SEPARATION FROM CAPITOL RECORDS BUILDING

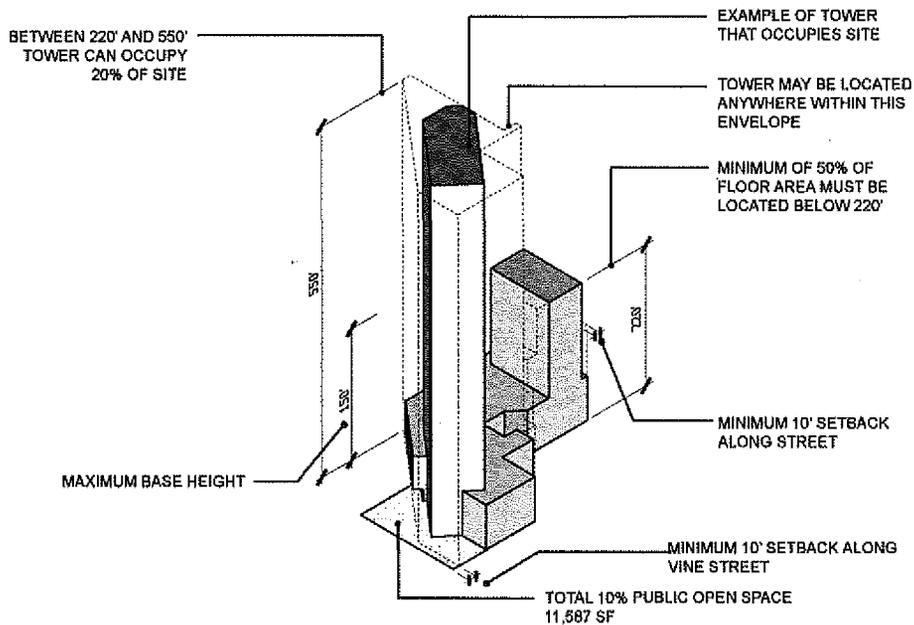
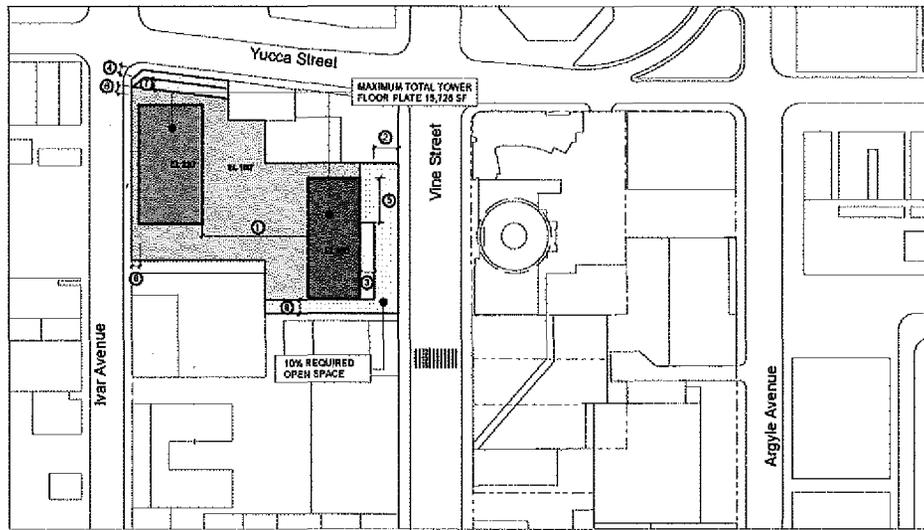


fig. 6.1.2.c.1: East Site – 550 Feet Maximum Tower Height



WEST SITE - SITE PLAN

- ① MINIMUM 60' SEPARATION BETWEEN "TOWERS" ON SAME SITE
- ② MINIMUM 10' SETBACK ALONG VINE STREET
- ③ MINIMUM 15' SETBACK ABOVE 40'
- ④ MINIMUM 10' SETBACK ALONG YUCCA STREET
- ⑤ MAXIMUM 49% OF STREET WALL CAN EXCEED MAXIMUM STREET WALL HEIGHT
- ⑥ MINIMUM 10' SETBACK ABOVE 150'
- ⑦ MINIMUM 10' SETBACK ABOVE 30'
- ⑧ MINIMUM 20' SETBACK ALONG THIS PROPERTY LINE

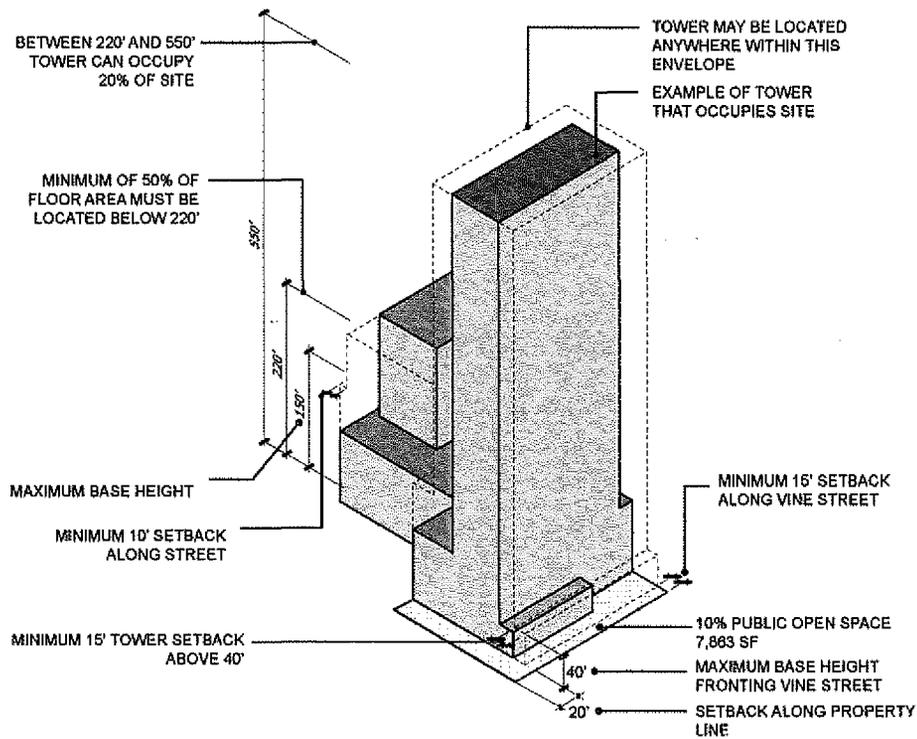
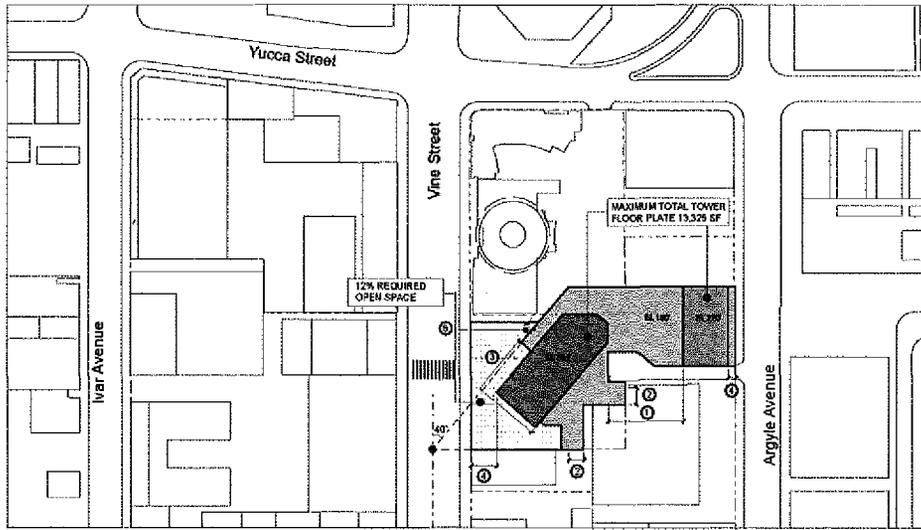


fig. 6.1.2.c.2: West Site – 550 Feet Maximum Tower Height



EAST SITE - SITE PLAN

- ① MINIMUM 80' SEPARATION BETWEEN "TOWERS" ON SAME SITE
- ② MINIMUM 20' SETBACK ABOVE 150'
- ③ MAXIMUM 40% OF STREET WALL CAN EXCEED MAXIMUM STREET WALL HEIGHT
- ④ MINIMUM 10' SETBACK ABOVE 150'
- ⑤ 10' MINIMUM SEPARATION FROM CAPITAL RECORDS BUILDING

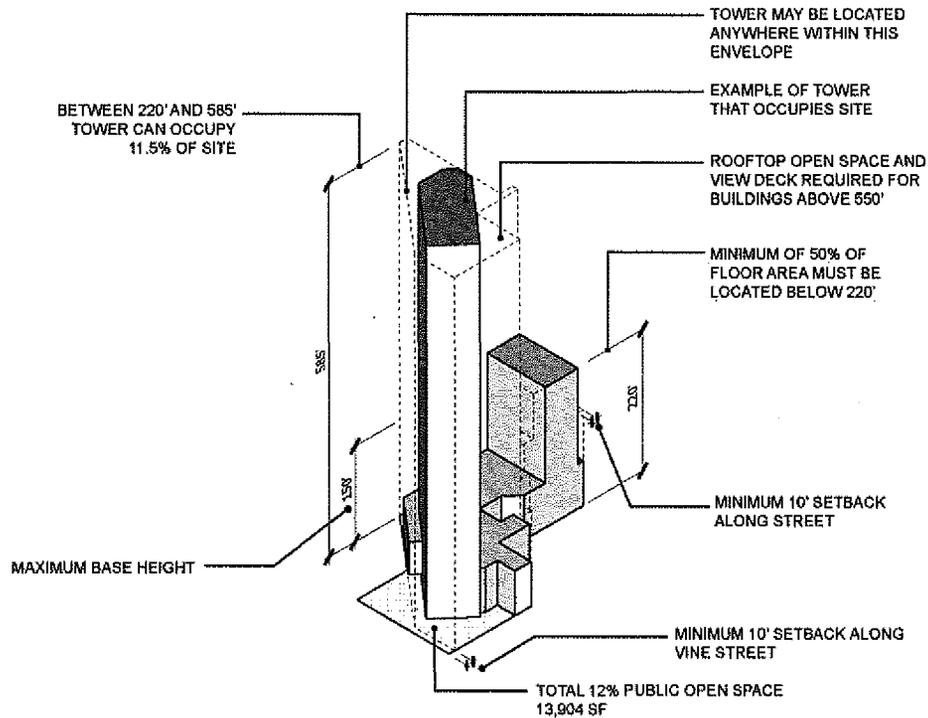
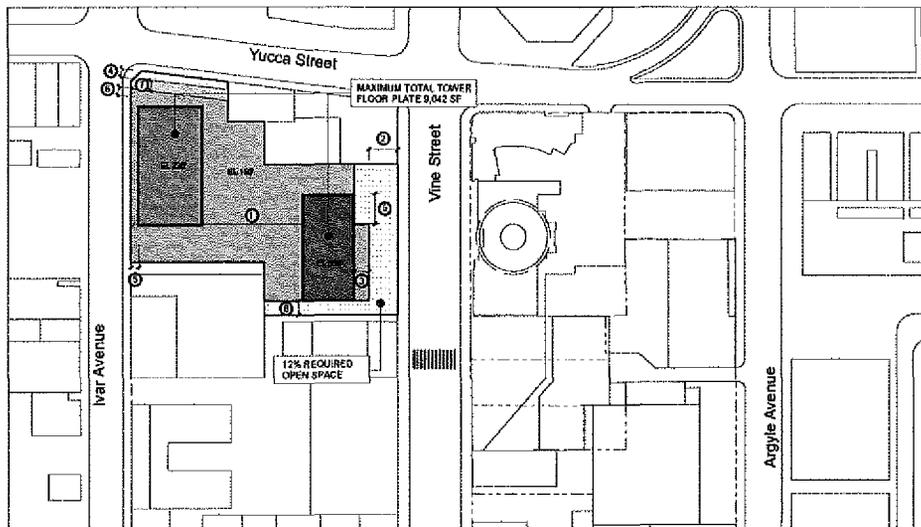


fig. 6.1.2.d.1: East Site – 585 Feet Maximum Tower Height



WEST SITE - SITE PLAN

- ① MINIMUM 30' SEPARATION BETWEEN "TOWERS" ON SAME SITE
- ② MINIMUM 15' SETBACK ALONG VINE STREET
- ③ MINIMUM 15' SETBACK ABOVE 40'
- ④ MINIMUM 10' SETBACK ALONG YUCCA STREET
- ⑤ MAXIMUM 40% OF STREET WALL CAN EXCEED MAXIMUM STREET WALL HEIGHT
- ⑥ MINIMUM 10' SETBACK ABOVE 150'
- ⑦ MINIMUM 10' SETBACK ABOVE 30'
- ⑧ MINIMUM 20' SETBACK ALONG THIS PROPERTY LINE

