

MDPA

M. David Paul Associates



KILLEFER FLAMMANG ARCHITECTS



Katherine Spitz Associates, Inc.

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1625 OLYMPIC BOULEVARD
SANTA MONICA, CA 90404
310.399.7975
KFALOSANGELES.COM

IL VILLAGGIO TOSCANO
325 UNIT - 82' TALL SCHEME
4827 N. SEPULVEDA BLVD.
LOS ANGELES, CA 91403

M. David Paul Associates
100 Wilshire Blvd., Suite 1600
Santa Monica, CA 90401

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**ENTITLEMENT PLAN
CITY COUNCIL REVIEW SET**

NO NUMBER
29001

DATE
7.17.13

PROJECT

SHEET TITLE
COVER SHEET

SHEET NUMBER
A000

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1625 OLYMPIC BOULEVARD
SANTA MONICA, CA 90404
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FOR NUMBER:
29001
DATE:
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SHEET TITLE PLOT PLAN

SHEET NUMBER
A001
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LEGEND
§ SECURED ACCESS IN & OUT OF BUILDING

PROJECT SUMMARY

SITE ADDRESS:
4827 N. SEPULVEDA BLVD.
LOS ANGELES, CA 91403

LEGAL DESCRIPTION:
ASSESSOR'S PARCEL NO. 2264-002-001 THRU 008;
016 THRU 023, 024 THRU 025;
033 THRU 034

PARCEL A, PARCEL MAP L.A. NO. 3428 PER MAP FILED IN BOOK 85 OF PARCEL MAP, PAGES 97 AND 98; PORTIONS OF LOT 411, TRACT NO. 1000 PER MAP RECORDED IN BOOK 19, PAGES 1 THROUGH 34 OF MAPS; LOTS 1 THROUGH 5, 22 THROUGH 24 AND PORTIONS OF LOTS 6 THROUGH 8, 19 THROUGH 21, BLOCK 6, TRACT NO. 5526 PER MAP RECORDED IN BOOK 94, PAGES 87 AND 88 OF MAPS; PORTION OF LOTS 1 THROUGH 3, BLOCK 4, TRACT NO. 5526 PER MAP RECORDED IN BOOK 94, PAGES 87 AND 88 OF MAPS; ALL RECORDS OF LOS ANGELES COUNTY; PORTIONS OF PEACH AVENUE VACATED BY VACATION 80-27515 AND PORTIONS OF PEACH AVENUE AND LA MAIDA STREET TO BE VACATED.

PROJECT DESCRIPTION:
PROPOSED ZONING: C2

LOT AREA	SQUARE FEET	ACRES
EXISTING (ASSUMES NO VACATION OF LA MAIDA AND PEACH)	224,168	5.15
NET (INCLUDES PRE-DEDICATED LOT AREA, BUT NOT THE VACATED STREETS)	196,673	4.51
NET POST-DEDICATED (INCLUDES VACATED STREETS - STREET DEDICATIONS)	219,778	5.05

LOST TO SETBACKS (WITH VACATED STREETS)	SQUARE FEET	ACRES
18' SEPULVEDA FRONTAGE	712	
5' CAMARILLO SIDEYARD	3,103	
5' FREEWAY SIDEYARD	4,196	
TOTAL	8,011	

DENSITY	SQ. FT.	UNITS
POST RECORDATION OF MAP (INCLUDES VACATED STREETS - STREET DEDICATIONS)	219,778	325
UNITS PERMITTED BY C2 ZONE (1 UNIT PER 400 SF LOT AREA)		549
UNITS PERMITTED BY 12.22 A 18 (1 UNIT PER 200 SF OF LOT AREA)		1,099
UNITS PROPOSED BY PROJECT		325

FLOOR AREA	SQUARE FEET	FAR
POST RECORDATION (VACATED STREETS - STREET DEDICATIONS)	211,767	
PERMITTED BY HD 2	1,270,602	6
PROPOSED FLOOR AREA	476,475	2.25

BY USE	SQ. FT.	PERCENT
RETAIL	52,000	11%
RESIDENTIAL	424,475	89%
TOTAL	476,475	

OPEN SPACE	SF PER UNIT	UNITS	TOTAL SF
REQUIRED			
STUDIOS & 1-BEDROOM	100	168	16,800
2-BEDROOMS	125	137	17,125
TOWNHOMES/3-BEDROOMS	175	20	3,500
TOTAL		325	37,425
PROVIDED			TOTAL SF
EXTERIOR COMMON AREA			61,500
PUBLIC PLAZA			13,000
RESIDENTIAL USE OPEN SPACE			2,000
BALCONIES (LIMIT 50SF PER BALCONY)			16,250
TOTAL			92,750
SURPLUS OPEN SPACE			55,325