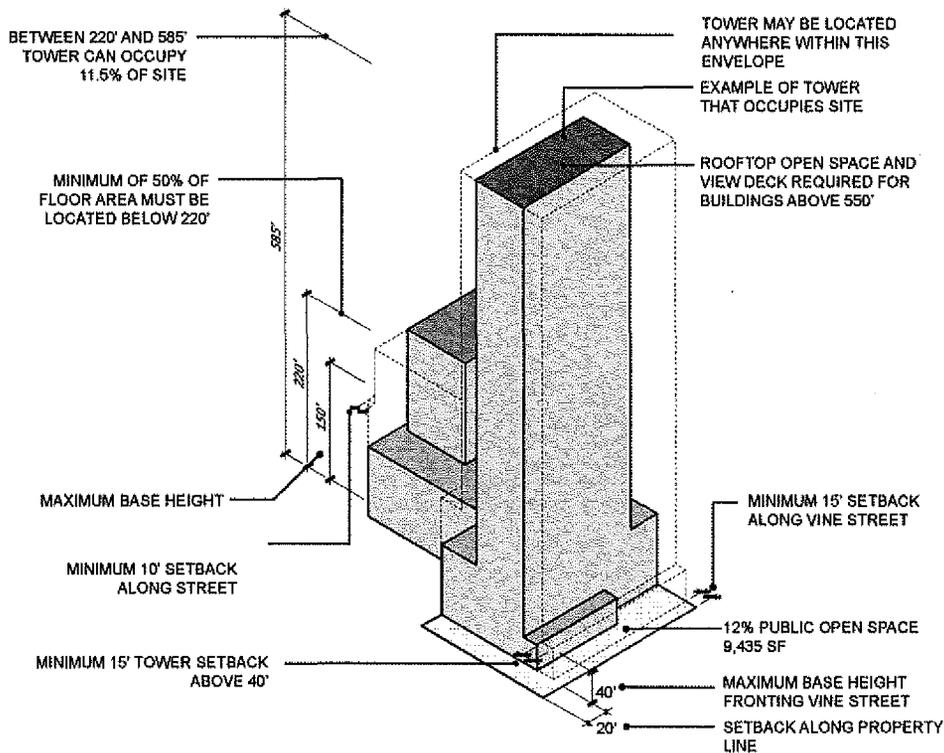


fig. 6.1.2.d.2: West Site – 585 Feet Maximum Tower Height

6.2 Street Walls

6.2.1 A street wall is a wall or portion of a wall of a building facing a street or a grade level open space. Street walls determine the scale and character of the pedestrian environment. Articulation of the required street wall within the permitted ranges is required in order to create a sense of different uses, visual interest and orientation. The street wall shall have proportions and architectural building details which emphasize and reflect the presence and importance of the pedestrian environment. Massing offsets, fenestration, varied textures, openings, recesses, and design accents are strongly encouraged to ensure there are no un-articulated walls and monolithic roof forms, and architectural elements such as balconies, verandas, and porches that add architectural character are encouraged.

6.3 Street Wall Standards

6.3.1 Location of a required street wall:

- a. Parcels with a grade level open space: the required street wall shall be located a minimum 10 feet from the property line along Vine Street on the East Site and 15 feet along Vine Street on the West Site.
- b. A grade level open space is required for any building fronting Yucca Street with a minimum 10 feet setback from the property line.
- c. Parcels or portions of parcels without a grade level open space: the required street wall shall be located on the property line.

6.3.2 Height of required street wall:

- a. Street walls shall be built to a minimum height of 30 feet and a maximum height of 150 feet above curb level except as noted in item (b), (c) and (d) below.
- b. Street walls fronting Vine Street on the West Site shall be built to a maximum height of 40 feet above curb level except as noted in item (d) below.
- c. Street walls fronting Yucca Street shall be built to a maximum height of 30 feet. Building can extend to a maximum height of 150 feet with a 10 foot setback above 30 feet except as noted in item (d) below.
- d. 40% of the aggregate width of the required street wall frontage on each street can exceed the maximum street wall height up to the maximum tower height.

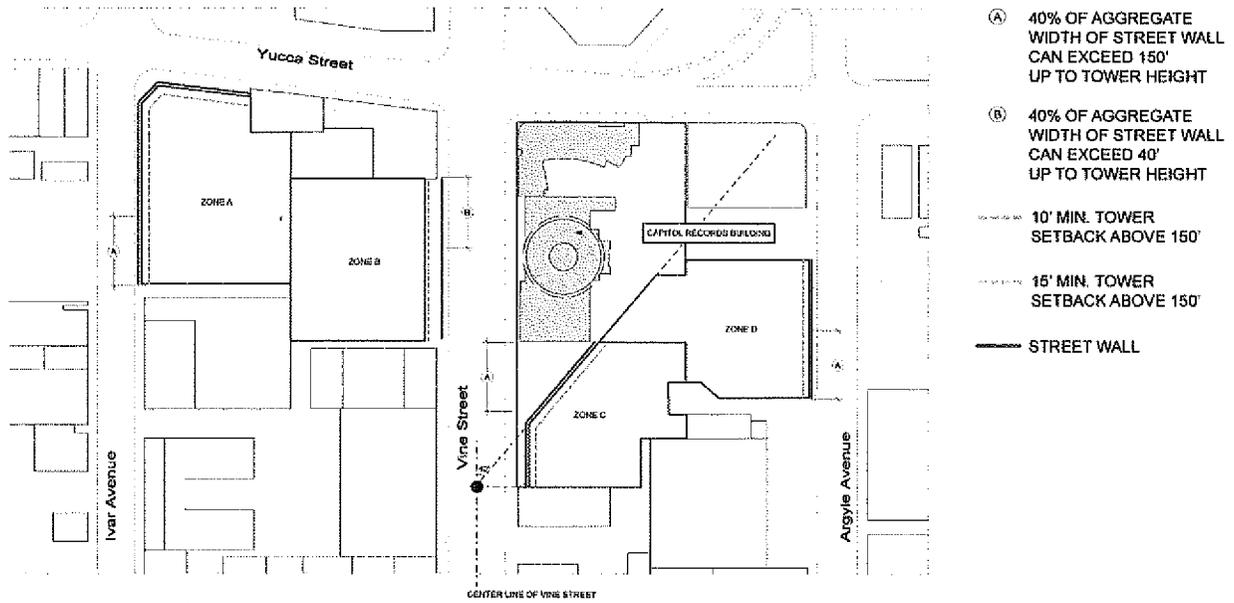


fig 6.3.2: Street Wall

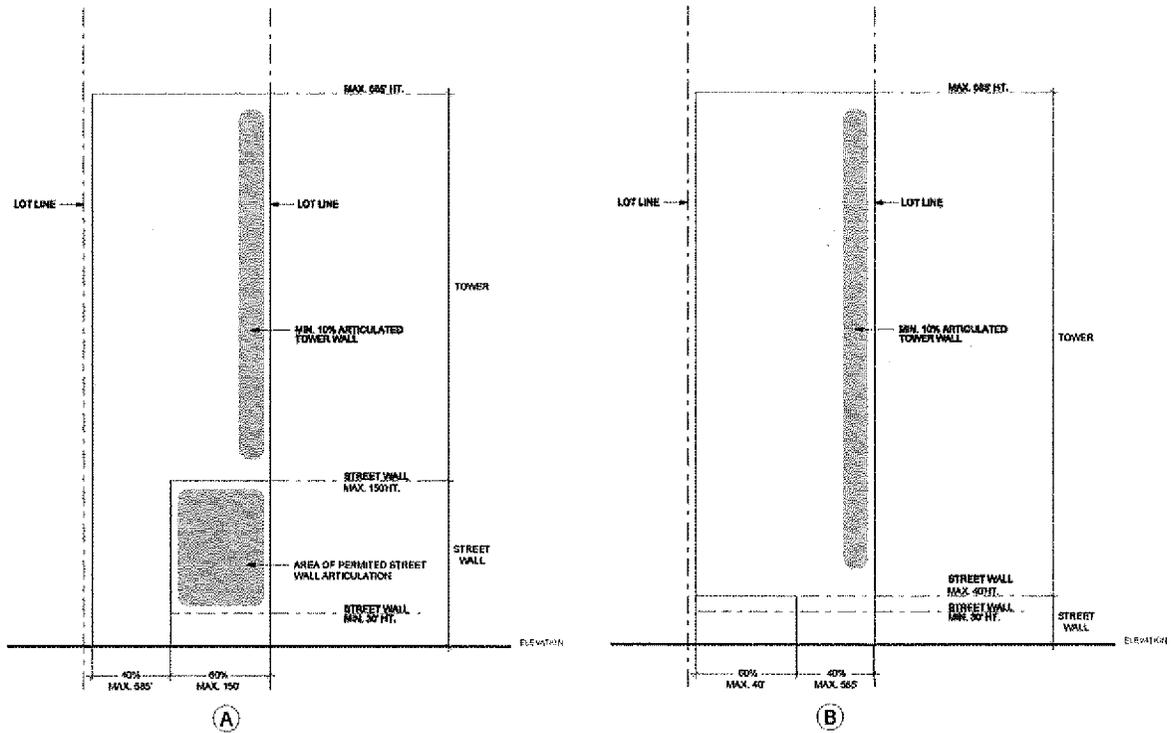


fig. 6.3.3: Street Wall Articulation

6.3.3 Types of permitted articulation of a required street wall:

- a. Recess: recesses shall be permitted to a maximum depth of 15'-0".
- b. Balcony: a balcony may project a minimum of 3'-0" from a required street wall over a grade level open space, building setback, and/or any required separation between buildings.
- c. Bay window: a bay window may project from a required street wall over a grade level open space.
- d. Expression band: an identifiable break shall be provided between a building's retail floors and upper floors. This break may consist of a change in material, change in fenestration, or similar means.

6.3.4 Other permitted projections: elements which project beyond the property line from a required street wall shall comply with the Building Code.

- a. Architectural facade elements such as expression bands, cornices, eaves, gutters, and downspouts may project from a required street wall over a grade level open space.
- b. Steps and ramps may project from a required street wall over a grade level open space.
- c. Commercial marquees, canopies and awnings.
- d. Retail storefronts: may project from a required street wall over a grade level open space by a maximum depth of 5'-0'. The maximum height of these projections for each parcel shall not exceed two stories or 28'-0" above curb level, whichever is less.