LOT COVERAGE	PERMITTED	PROPOSED
PERMITTED	75%	
PROPOSED		78.5%

TREES	REQUIRED (1 PER 4 UNITS)	PROVIDED
REQUIRED	82	
PROVIDED		135

BUILDING HEIGHT	PERMITTED	PROPOSED
PERMITTED	75'	
PROPOSED		82'

CAR PARKING	REQUIRED	SPACES/UNIT	UNITS	# OF SPACES
RESIDENTIAL	2		325	650
GUEST	0.5		325	163
TOTAL				813

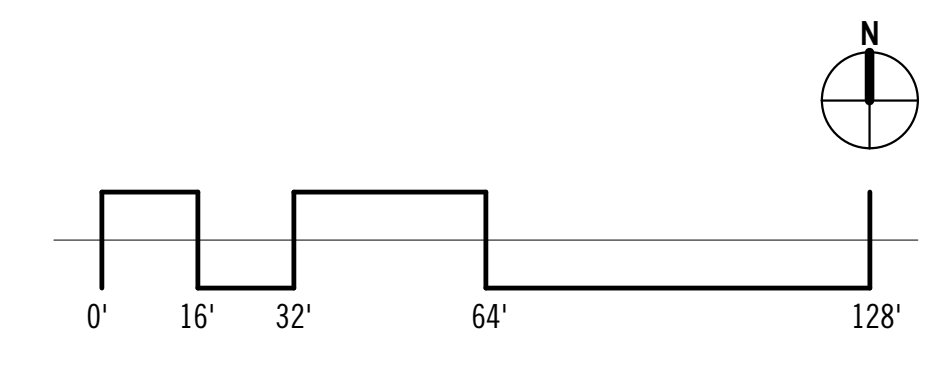
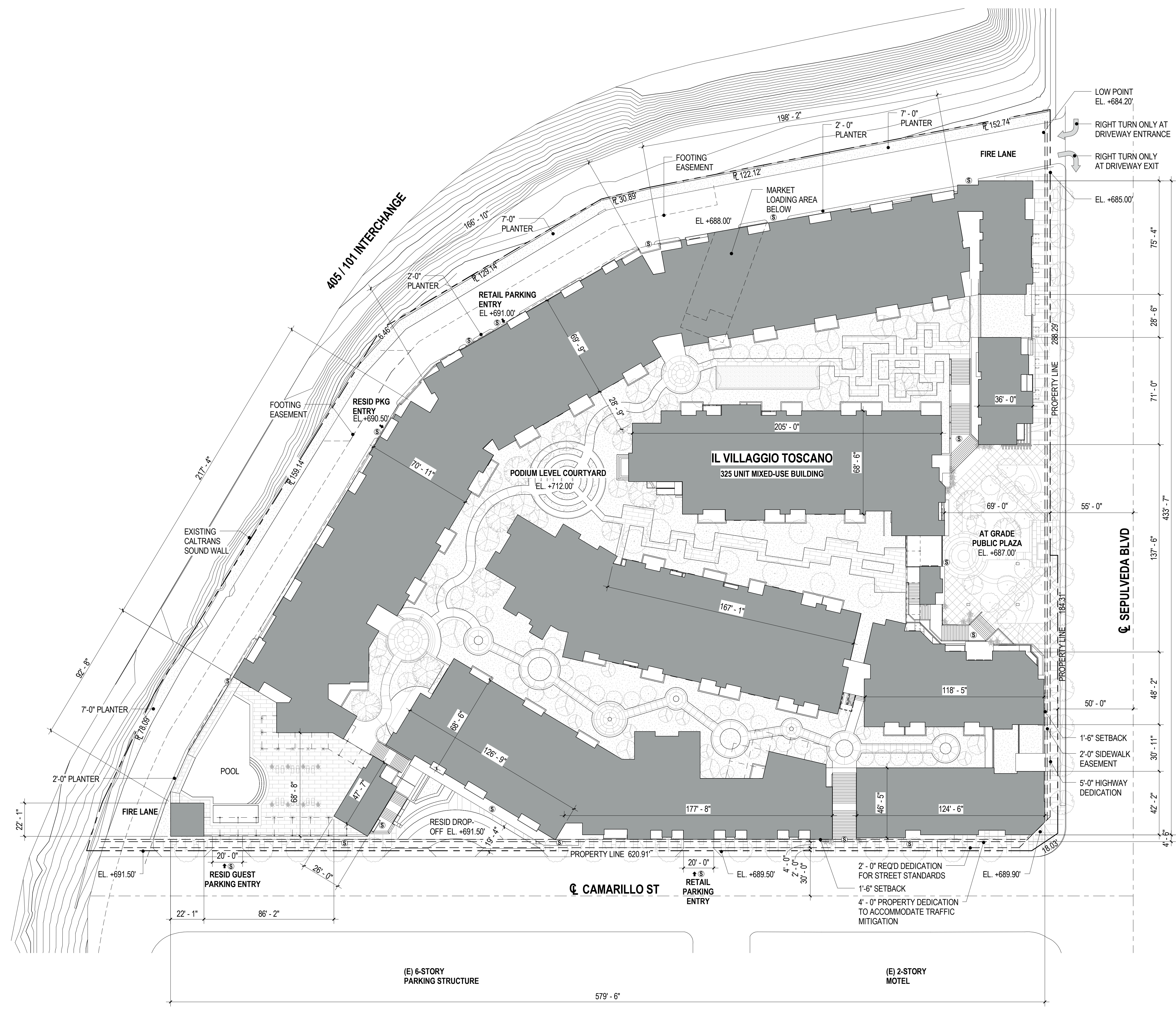
CAR PARKING	REQUIRED	SPACES/SF	SQ. FT.	# OF SPACES
RETAIL	4/1000		52,000	208
TOTAL REQUIRED CAR PARKING ON SITE				1,021
TOTAL PROVIDED CAR PARKING ON SITE				1,021

BIKE PARKING	REQUIRED PER LAMC 12.21 A.16	2% OF COMMERCIAL AUTO PARKING	2% OF 208	UNITS
REQUIRED PER LAMC 12.21 A.16				5
2% OF COMMERCIAL AUTO PARKING				5

PROPOSED BIKE PARKING ON SITE	RESIDENTIAL	LONG-TERM	SHORT-TERM	TOTAL
RESIDENTIAL	1	325	325	
LONG-TERM		.1	325	33
SHORT-TERM				358
TOTAL				

RETAIL	LONG-TERM	SHORT-TERM	TOTAL
RETAIL	1/2000	52,000	26
LONG-TERM	1/2000	52,000	26
SHORT-TERM			26
TOTAL			52
TOTAL PROVIDED BIKE PARKING ON SITE			410

UNIT MIX	LEVEL	ST	1-BR	2-BR	TH	UNITS/LEVEL
	3	1	33	26	20	80
	4	1	35	29		65
	5	1	37	28		66
	6	1	35	28		64
	7	1	23	26		50
TOTAL	5	5	163	137	20	325



PLOT PLAN
1/32" = 1'-0"



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Santa Monica, CA 90401

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**ENTITLEMENT PLAN
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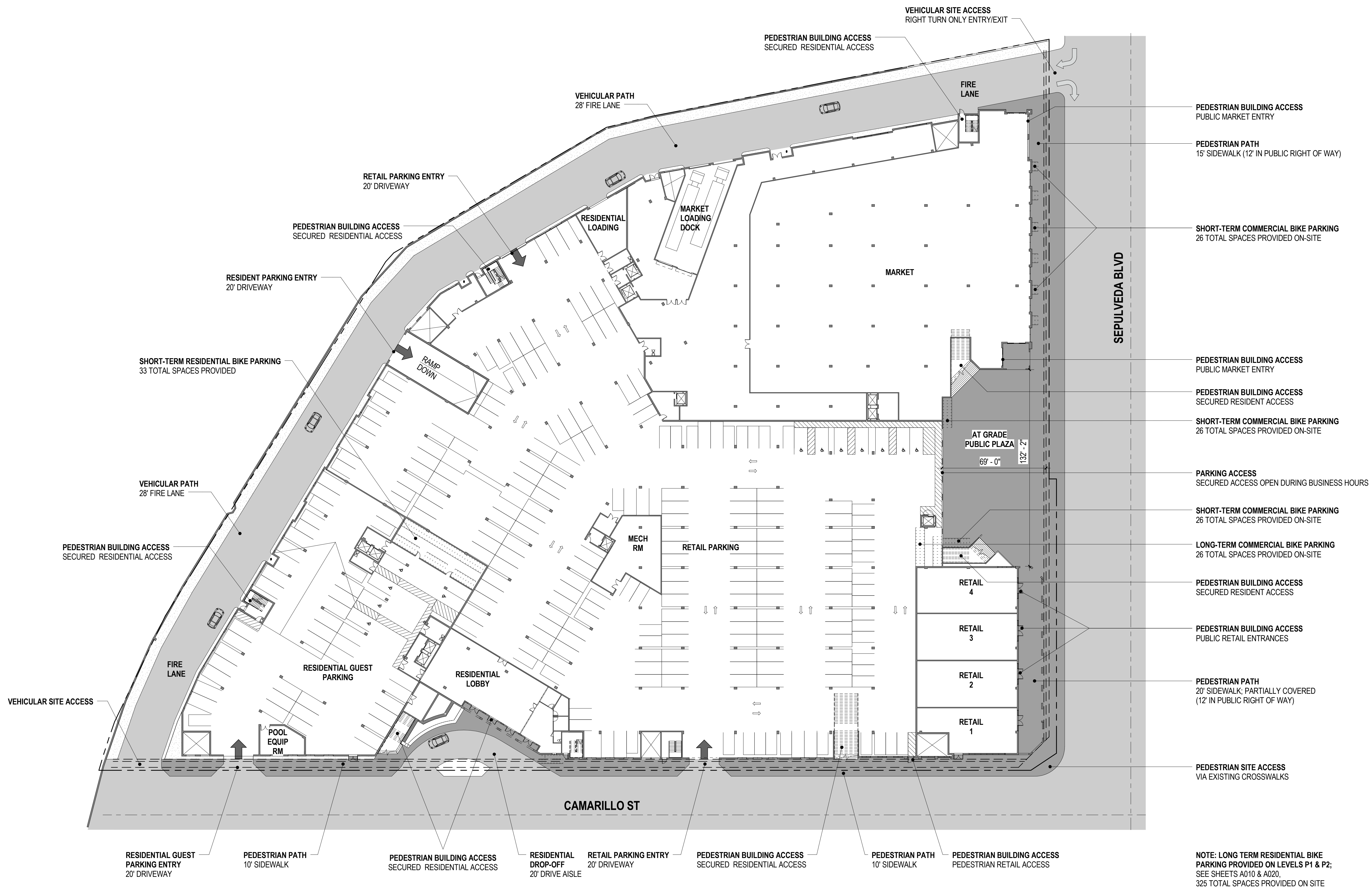
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7.17.13
PROJECT:

**GROUND FLOOR
ACCESS EXHIBIT**

A002

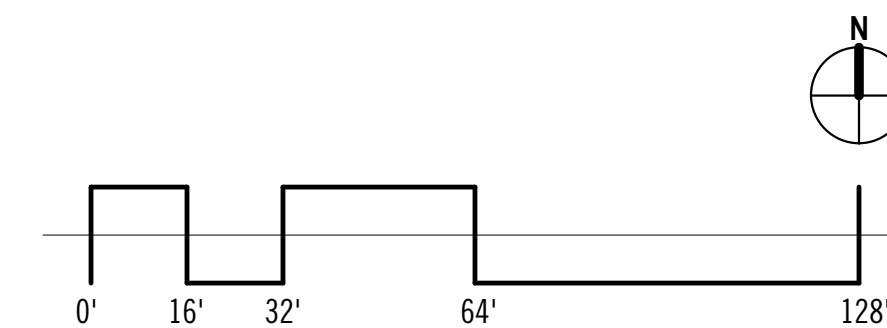
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NOTES



LEGEND

- VEHICULAR PATHS
- PROTECTED PEDESTRIAN PATHS



GROUND FLOOR ACCESS EXHIBIT
1/32" = 1'-0"

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 REVISIONS:

LANDSCAPE CONCEPT PLAN

A003

7'-0" WIDE PLANTING STRIP ALONG ENTIRE LENGTH OF EXISTING RETAINING SOUND WALL

BAMBUSA OLDHAMII 'TIMBER BAMBOO'
 15 GC @ 36" O.C.

2'-0" WIDE PLANTING STRIP ALONG THE LENGTH OF BUILDING
 DREPANOSTACHYUM HOOKERIANUM 'BLUE BAMBOO'
 5 GC @ 30" O.C.

THE PARK

-TREES:

GEIJERA PARVIFLORA 24" BOX
 CHITALPA 24" BOX
 ACACIA STENOPHYLLA 24" BOX
 CHILOPSIS 24" BOX
 KOELREUTERIA PANICULATA 24" BOX

-SHRUBS AND GRASSES:

NASELLA TENUISSIMA 1 GC @ 18" O.C.
 CALAMAGROSTIS 'KARL FOERSTER' 1 GC @ 18" O.C.
 LEYMUS 1 GC @ 18" O.C.
 MUHLENBERGIA 1 GC @ 18" O.C.
 CEANOTHUS SP. 5 GC @ 36" O.C.
 ARCTOSTAPHYLOS SP. 5 GC @ 36" O.C.

SUCCULENT GARDEN

-SHRUBS:

DRACAENA DRACO 24" BOX & 15 GC
 AGAVE VILMORIANA 15 GC @ 48" O.C.
 SENECIO MANDRALISCAE FLATS
 DASYLIRION 5 G.C. @ 24" O.C.
 YUCCA PENDULA 5 GC @ 36" O.C.
 YUCCA ROSTRATA - ACCENT

POOL TERRACE

-SHRUBS & VINES:

THUJA 15 GC
 CLYTOSTOMA CALLISTEGIOIDES 15 C.G.

-TREES:

24" BOX
 FLOWERING TREES

DROP OFF AREA

-TREES

CUPRESSUS SEMPERVIRENS 36" BOX
 ROSMARINUS OFFICINALIS 'PROSTRATUS'



FRENCH COURTYARD

-TREES:

PYRUS CALLERYANA 24" BOX

-SHRUBS:

PRUNUS CAROLINIANA 15 GC @ 48" O.C.
 BUXUS SP. 15 GC @ 24" O.C.
 ABUTILON SP. 5 GC @ 36" O.C.