6.4 Street Wall Guidelines

6.4.1 Pedestrian pass-through areas, public plazas, marquees, canopies, awnings and retail storefronts are permitted within the street wall area.

6.4.2 Pedestrian steps and ramps, entry forecourts, hotel drop-offs and loading entries and exits and vehicular access driveways are also permitted within the street wall area on the Project Site.

6.5 Yard Standards

6.5.1 Yard is an open space other than a court that is unoccupied and unobstructed from the ground upward.

6.5.2 Commercial Use: no front, side or rear yard setbacks are required.

6.5.3 Residential Use:

- a. Front Yard: none.
- b. Side Yard: Minimum 5 feet; for a building more than two stories in height, one foot shall be added to the width of such side yard for each additional story above the second story, but in no event shall a side yard of more than 16 feet in width be required.
- c. Rear Yard: Minimum 15 feet; for a building more than three stories in height, one foot shall be added to the depth of such rear yard for each additional story above the third story, but such rear yard need not exceed 20 feet.

6.6 Building Materials and Color Guidelines

6.6.1 The goal of the building materials and colors is to reinforce the character of the Hollywood area and provide a design that is compatible yet avoids any appearance that the building is being historicized. These guidelines will address the façade treatment for both residential and commercial portions of buildings.

- a. Buildings shall feature long-lived and sustainable materials. The material palette shall provide variety, reinforce massing and changes in the horizontal or vertical plane.
- b. Ground floors shall have a different architectural expression than upper floors and feature high quality durable materials that add scale, texture and variety.
- c. Podium levels up to 150 feet will be predominantly light in color. Colors will be achieved through the inherent color of the material, rather than the application of color to the surface. Darker accent colors may be used to delineate building entrances and accents.
- d. The architecture of the building shall clearly delineate an architectural style, and shall not appear as a simplified version thereof, with appropriate fenestration patterns, architectural features, proportions and materials.
- e. The building's skin, especially for towers, shall be primarily transparent; the use of darkly colored or highly reflective glass will be avoided. Glazing will have the minimum amount of reflectivity or tinting required to achieve energy efficiency standards.
- f. In buildings other than curtain wall buildings, windows will be recessed, except where inappropriate to a building's architectural style. There will be clear contrast between the building's surface material and the building's glazed areas.
- g. In general, the overall massing, roof forms, materials, and architectural style of new structures shall provide a variety of forms, depth and texture, and encourage a cohesive character. Building massing shall include a variation in wall planes and height as well as roof forms to promote architectural excellence, a pedestrian friendly environment and take into account the context.
- h. To provide visual variety and depth, the building skin shall be layered and designed with a variety of textures that bear a direct relationship to the building's massing and

structural elements. The skin shall reinforce the integrity of the design concept and the building's structural elements, and not appear as surface pastiche.

- i. Rooftop mechanical equipment screening shall be designed to be integral with the building architecture and the visual impact shall be minimized by using materials that are complimentary or consistent with the building.
- j. Design the color palette for a building to reinforce building identity and complement changes in the horizontal or vertical plane.
- k. Examples of acceptable materials are illustrated in Figures 6.6.1 – 2

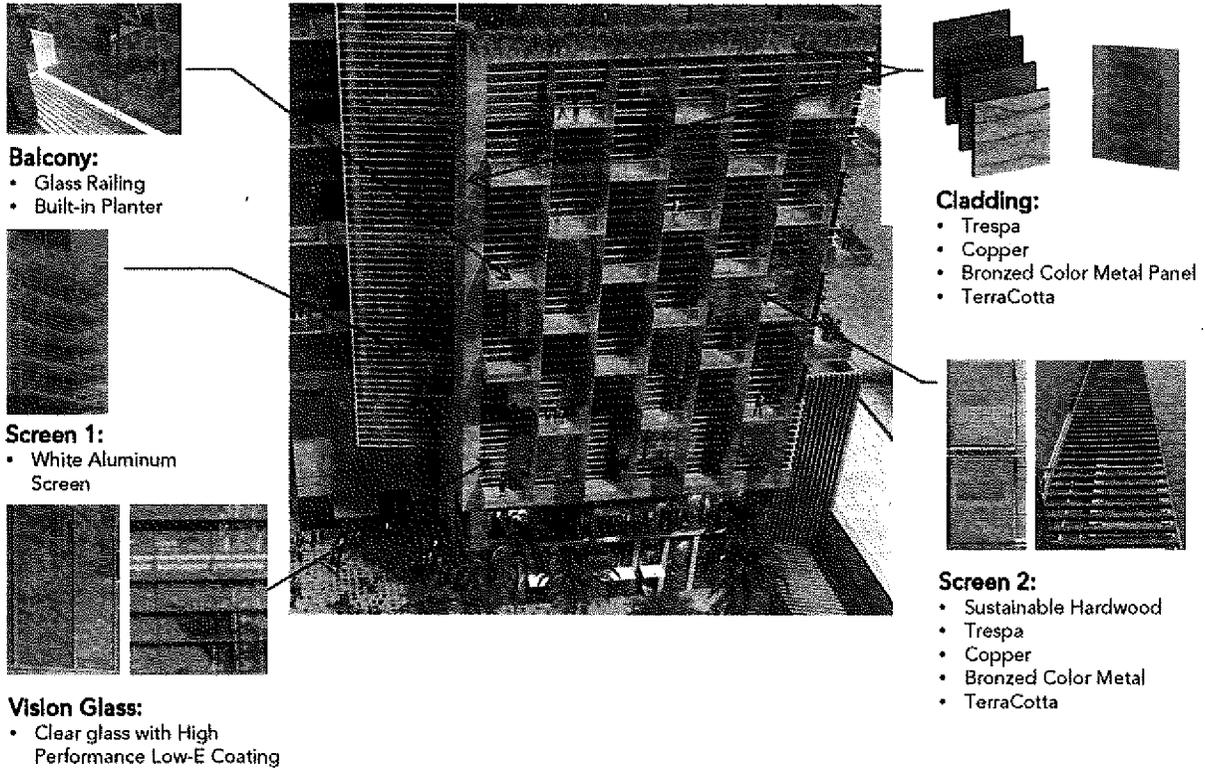


Figure 6.1.1: examples of acceptable materials

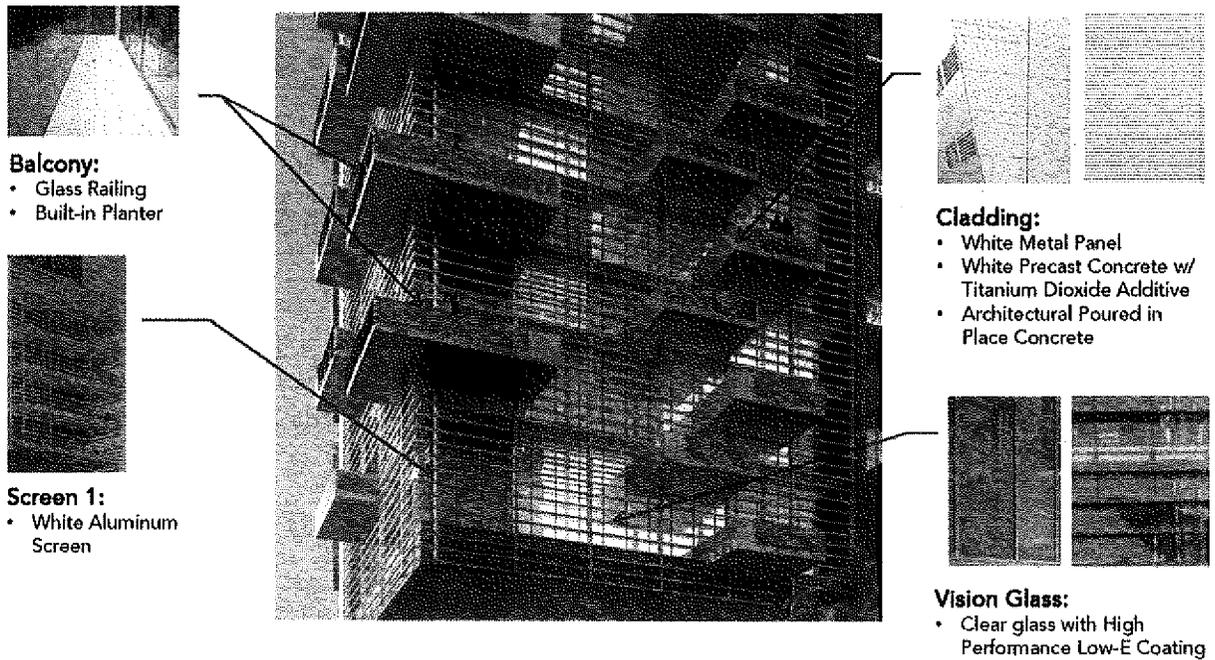


Figure 6.1.2: examples of acceptable materials

6.7 Grade Level Standards

6.7.1 The purpose of the grade level standards is to promote pedestrian-scaled architecture by regulating street wall massing, articulation and detail, street level entrances and storefront windows and doors, as well as the use of quality materials and decorative details. Architectural features that reinforce the retail character of the ground floor street wall and/or help define the pedestrian environment along the sidewalk, such as canopies, awnings, and overhangs, are encouraged and shall be integral to the architecture of the building.

6.7.2 Ground floor height:

- a. Minimum 12'-0" height measured from floor to ceiling.

6.7.3 Building entrances:

- a. The primary entrance to a street level tenant space that has frontage along a public street shall be provided from that street. The primary entrance to a tenant space that does not have its frontage along a public street shall be provided from a courtyard, *grade level open space*, or *publicly accessible passageway*. Entries less than 18 inches from the property line shall not be higher than 12 inches above the elevation of the sidewalk; entries greater than 18 inches from the property line shall be within 30 inches of the adjacent grade level along street frontages. Where possible entries shall be marked using architectural elements such as porches, gateways, entry alcoves, awnings, canopies, or portals.
- b. All retail spaces shall be accessed primarily from a ground floor, single-tenant entry along a street, plaza or passageway. Where reasonably practical given architecture and tenant requirements, access to different tenant spaces shall occur at a maximum interval of 60 feet.
- c. Main building entrances shall read differently from retail storefronts, restaurants and commercial entrances which could include but are not limited to material change, architectural elements or elevation change.
- d. In addition to the building's required primary entrance(s), there may be ancillary entrances to the building from parking garages.

6.7.4 Ground Floor Glazing

- a. Use of clear, colorless and transparent glazing is required within the first 30 feet above curb level.
- b. Use of reflective glass is prohibited.
- c. Along street frontages with a required build-to line less than or equal to 18 inches from the property line, glazing shall constitute a minimum of 30% of the area of a building face and shall not exceed 80% of the area of a building face.

6.7.5 Arcades

- a. Arcades at grade will maintain a minimum of 10 feet clear height and will be lit with a minimum of 1.0-foot candles.

6.7.6 Service and Refuse Requirements

Hotel and Commercial / Office / Retail that abuts an alley

- a. Every required loading space shall be located and arranged such that delivery vehicles may be driven upon or into said space from an alley. Such loading space shall have a minimum height of 14 feet and be accessible through a usable door not less than three feet in width and not less than six feet six inches in height opening from the building it is to serve.
- b. Every required loading space shall have a minimum area of 400 square feet, a minimum width of 20 feet measured along the alley line, and a minimum depth of ten feet measured perpendicularly to the alley line.
- c. Loading space shall have a minimum area of 600 square feet where the gross floor area of all buildings on the lot exceeds 50,000 square feet, but not more than 100,000 square feet; a minimum area of 800 square feet where the gross floor area of all buildings is between 100,000 and 200,000 square feet; and shall be increased by an additional 200 square feet for each additional 200,000 square feet or fraction thereof of gross floor area in the building.