CENTRAL GARDEN

-TREES:

BETULA SP. 24" BOX
 MAGNOLIA SOULANGEANA 24" BOX
 DICKSONIA SP. 24" BOX

-SHRUBS:

PITTOSPORUM TUBIRA VARIEGATA 15 GC @ 36" O.C.
 BRUNFELSIA SP. 5 GC @ 36" O.C.
 AZALEA ALASKA 5 GC @ 36" O.C.
 COCCULUS LAURIFOLIUS 15 GC @ 48" O.C.
 LIRIOPE SP. 1 GC @ 24" O.C.
 CLIVIA 5 GC @ 24" O.C.
 JUNCUS SP. 1 GC @ 24" O.C.
 PODOCARPUS SP. 15 GC @ 48" O.C.
 TRACHELOSPERMUM FLATS
 VINCA FLATS
 LANTANA FLATS

SPRING GARDEN

-TREES:

PRUNUS CERASIFERA
 MAGNOLIA SOULANGEANA

-SHRUBS:

LOROPETALUM 5 GC @ 36" O.C.
 CAMELLIA SP. 5 GC @ 36" O.C.
 PITTOSPORUM TOBIRA VARIAGATA 15 GC @ 40" O.C.
 ACER PALMATUM 24" BOX

TERRACED STAIR GARDEN

KORNEGAY POTS WITH A MIX OF:

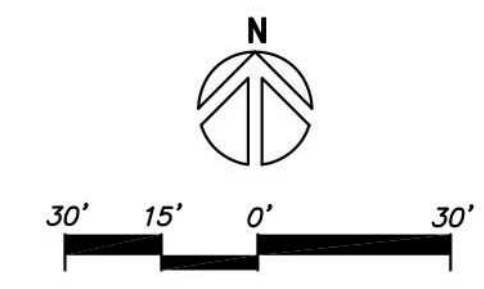
THUJA 15 GC
 DWARF CITRUS 15 GC
 PERENNIALS & ANNUALS 1 GC

NEW STREET & PLANTING AT THE BASE OF THE VILLA

-TREE TYPE PER LOS ANGELES RIVER MASTER PLAN LANDSCAPE GUIDELINES. TREES TO BE PLANTED AT A MAX SPACING OF 25FT TO PROVIDE CONSTANT SHADE

-SHRUBS & VINES:

ROSEMARINUS SP. 5 GC @ 24" O.C.
 MYRTUS COMMUNIS 5 GC @ 24" O.C.
 CEANOTHUS SP. 5 GC @ 36" O.C.
 DISTICTIS SP 15 GC @ 6' O.C.



LANDSCAPE PLAN
 1" = 30'-0"



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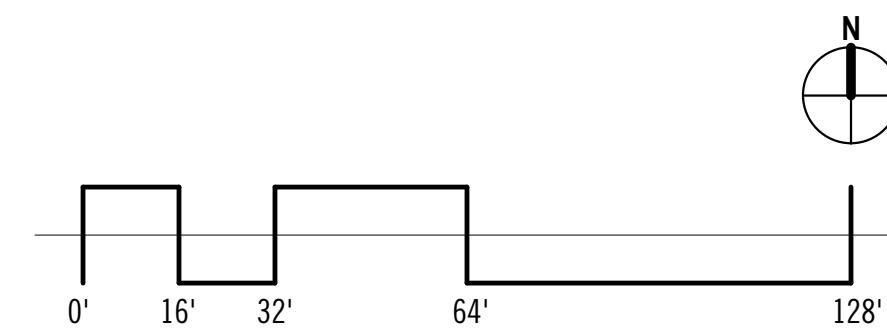
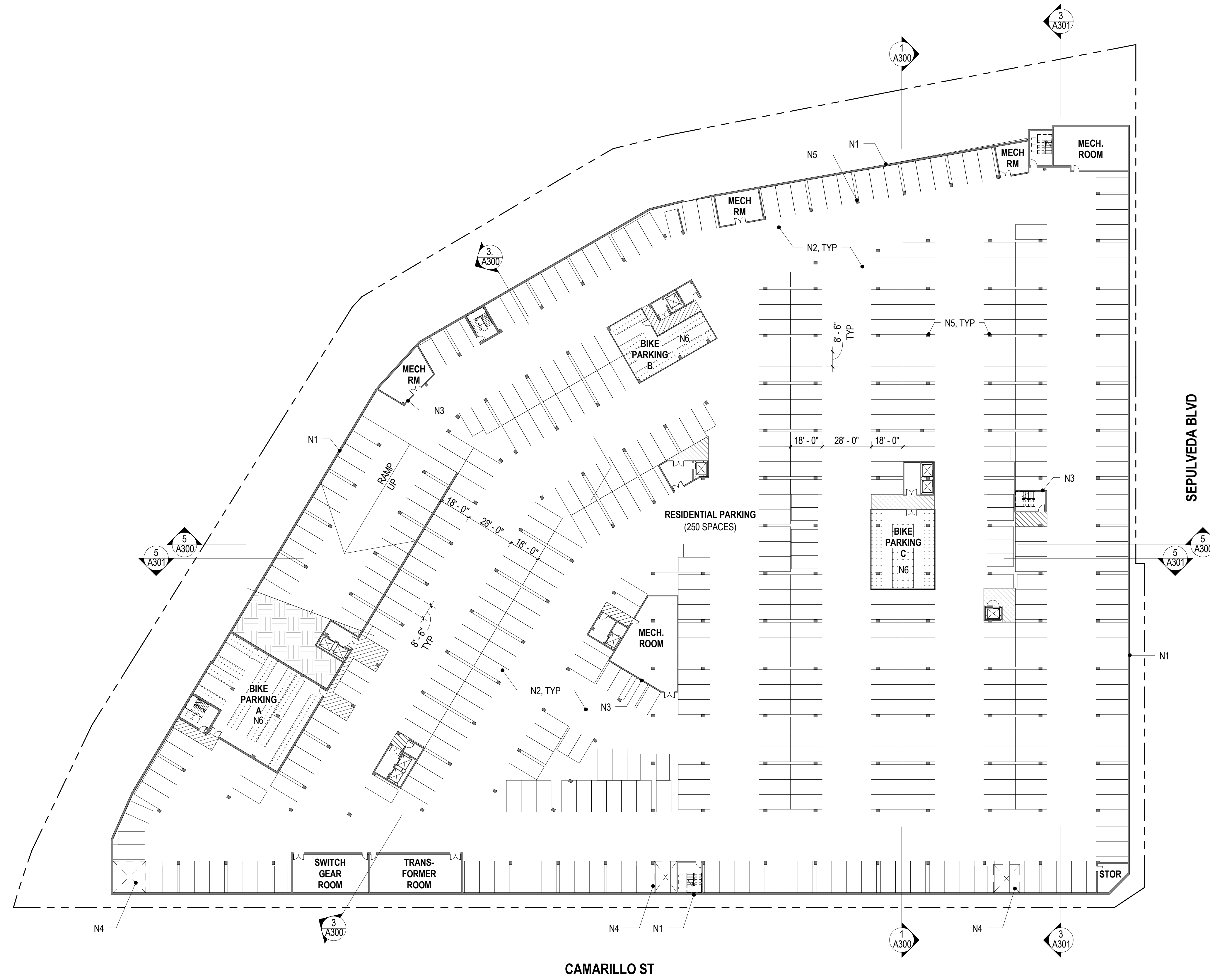
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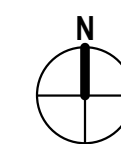
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NOTES

1. CONC. WALL AT PERIMETER
2. CONC. SLAB ON GRADE
3. CMU WALL, TYP
4. MAKE-UP AIR SHAFT ABOVE
5. CONCRETE COLUMN, TYP
6. LONG-TERM RESIDENTIAL BIKE PARKING



LEVEL P2 PLAN
1/32" = 1'-0"



5

PARKING

RESIDENTIAL PARKING	
2.0 SPACES PER UNIT X 325 UNITS (20 ACCESSIBLE SPACES)	650 SPACES
0.5 SPACES PER UNIT X 325 UNITS (5 ACCESSIBLE SPACES)	163 SPACES
RETAIL PARKING	
RETAIL-4 PER 1000 SF (52,000 SF) (7 ACCESSIBLE SPACES PER TABLE 11B-6)	208 SPACES
TOTAL REQUIRED (32 ACCESSIBLE SPACES)	1,021 SPACES
TOTAL PROVIDED	1,021 SPACES