Condominiums (Residential)

- d. None

Rental (Residential)

- e. None

6.7.7 Service and Refuse Guidelines

- a. Storage areas shall be provided within the building of a size sufficient for the development to ensure that refuse is stored and loaded off-street. Refuse storage areas shall be directly and conveniently accessible from a curb cut.
- b. Service, utility, and mechanical functions, including retail loading, shall be located in alleys whenever present. When alleys are not present, service functions shall be placed within buildings.
- c. Service, utility, and mechanical equipment that is visible from the street shall be screened from view with landscaping or enclosures. Back flow and fire standpipes, along with utility box transformers, shall be screened.
- d. All screening devices shall be compatible with the architecture, materials and colors of adjacent buildings.

- e. Trash and storage enclosures shall be architecturally compatible with the project design and landscaping shall be provided adjacent to the enclosure(s) to screen them and deter graffiti.
- f. Trash enclosures and retail loading areas shall be sited to minimize nuisance to adjacent properties.
- g. The location of trash enclosures shall be easily accessible for trash collection and should not impede general site circulation patterns during loading operations.
- h. Mechanical equipment shall vent to an alley wherever possible.
- i. Roof-vent penetrations and mechanical equipment shall be located at least 10 feet from any exterior Building Face.
- j. Gutters and downspouts shall be made of galvanized steel, copper (not copper coated), or aluminum.

6.7.8 Storefronts

- a. Storefront (residential, retail, restaurant and commercial) requirements shall include frontage along streets and grade level open spaces.
- b. Storefronts shall comprise a minimum of 70% of the building's street level façade along Vine Street and 40% along all other streets and be recessed where necessary.
- c. Storefront glazing shall comprise a minimum of 60% of the storefront area along Vine Street and 40% glazing along all other streets.
- d. All retail space shall have a minimum 12 feet finished ceiling clearance.
- e. Storefront openings shall be no wider than 100 feet and no smaller than 15 feet. Storefront sills shall be a minimum of 18 inches and a maximum of 30 inches above the adjoining grade.
- f. Storefront openings shall be no shorter than 12 feet above the adjoining grade for 90% of the required storefront frontage.
- g. Security grilles will be located behind glass and be at minimum 70% open.
- h. At-grade storefront glazing at, or adjacent to, and/or facing any public right-of-way shall incorporate transparent, clear, colorless glazing with no reflectivity.
- i. Awnings shall not obscure storefront signage. Vinyl awnings are not permitted.

6.8 Podium Standards

- 6.8.1 The purpose of the Podium Standards is to provide a modern interpretation of the historical context of Hollywood by establishing different treatment of the building's base, middle and top

through the vertical articulation of the street wall façade by the use of balconies, projections, recesses, fenestration and changes in massing, color, material or other elements.

- 6.8.2 Podiums shall comply as applicable with the minimum setback requirements set forth in Figures 6.1.2a – d.
- 6.8.3 No podium shall be greater than 120 feet, except that portion of the podium that is built to the property line on Ivar Avenue.

6.9 Podium Guidelines

- 6.9.1 Podiums shall have fenestration that establishes a clear pattern on the façade (with special attention paid to facades that are visible from a public street) and that provides depth and additional articulation.
- 6.9.2 An identifiable break between the building's ground floors and upper floors shall be provided. This break may include a change in material, change in fenestration pattern or similar means.
- 6.9.3 Podium level windows shall be vertically oriented.
- 6.9.4 Podium levels shall be predominantly light in color.
- 6.9.5 An expression band shall be provided at the highest story within the podium.
- 6.9.6 While blank street wall façades shall be avoided, an exception may be made for integration of public art or an articulated façade if it adds scale and interest to an otherwise bland frontage. In these cases, the façade shall be a maximum of four floors high, and shall have variation in its surface plane (using cutouts, insets or pop-outs). It shall employ different scales of elements as viewed when seeing the entire building massing.
- 6.9.7 Louvers and wall openings shall be designed to integrate with building architecture.
- 6.9.8 Podiums are encouraged as feasible to be set back from Pantages to preserve sightlines and promote groundfloor open space.

6.10 Street and Sidewalk Standards

- 6.10.1 The Site is comprised of a variety of public elements that include open spaces, streets and sidewalks. The Hollywood Walk of Fame is an integral element that fronts open spaces on both East and West Sites. Its adjacency to the public plazas requires compatibility and cohesiveness.
- 6.10.2 The combination of landscaped plazas, publicly accessible passageways and landscaped streets and sidewalks creates diversity, and at the same time forms a single unified system. Cohesiveness shall be achieved by providing certain uniform elements such as lighting, paving, rhythmic tree plantings and continuous open spaces in a consistent palette of materials and furnishings.

6.11 Screening Standards

- 6.11.1 Except for the minimum ground level frontage required for access, loading shall be screened from the view of adjacent public sidewalks and streets.
- 6.11.2 Trash enclosures shall be provided and screened from the view of adjacent public sidewalks and streets. Rehabilitated trash enclosures shall be screened from the view of adjacent public sidewalks and streets.

7. TOWERS

7.1 Purpose

- 7.1.1 Towers shall have their massing designed to reduce overall bulk and to appear slender.
- 7.1.2 Towers shall be designed to achieve a simple faceted geometry and exhibit big, simple moves. They shall not appear overwrought or to have over-manipulated elements.
- 7.1.3 Towers that emulate a more streamlined modern style shall provide variety through subtle details in the curtain wall, and the articulation of a human-scaled base at the street level.
- 7.1.4 If a project has more than one tower, the towers shall be complementary to each other and employ a similar yet varied architectural design approach.
- 7.1.5 Generally, buildings over 150 feet tall (the historic datum for Hollywood) shall not be historicized. They are contemporary forms in the skyline and shall appear as such.

7.2 Projections

- 7.2.1 The following building elements and operations equipment can project beyond the maximum permitted building height:
 - a. Roof structures for the housing of elevators, stairways, tanks, ventilating fans or similar equipment required to operate and maintain the building;
 - b. Skylights, towers, steeples, flagpoles, water tanks, silos;
 - c. Wireless masts; and
 - d. Solar energy devices and similar structures.
- 7.2.2 Permitted building elements or equipment in Section 7.2.1 shall be screened as practical and based on building design except if such projections – e.g., flagpoles or steeples – are part of the architecture or design. The use of creative materials and forms for screening is encouraged.
- 7.2.3 Enclosures for bulkheads shall not count against building height.

7.3 General Standards

- 7.3.1 A tower 220 feet or greater in height above curb level shall be located with its equal or longer dimension parallel to the north-south streets.
- 7.3.2 Distinctive tower crown and lighting permitted but not required at the highest one (1) story and rooftop mechanical equipment enclosure.
- 7.3.3 Towers shall be set back from maximum street wall height a minimum of 10 feet except for towers fronting Vine Street on the West site, these towers shall be setback a minimum of 15 feet from the maximum street wall height.

- 7.3.4 Towers shall be setback on West Site from shared property line with Hollywood Playhouse a minimum of 20 feet.
- 7.3.5 Adherence to minimum setbacks and other separation standards for towers is required as may be applicable to a specific tower and its location with the Project area. Please refer to standards for towers set forth in Figures 6.1.2.a – d.
- 7.3.6 Tower orientation and placement that enhances important sightlines is encouraged.
- 7.3.7 The tallest tower on any one site (East site or West site) shall be within 35 percent of the tallest height on the other site (East site or West site). The height differential shall be calculated relative to the tallest tower in the Project.

7.4 Wall Standards

- 7.4.1 All walls are required to be articulated.
- 7.4.2 The following types of articulation of a tower wall are permitted:
- Recess;
 - Standard balconies may be projecting or recessed or a combination of both; and
 - Bay windows.

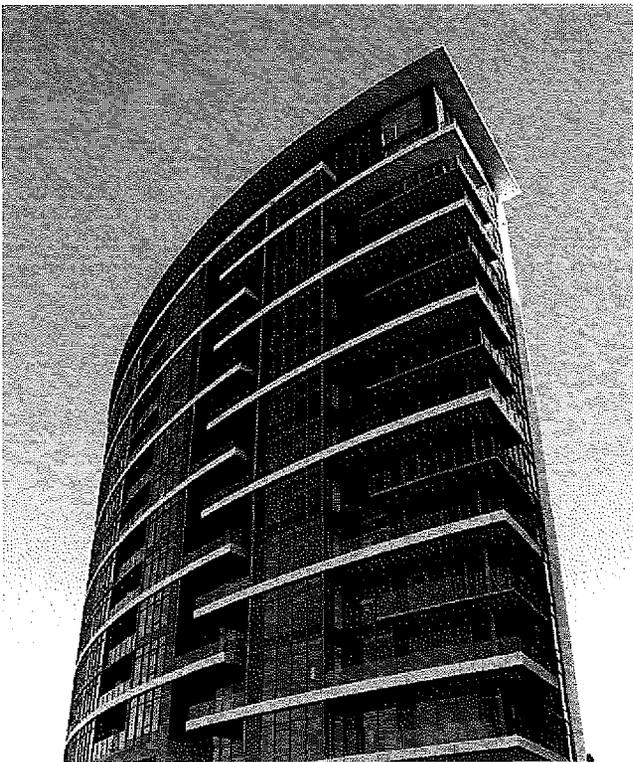


fig. 7.4.2.a: Balcony/Recess



fig. 7.4.2.b: Bay Window

- 7.4.3 Balcony: a balcony shall be integral to the façade (see figs. 7.4.3.a and b) and shall not create a relentless horizontal and vertical stacking pattern. Balconies are encouraged to create a complex and varied pattern along the façade using various balcony sizes and architectural configurations and shall be a minimum 75% *transparent*. Balconies are encouraged on buildings facing major public spaces such as plazas, passageways and open spaces. Long balconies resembling corridors are prohibited.



fig. 7.4.3.a: Recess/Balcony: Integral Balcony

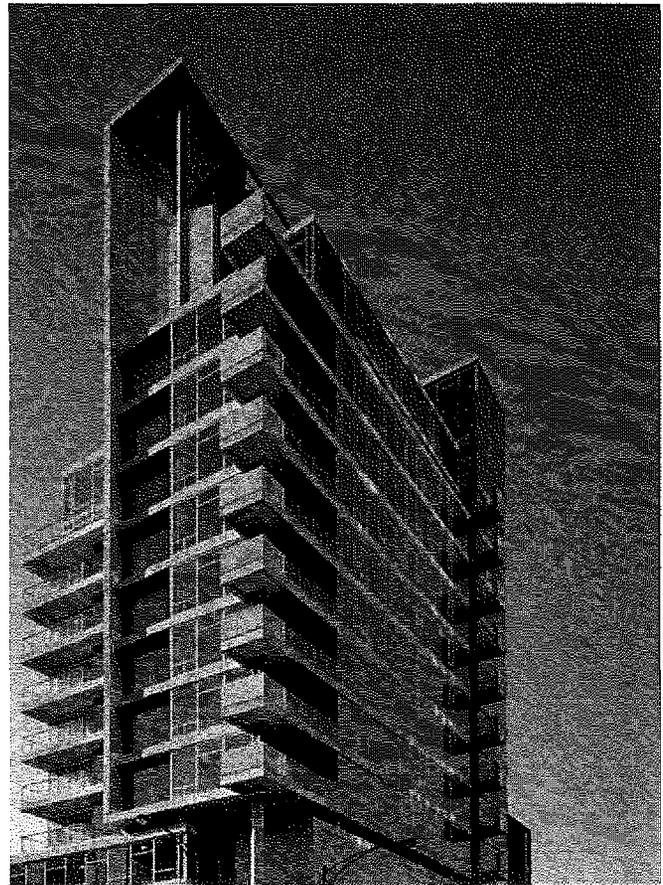


fig. 7.4.3.b: Bay Window: Integral Balcony

7.5 Spacing Standards

- 7.5.1 If two towers are located on a single site the towers shall be spaced to provide privacy, natural light and air, as well as to contribute to an attractive skyline.
- 7.5.2 Generally, any portion of a tower shall be spaced at least 80 feet from all other towers on the same parcel, except for the following which will meet Planning Code: 1) the towers are offset (staggered), 2) the largest windows in primary rooms are not facing one another, or 3) the towers are curved or angled. See fig. 7.5.2.

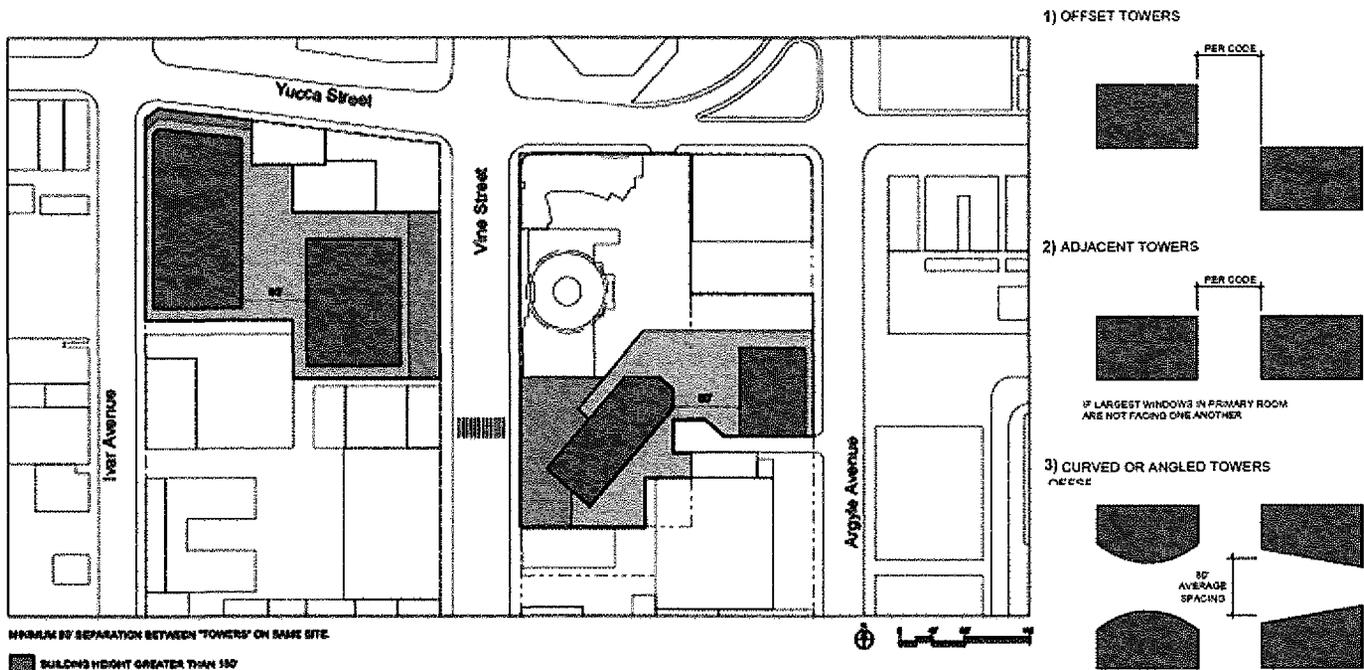


fig. 7.5.2: Tower Spacing

7.5.3 Since a tower is defined as any building above 150 feet, all buildings above 150 feet shall be spaced at least 80 feet from any portion of any adjacent or separate building on the site, exceeding 150 feet, excluding a project within the height range of 150 to 220 feet, as shown in figures 6.1.2.a.1 and 6.1.2.a.2.

7.5.4 Spires, signage, parapets, and mechanical enclosures are excluded from the tower spacing regulations.

7.6 Rooftops Guidelines

- 7.6.1 Rooftops and setbacks are highly visible and provide a significant amenity. They shall be landscaped with consideration for use and be visually attractive when viewed from locations adjacent and above.
- 7.6.2 For rooftops to be developed as usable outdoor area, refer to requirements specified under common open space, Section 8.5.

- 7.6.3 All other roof surfaces and setbacks shall provide surface materials which are not reflective or high contrast colors.
- 7.6.4 All obtrusive features such as vents, bulkheads and cooling units shall be screened from lateral and pedestrian views.

7.7 Parapets, Handrails, Roof Mechanical Equipment Screening Standards

- 7.7.1 Parapets and handrails shall be finished in a distinctive manner if part of an expression band or expression line.
- 7.7.2 Materials and design for roof mechanical equipment shall be consistent with the building architecture and shall utilize similar colors and materials as in other portions of the building.
- 7.7.3 Roof mechanical equipment shall be screened.

8. OPEN SPACE

8.1 Overview

The development of open space is an important objective for the overall Project design. Open space will be used to enhance the experience of the visitor and resident. Open space also will enable important pedestrian linkages and through-block connections for the Project. Grade level open space also will be designed to showcase the Capital Records Building and Jazz Mural and will include design features and outdoor furniture to activate the ground floor amenities.

This section sets forth the standards and guidelines for all open space areas for the Project: areas to be accessible to the public (Grade Level Open Space, Publicly Accessible Passageways and Rooftop Open Space) and areas to be designed for the residential uses (Common Open Space and Private Open Space).

8.2 Grade Level Open Space Standards

- 8.2.1 Grade level open space is a continuous open space fronting the street and open to the sky. The purpose of a grade level open space is to provide a landscaped open space to preserve views of the Jazz Mural and Capitol Records Building and accentuate the low scale character.
- 8.2.2 Minimum grade level open space will be 5% of total lot area of the development site for buildings up to a height of 220 feet. (See Fig. 6.1.2.a.1 – 2 and 8.1.1)
- 8.2.3 An additional 3% of open space (total 8%) shall be required for buildings between 221 feet and 400 feet. (See Fig. 6.1.2.b.1 – 2 and 8.1.2)
- 8.2.4 An additional 5% (total 10%) of open space shall be required for buildings between 401 feet and 550 feet (See Fig. 6.1.2.c.1 – 2 and 8.1.3)
- 8.2.5 An additional 7% (total 12%) of open space shall be required for buildings taller than 550 feet. (See Fig. 6.1.2.d.1 – 2 and 8.1.4)
- 8.2.6 Location
 - a. East Site: adjacent to the Jazz Mural and Capitol Records Building; West Site: across from the Capitol Records Building along Vine Street and along Yucca Street.
 - b. Minimum depth: no horizontal dimension less than 10 feet when measured perpendicular from any point on each of the boundaries of the open space area. Open space on West Site fronting Vine Street shall have a horizontal dimension no less than 15 feet when measured perpendicular from any point.
 - c. On West Site, open space must occupy the area to the west of a line struck at 40 degrees from center line of Vine Street ROW at alignment with the southern most property line and a minimum 10' setback from the southeast corner of the Capitol Records Building. (See Figs. 8.1.1 – 4)
- 8.2.7 Sections 8.3.4 through 8.3.10 (excepting 8.3.4.a) below shall apply to Grade Level Open Space.

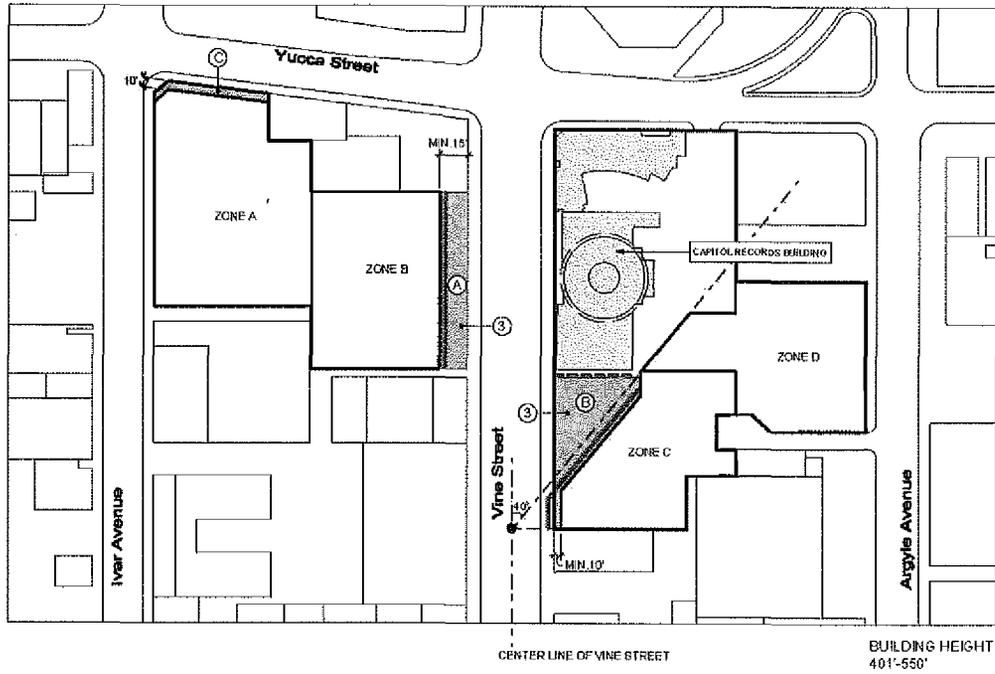


Fig. 8.1.3: open space requirements for maximum building height at 550'

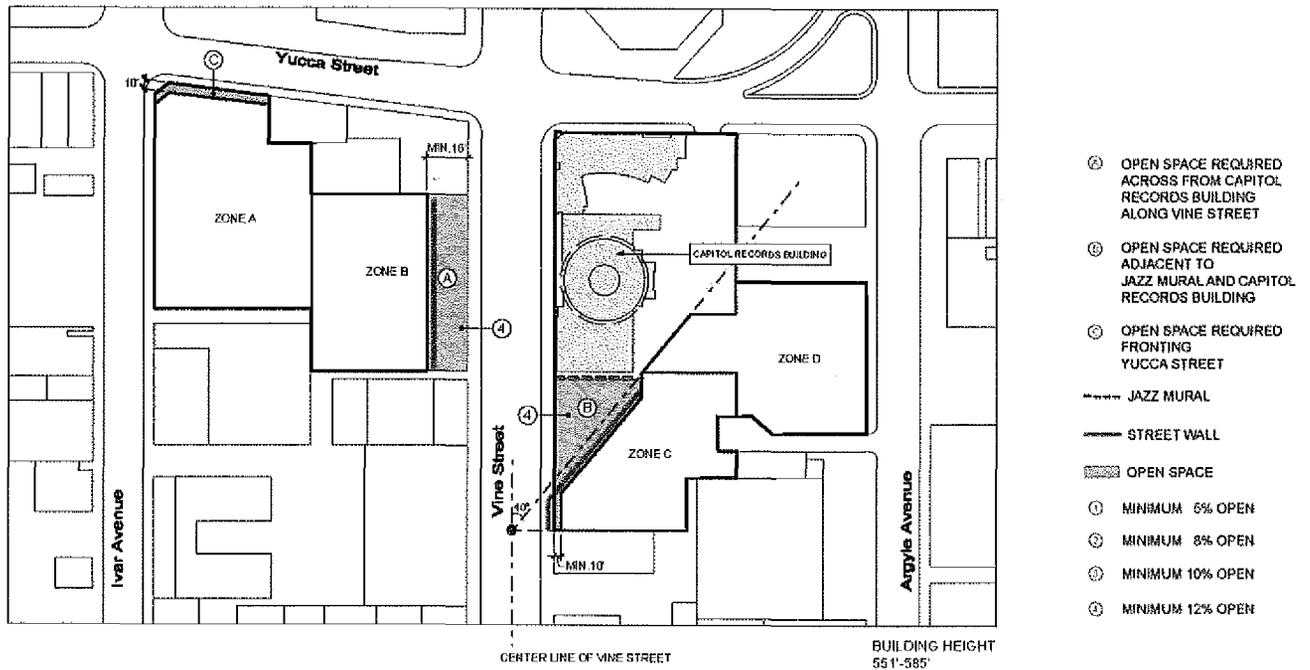


Fig. 8.1.4: open space requirements for maximum building height at 585'

8.3 Passageway Standards

8.3.1 A *publicly accessible passageway* is a continuous through-block public connection between two parallel streets, located on privately owned land. The passageway may be either enclosed or open to the sky or a combination of both.