SHEET TITLE: P2 PLAN

SHEET NUMBER: A010

7/17/13 4:47 PM



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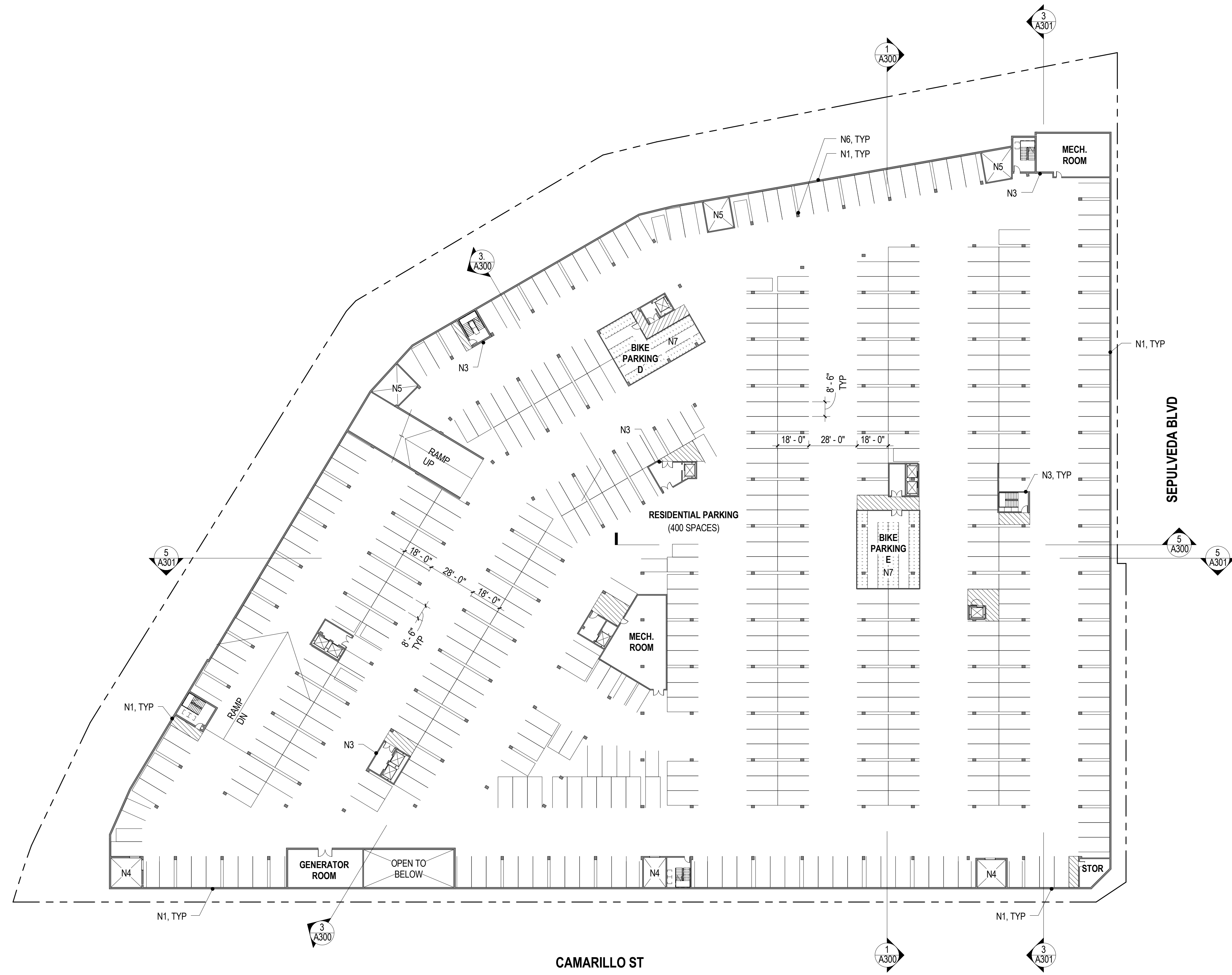
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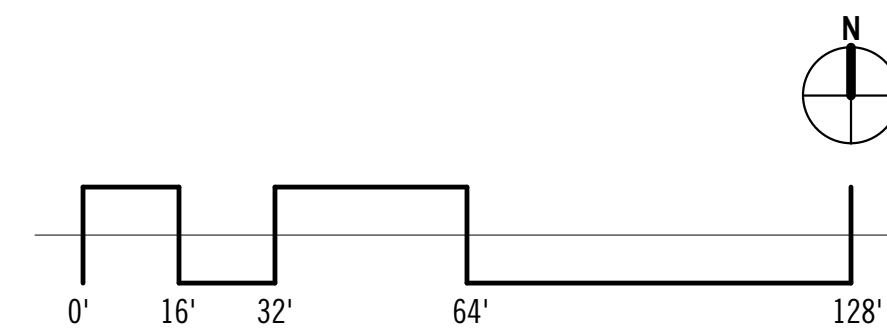
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NOTES

1. CONC. WALL AT PERIMETER
2. CONC. STRUCTURAL SLAB
3. CMU WALL, TYP
4. MAKE-UP AIR SHAFT
5. GARAGE EXHAUST SHAFT
6. CONCRETE COLUMN, TYP
7. LONG-TERM RESIDENTIAL BIKE PARKING



LEVEL P1 PLAN
1/32" = 1'-0"



PARKING

RESIDENTIAL PARKING	
2.0 SPACES PER UNIT X 325 UNITS (20 ACCESSIBLE SPACES)	650 SPACES
0.5 SPACES PER UNIT X 325 UNITS (5 ACCESSIBLE SPACES)	163 SPACES
RETAIL PARKING	
RETAIL-4 PER 1000 SF (52,000 SF) (7 ACCESSIBLE SPACES PER TABLE 11B-6)	208 SPACES
TOTAL REQUIRED (32 ACCESSIBLE SPACES)	1,021 SPACES
TOTAL PROVIDED	1,021 SPACES