8.3.2 Design Intent: to encourage public pedestrian circulation and other appropriate public uses on both sides along Vine Street.

8.3.3 Location and Size standards:

- a. The major portion of a *publicly accessible passageway* is the largest area of the *passageway* and the area of primary use. Major portions shall be generally regular in shape, contiguous to each other, easily and directly accessible from adjoining buildings and public spaces. Major portions shall occupy no less than 75 percent of the total passageway area and shall not be less than 20'-0" wide.
- b. Minor portions of *publicly accessible passageway* are secondary areas that allow for additional flexibility in the shape and configuration of a passageway. Minor portions shall not occupy more than 25 percent of the total area of the *passageway*. The minor portion shall have a minimum width of 10 feet.
- c. The minor portion must be directly adjacent to the major portion.

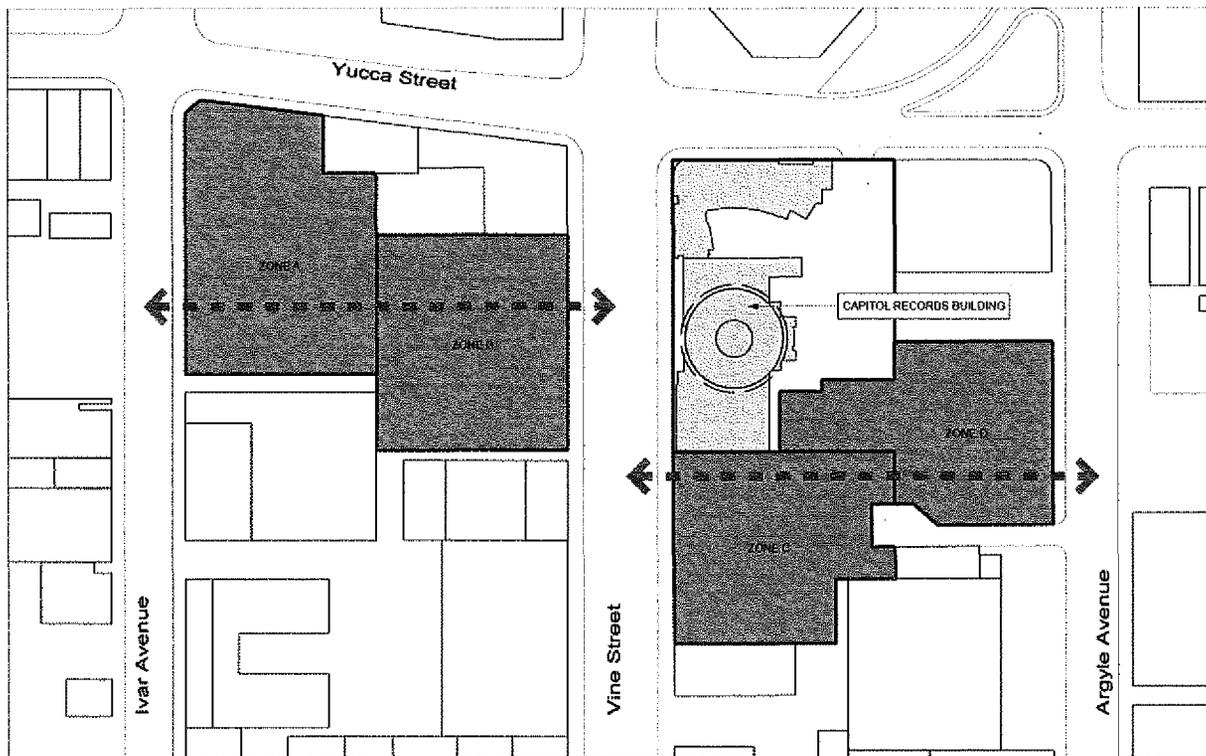


fig. 8.3.3: Publicly Accessible Passageway

8.3.4 Permitted Obstructions:

- a. The minimum percentage of *publicly accessible passageway* area to be open to the sky (East and West Sites combined) shall be as follows:
 - (i) Development with maximum building height of 150 feet: 0%
 - (ii) Development with maximum building height of 220 feet: 20%
 - (iii) Development with maximum building height of 400 feet: 30%
 - (iv) Development with maximum building height of 550 feet: 40%
 - (v) Development with maximum building height of 585 feet: 50%
- b. Permitted obstructions within the major portion of an open air *publicly accessible passageway* are any features, equipment, and appurtenances normally found in public parks and playgrounds, such as fountains and reflecting pools, waterfalls, sculptures and other works of art, arbors, trellises, benches, seats, trees, planting beds, litter receptacles, drinking fountains, and bicycle racks; open-air cafes; kiosks, outdoor furniture; lights and lighting stanchions; flag poles; public telephones; temporary exhibitions; balconies and bay windows; awnings, canopies and marquees; stairs, ramps

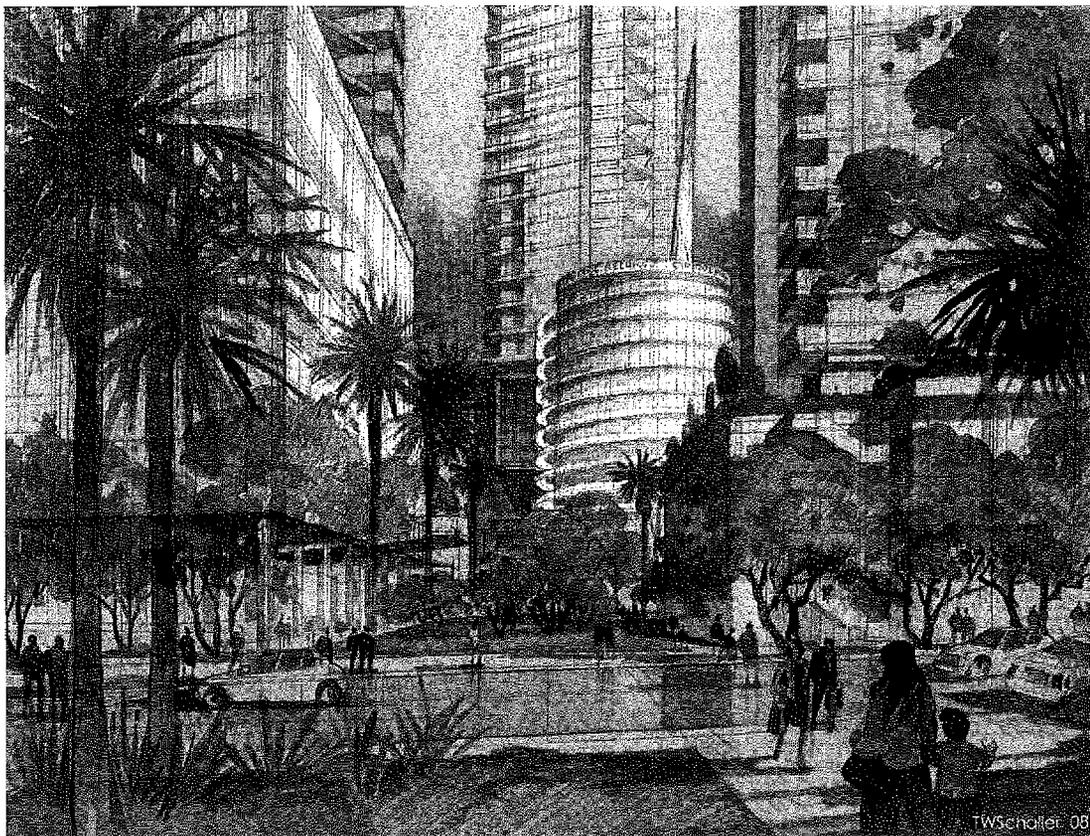


fig. 8.3.4: View from Argyle Avenue Along PAP Towards Capitol Records

and bollards.

8.3.5 Kiosk:

- a. Where a kiosk is provided, it shall be a one-story structure, predominantly of light materials, such as metal, glass, plastic, or fabric as approved by the Department of Building and Safety in conformance with the Building Code. Kiosks, including roofed areas, shall not count as floor area, exceed 3% of the total area of the *publicly accessible passageway*, or occupy an area of more than 250 square feet.
- b. A kiosk may be freestanding or may be attached on only one side to a wall of the building.
- c. Any area occupied by a kiosk shall be excluded from the definition of floor area, and may be occupied by news or magazine stands, candy stands, and food preparation for open-air cafes, flower stands or public service/information booths.
- d. All kiosks greater than 250 square feet are permitted but will count as floor area.

8.3.6 Open-Air Café:

- a. Where an open-air cafe is provided it shall be an unenclosed restaurant or open-air seating for an enclosed restaurant, eating, or drinking place, which may have waiter or table service and is open to the sky except for permitted obstructions such as trees, arbors, awnings or canopies.
- b. An open-air cafe shall be accessible from a minimum of two sides where there is a boundary with the remainder of the *publicly accessible passageway*. The boundary shall be defined by planters or temporary decorative barricades. Seating may be reserved for customers.
- c. An open-air cafe may occupy an aggregate area not more than 20% of the total area of the *publicly accessible passageway*. No cooking equipment shall be installed within an open-air cafe. Cooking equipment may be contained in a kiosk adjoining the open-air cafe. An open-air cafe qualifying as a permitted obstruction shall be excluded from the definition of floor area.

8.3.7 Service through windows:

- a. Outdoor eating services or uses occupying kiosks may serve customers on the *publicly accessible passageway* through open windows.

8.3.8 Prohibition of parking spaces, loading berths, exhaust vents and building refuse storage areas:

- a. No building refuse storage areas or refuse storage from a kiosk or open-air café are permitted on any *publicly accessible passageway*.
- b. No exhaust vents are permitted on any *publicly accessible passageway* or on any building wall of the development fronting upon the passageway except where such vents are more than 10'-6" above the level of the *passageway*.

8.3.9 Frontages:

- a. Mandatory allocation of frontages for permitted use: at least 40% of the total frontage of building walls of the development fronting on a *publicly accessible passageway* shall be allocated for occupancy by permitted retail, restaurants and cultural uses.
- b. Such building frontage use requirement shall apply to both the mezzanine, if provided, and the street level. All such uses shall be directly accessible from the *publicly accessible passageway* with an entrance required every 50' at a minimum. The remaining frontage may be occupied by other uses, vertical circulation elements and building lobbies.

8.3.10 Maintenance:

- a. The building owner shall be responsible for the maintenance of the *publicly accessible passageway* including, but not limited to, the confinement of permitted obstructions, litter control, and the care and replacement of vegetation within the passageway and in the street sidewalk area adjacent to the passageway.
- b. Litter receptacles: shall be provided with a minimum capacity of one cubic foot for each 2,000 square feet of *publicly accessible passageway* area. An additional capacity of one cubic foot of litter receptacle shall be provided for each 2,000 square feet of *passageway* in connection with outdoor eating services or other uses permitted on *passageway* which generate litter.

8.4 Roof-top Open Space

- 8.4.1 The Project shall include roof-top open space.
- 8.4.2 Roof-top open space shall include an observation area (i.e., viewing deck) accessible to the public.
- 8.4.3 The hotel, if developed, may include an observation area (i.e., open space viewing area) accessible to the public.
- 8.4.4 The hotel observation area (i.e., viewing area), if developed, shall satisfy the requirement in section 8.4.1 above.
- 8.4.5 Roof-top open space may include a café.

8.5 Residential Common Open Space

- 8.5.1 Common open space is intended to be a "rear yard" providing light and air to apartments on the interior of a parcel; secure, primarily passive recreational open space for resident adults and play space for children; and to be visually attractive when viewed from apartments adjacent and above. The *publicly accessible passageway* cannot be used to meet the residential common open space requirements.
- 8.5.2 Common Open Space Standards

- a. Provide at a minimum the following usable open space per dwelling unit: 100 square feet for each unit having less than three habitable rooms; 125 square feet for each unit having three habitable rooms; and 175 square feet for each unit having more than three habitable rooms.
- b. Usable open space shall mean an area which is designed and intended to be used for active or passive recreation. Usable open space may consist of private and/or common area as further defined and regulated herein.
- c. Open space shall be open to the sky and have no structures that project into the common open space area, except as permitted in the Zoning Code.
- d. Common open space shall be readily accessible to all the residents of the Site.
- e. Common open space shall have a minimum area of 400 square feet with no horizontal dimension less than 15 feet when measured perpendicular from any point on each of the boundaries of the open space area.
- f. Common open space shall constitute at least 50% of the total required usable open space in the built development.
- g. Common open space areas shall incorporate recreational amenities including but not limited to swimming pools, spas, picnic tables, benches, children's play areas, ball courts, barbecue areas, sitting areas, gym and fitness center.
- h. Common open space shall be located at any story above curb level. The roof of any portion of a building used for accessory parking or for any permitted non-residential use may be considered as common open space.
- i. Refer to LAMC 12.21.G for additional open space requirements.

8.6 Residential Private Open Space

- 8.6.1 A private open space area is an area contiguous to and immediately accessible from a single dwelling unit.
- 8.6.2 Residential Open Space Standards:
 - a. Private open space shall contain a minimum area of 50 square feet, of which no more than 50 square feet per dwelling unit shall be attributable to the total required usable open space.
 - b. Private open space shall have no horizontal dimension less than six feet when measured perpendicular from any point on each of the boundaries of the open space area.
 - c. Private open space shall provide a minimum eight-foot vertical clearance under any projection, except as permitted in the Zoning Code.

- d. That portion of a balcony which extends or projects into a required front yard in compliance with Zoning Code may qualify as usable open space provided it meets each of the above specified requirements noted in items a-c.

9. LANDSCAPE

9.1 Grade Level Open Space Standards

- 9.1.1 Planting requirements: a minimum of 10% of grade level open space shall be landscaped with softscape or water features.
- 9.1.2 Landscaped area(s) shall be planted with seasonally diverse plant material and 30% of all landscaping shall be California Natives or drought tolerant.
- 9.1.3 The landscaped portion of open space may be designed as a single area or multiple planted areas. The minimum size of a single planted area shall be 100 square feet.
- 9.1.4 The minimum soil depths for planting are:
- a. Trees: 42"
 - b. Shrubs: 30"
 - c. Lawns, ground cover: 18"
- 9.1.5 Each planted area shall have provision for proper drainage, and shall be equipped with an automatic irrigation system and waterproof electrical outlets.
- 9.1.6 Permitted obstructions: the following are permitted obstructions which may occur in the *grade level open space*:
- a. Building entries, steps, ramps, balconies, bay windows, architectural facade details, marquees, canopies, awnings, outdoor dining, and retail storefronts.
- 9.1.7 Open-air *publicly accessible passageways* are not to be included in the grade level open space requirements.

9.2 Common Open Space Standards

- 9.2.1 A minimum of 25 percent of the common open space area shall be planted with ground cover, shrubs or trees.
- 9.2.2 At least one 36-inch box tree for every four dwelling units shall be provided on-site and may include street trees in the parkway, sidewalks adjoining the property, open space, *publicly accessible passageway* and common roof decks.
- 9.2.3 For a surface area not located directly on finished grade that is used for common open space, and located at ground level or the first habitable room level, shrubs and/or trees shall be contained within permanent planters at least 30-inches in depth, and lawn or ground cover shall be at least 12-inches in depth.
- 9.2.4 All required landscaped areas shall be equipped with an automatic irrigation system and be properly drained.



fig. 9.3.a: Movable Seating



fig. 9.3.b: Open Air Café

9.3 Standards For Open Air Portions of Publicly Accessible Passageway

- 9.3.1 The landscaped portion of open air passageways may be designed as a single area or multiple planted areas. The minimum size of a single planted area shall be 100 square feet.
- 9.3.2 The minimum soil depths for planting are:
- a. Trees: 42".
 - b. Shrubs: 30".
 - c. Lawns, ground cover: 18".
- 9.3.3 Each planted area shall have provision for proper drainage, and shall be equipped with an automatic irrigation system and waterproof electrical outlets.
- 9.3.4 Planting requirements:
- a. A minimum of 10% of open air *publicly accessible passageway* shall be landscaped.

- b. For each 400 square feet of landscaped area there shall be at least one (1) major shade tree or two (2) minor ornamental trees.
- c. The remaining landscaped area(s) shall be planted with seasonally diverse plant material.

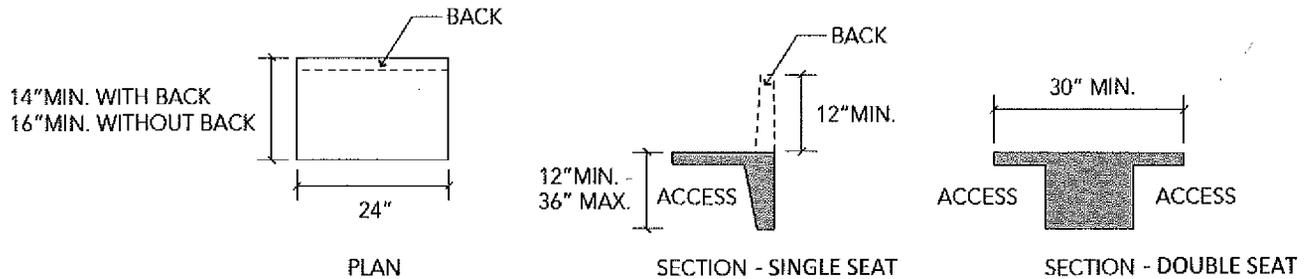


fig. 9.3.5: Seating Standards

9.3.5 Seating

- a. There shall be a minimum of one linear foot of seating for each 500 square feet of *publicly accessible passageway* excluding the area of an open-air cafe.
- b. One seat shall equal two linear feet.
- c. Not more than 50% of the linear seating capacity may be in moveable seats. Seating shall meet the following standards:
 - (i) Seating without backs shall have a minimum depth of 16". For the benefit of handicapped persons, a minimum of 20% of the required seating shall have backs at least 12" high and a minimum depth of 14". Seating 30" or more in depth shall count as double seating provided there is access to both sides.
 - (ii) Seating higher than 36" and lower than 12" above the level of the adjacent walking surface shall not count toward meeting the seating requirements.
 - (iii) The tops of walls including but not limited to those which bound planting beds, fountains and pools may be counted as seating when they conform to the dimensional standards in subparagraphs (i) and (ii) above.
- d. Moveable seating or chairs, excluding seating of open-air cafes, may be credited as 30 inches of linear seating per chair. Steps and seating in open-air cafes do not count toward meeting the seating requirements.

9.4 Tree Planting Guidelines

- 9.4.1 It is the intent to comply with the Urban Forestry Division standard guidelines regarding street tree locations and planting procedures. Regular spacing of the street trees is critical to the overall image of the Project, establishing the module for locating all of the other elements of the streetscape and certain building elements such as entrances, canopies, and utility connections.
- 9.4.2 Street trees play a very important role in the Project. To create a strong visual order, trees shall be planted in continuous, uniformly spaced rows along the streets. To acknowledge microclimatic variations and to avoid monoculture demise, different tree species shall be required on the designated hierarchy of street types. In all cases, the trees shall be planted in a single row on sidewalks leading to or abutting the development.
- 9.4.3 Spacing of the street trees is critical to the overall image of the development, so their regular spacing becomes the module for locating all of the other elements on the sidewalks such as light standards, pavement scoring patterns and curb cut zones. It is important that building elements affecting tree spacing, such as entrances, canopies, and utility connections, be coordinated at the outset to avoid conflict with the established tree-planting pattern.

9.5 Lighting Standards

- 9.5.1 Lighting located at the perimeter of each parcel is required to supplement the street lighting. Its purpose is to improve color rendering, fill in shadows, light pedestrians' faces, articulate the building base-level facades, reinforce the residential and pedestrian character of the development and adjoining neighborhoods, increase security, and visually activate the nighttime streetscape. Lighting for this purpose shall be energy efficient, attractive, and easy to maintain.
- 9.5.2 Supplemental lighting shall meet the following minimum requirements:
- a. Supplemental sidewalk lighting for pedestrians shall be provided on all sides of the parcel and designed in conjunction with the grade level open space and open *publicly accessible passageway*.
 - b. Lighting will be operated from dusk to dawn.
 - c. Lighting will utilize a "white" light source with a color rendering index (CRI) of 65 or greater, i.e. metal halide, fluorescent, compact fluorescent, white cold cathode, white neon, or white HPS.
 - d. Steps and ramps will be lighted with a minimum of 1.0-foot candles on a horizontal plane.
 - e. Lighting approach will be consistent on each parcel with not more than 30 feet between elements.
 - f. All exterior lighting shall be shielded or directed toward the areas to be lit to limit spill-over onto off-site uses.
 - g. Light quality shall not be harsh, glaring, blinking or shed beyond property boundaries.

9.5.3 Responsibility for maintenance:

- a. The Building Owner shall be responsible for maintenance of all lighting associated with the property and for the maintenance of tenant lighting used to meet these requirements. No luminaire or lighted element which is to meet these requirements shall be out of commission for more than 10 consecutive days.
- b. Additional lighting such as plant lighting, colored lighting, signage lighting, etc. will be used. The operation of additional lighting will be at the discretion of the building Owner.

9.5.4 Lighting for areas located inside the lot line and visible from the street, such as service yards, loading docks, service or garage entrances, shall be lighted with "white" light sources in attractive and/or concealed luminaires.

9.5.5 Lighting for above-grade parking garage facilities shall utilize "white" light sources and the luminaires' brightness shall be shielded from view of the street or any residential living space. This may be accomplished through architectural screening, luminaire placement, or integral luminaire shielding. Parking garages which are entirely concealed from exterior view are exempt from this requirement.

9.6 Publicly Accessible Passageway Lighting Standards

9.6.1 A *publicly accessible passageway* shall be illuminated throughout with an overall minimum average level of illumination of not less than 1.0 maintained foot candle (lumens per square foot) on the horizontal plane at grade.

9.6.2 Such level of illumination shall be maintained throughout the hours of darkness. Light sources shall be white light.

9.7 Continuity of Design

9.7.1 Design elements and architectural clues that reinforce where appropriate continuity between open and enclosed spaces at grade level is encouraged. Continuity of design may reinforce pedestrian circulation and support the Project's way-finding features.

9.7.2 Where possible, materials, lighting, site elements and landscape shall be similar between different open and enclosed public spaces at the grade level.

10. PARKING

10.1 Automobile Standards

10.1.1 Base Standards

The following standards shall apply for the base level of parking to be provided as the minimum for each use in the project area. The Regulations set forth below incorporate the parking requirements in the LAMC, where applicable, and supersede the LAMC requirements for development of the Project.

a. Commercial / Office / Retail:

Two parking spaces for every one thousand square feet of combined gross floor area of commercial office, business, retail, restaurant, bar and related uses, trade schools, or research and development buildings on any lot. The Regulations incorporate applicable parking requirements in the LAMC as set forth below.

b. Sports Club:

Two parking spaces for every one thousand square feet of combined gross floor area.

c. Hotel

One parking space for each individual guest room or suite of rooms for the first 30;

One additional parking space for each two guest rooms or suites of rooms in excess of 30 but not exceeding 60; and

One additional parking space for each three guest rooms or suites of rooms in excess of 60.

d. Condominiums (Residential):

Two parking spaces per dwelling unit.

One-quarter parking space per dwelling unit for guest parking.

e. Rental (Residential):

One parking space for each dwelling unit of less than three habitable rooms; one-and-one-half parking spaces for each dwelling unit of three habitable rooms; and two parking spaces for each dwelling unit of more than three habitable rooms.

f. Combination of Uses:

Where there is a combination of uses on a lot, the base number of parking spaces required shall be the sum of the requirements of the various uses.

10.1.2 Shared Parking:

- a. Shared parking may be applied to the Section 10.1.1 base rates for the Site when the uses have different parking requirements and different demand patterns in a 24-hour cycle or between weekends and weekdays. The intent is to maximize efficient use of the site by matching parking demand with complimentary uses. The calculation of the parking requirements shall be based on a detailed assessment prior to its construction.
- b. Calculating Shared Parking:
 - (i) The individual land use parking requirements for each component of a phase of development shall be calculated from Section 10.1.1. above to establish the "Base Demand."
 - (ii) For parking spaces that are to be shared between uses, the calculated minimum parking requirement for the Site, including that new phase of construction, is to be adjusted from the Base Demand based on the procedures in *Shared Parking*, Urban Land Institute, 2nd Edition (2005) or another source as determined by the Director of Planning.

10.2 Additional Regulations

- 10.2.1 The automobile parking spaces required shall be provided either on the same lot as the use for which they are intended to serve or on another lot located within 750 feet of the lot; said distance to be measured horizontally along the streets between the two lots, except that where the parking area is located adjacent to an alley, public walk or private easement which is easily usable for pedestrian travel between the parking area and the use it is to serve, the 750-foot distance may be measured along said alley, walk or easement.
- 10.2.2 Curb cuts for driveways shall be located no closer than 50 feet to the intersection of two streets unless approved by The Department of Transportation.

- 10.2.3 Access driveways to parking facilities not at signalized intersections shall not exceed 28 feet in width. The minimum separation between drives located along the same frontage shall be 50 feet.
- 10.2.4 Parking and loading access shall be shared where feasible.
- 10.2.5 Priority placement within parking structures shall be given to bike parking, car-share parking, and other alternative ride vehicles.
- 10.2.6 Pedestrian entrances to all parking shall be directly from the street, except that underground parking garages may be entered directly from a building.

10.3 Screening

- 10.3.1 Above grade parking for the first 20 feet shall be lined with habitable floor area having a minimum depth of 20 feet along street frontages where feasible and shall be designed to blend in with the form and massing and to look like an integral part of the building, with the use of windows and/or cladding, or by landscaping, or green screens, or a combination thereof. The interior of a parking structure shall be designed to be screened from the view of streets and sidewalks.

10.4 Bicycle Standards

- 10.4.1 Bicycle parking shall be provided per Ordinance No.182386.

10.5 Transportation Demand Management Plan

- 10.5.1 The Project shall incorporate a comprehensive transportation demand management plan.
- 10.5.2 The transportation demand management plan shall set forth best practices that relate to the Project Site and the Project's building design features in order to:
- a. Promote bicycle and pedestrian circulation within the Project Site.
 - b. Promote alternative modes of transportation.
 - c. Create pedestrian linkages to public and private amenities outside the Project Site.
 - d. Provide convenient and attractive onsite pedestrian linkages for routes to the Metro Red Line Station at Hollywood Boulevard and Vine Street.
 - e. Provide adequate parking, but provide incentives to tenants and residents to utilize alternative modes of travel. The incentives shall include bicycle facilities, car sharing, discounted subway passes, and parking spaces as an only optional part of all lease and sale agreements.

11. SIGNAGE

11.1 Hollywood Signage Supplemental Use District

Signage shall be subject to Ordinance No. 181340: Hollywood Signage Supplemental Use District (Amended) pursuant to Section 13.11 of the Los Angeles Municipal Code.

11.2 Modification to Guidelines

Notwithstanding Section 11.1, high-rise signs located within 24 feet from the top of the building and meeting the requirements of the Building Code shall be permitted. See fig. 11.2.

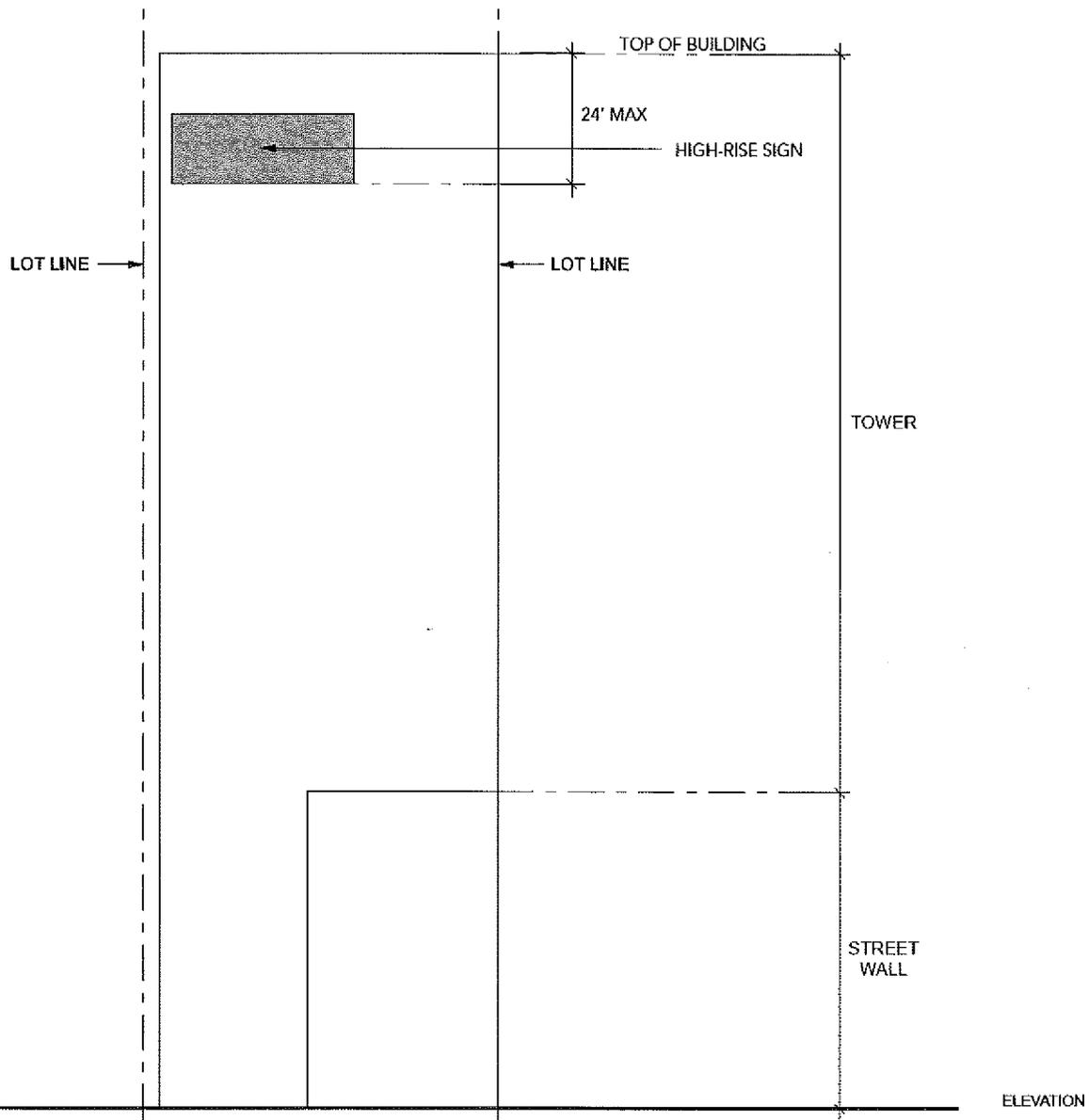


fig. 11.2: High Rise Sign

12. SUSTAINABILITY

12.1 Non-Residential Projects

The Standard of Sustainability establishes a requirement for non-residential projects at or above 50,000 square feet of floor area, high-rise residential (above six stories) projects at or above 50,000 square feet of floor area, or low-rise residential (six stories or less) of 50 or more dwelling units within buildings of at least 50,000 square feet of floor area to meet the intent of the Leadership in Energy and Environmental Design® (LEED®) Certified level. The Standard also applies to existing buildings that meet the minimum thresholds described above when redevelopment construction costs exceed a valuation of 50% of the existing building's replacement cost.

12.2 Other Projects

The project must include a LEED® Accredited Professional (LEED® AP) on the project team, and demonstrate that the project has met the intent of the US Green Building Council's (USGBC) LEED® Certified level. Formal certification by the USGBC is not required.

13. DEFINITIONS

Awning: glazing or fabric on metal frame structure supported entirely by the building to provide weather protection at doors, windows and/or storefronts; may be retractable.

Base: the lower portion of a building located at or within 150' above curb level.

Canopy: glazing, fabric and/or metal structure with vertical supports located on the sidewalk to provide weather protection at a building's primary entrance.

Expression band: a distinctive linear architectural element occurring on the building base facade at the highest floor. The band shall be contrasting in color, texture, material and/or fenestration from the adjacent building base facade. Projections may occur within an expression band.

Grade level open space: a continuous open space fronting the street and open to the sky.

Maximum building height: the maximum height permitted, measured from the adjacent street curb level.

Maintenance: the ongoing repair, care and upkeep of a property.

Open space use: active and passive recreational areas accessible to the general public, except as noted herein. Open spaces can occur in publicly accessible passageways, grade level open space, residential common open space and residential private open space which are defined herein.

Preservation: in conformance with standards and guidelines of the Secretary of the Interior, the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property.

Publicly accessible passageway: a continuous through-block public connection between two parallel streets, located on privately owned land and designated for and designed to encourage public pedestrian circulation and other appropriate public uses.

Rehabilitation: in conformance with standards and guidelines of the Secretary of the Interior, the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.

Required street wall: a wall or portion of a wall of a building facing a street or grade level open space which must be built to a maximum height above curb level.

Required street wall articulation, aggregate width of: the sum of the maximum widths of all segments of required street wall articulation on a street at the level of any story. The width of a required street wall articulation is measured in plan as the width of the street line from which perpendicular lines may be drawn to such required street wall articulation.

Residential common open space: a "rear yard" providing light and air to apartments on the interior of a parcel located at any story above curb level.

Residential private open space: open space that is contiguous to and immediately accessible only from a single dwelling unit.

Setting: the area or environment in which a historic property is found. It may be an urban or suburban neighborhood or a natural landscape in which a building has been constructed. Elements of setting can include the relationship of buildings to each other, setbacks, views, sidewalks, and street trees.

Storefront: the architectural facade, including doorways, of any tenant-leased premise perimeter adjacent to public circulation areas. Storefronts refers to all permitted residential, retail uses including retail, service, restaurants and cultural establishments and commercial uses, including but not limited to hotels and sports clubs.

Tower: the portion of a building located above 150' above curb level.

Transparency: architectural elements that can be seen through or allows light to emit through, including but not mited to glass, trellis and wire mesh.

Notes:

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