SHEET TITLE

P1 PLAN

SHEET NUMBER

A020

7/17/13 4:41 PM



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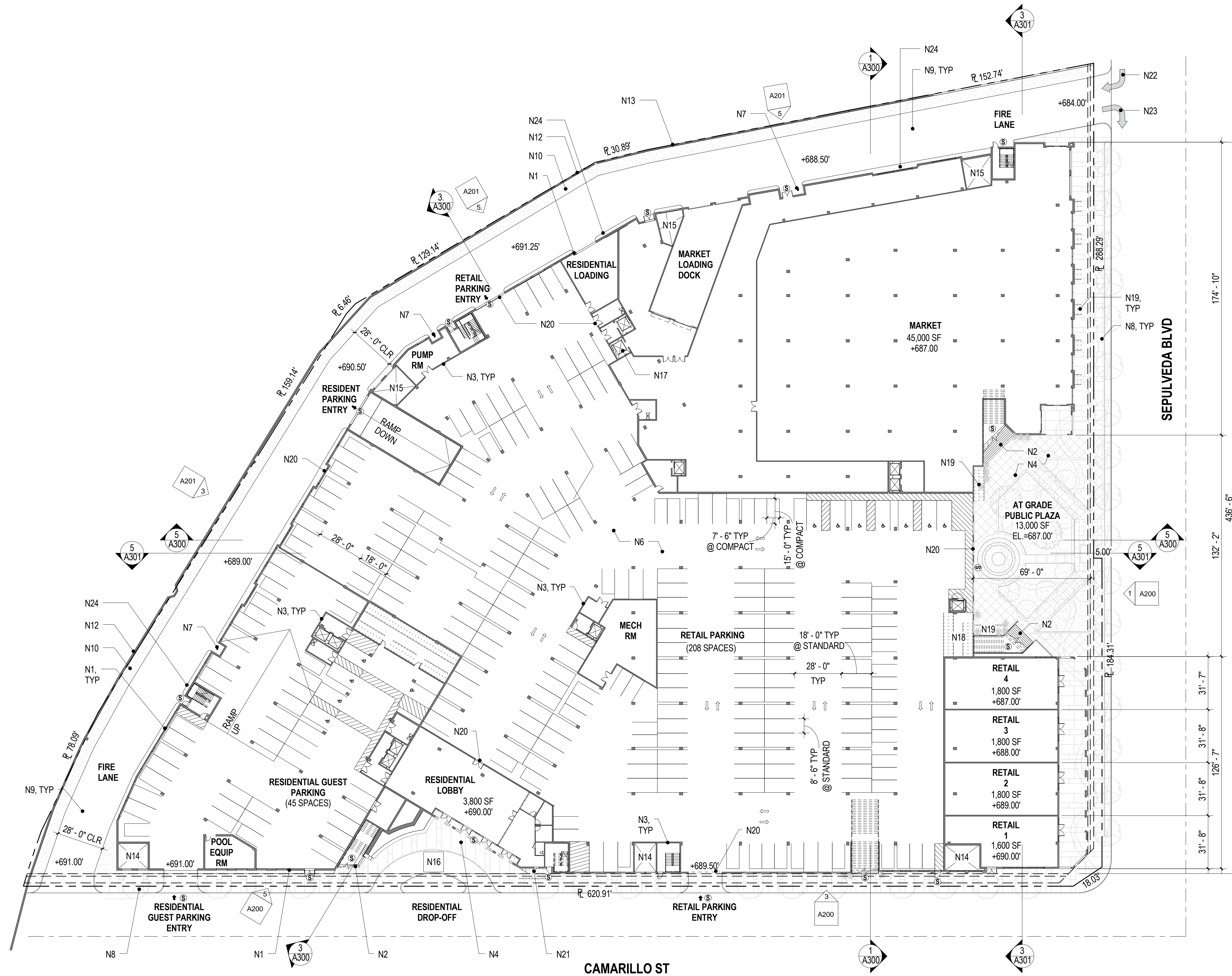
NO. 29001

DATE: 7.17.13

PROJECT:

NOTES

1. CONCRETE WALL W/ EXTERIOR PLASTER FINISH, PTD
2. COLORED CONCRETE STAIRS
3. CMU WALL, PTD
4. CONCRETE PAVERS
5. STREET TREE. SEE LANDSCAPE DRAWINGS
6. CONCRETE STRUCTURAL DECK
7. FIRE HYDRANT
8. CONCRETE SIDEWALK PER CITY STANDARDS
9. ASPHALT PAVING
10. 7' LANDSCAPE PLANTER
11. RETRACTABLE AWNING
12. (E) CALTRANS RETAINING WALL
13. CMU FENCE WALL
14. MAKE-UP AIR SHAFT
15. GARAGE EXHAUST SHAFT
16. TRANSFORMER COVER
17. SERVICE ELEVATOR
18. LONG-TERM COMMERCIAL BIKE PARKING SPACE
19. SHORT-TERM COMMERCIAL BIKE PARKING SPACE
20. LINE OF SHOPPING CART CONTAINMENT; SHOPPING CARTS TO BE CONTAINED WITHIN RETAIL PARKING (NO USE OF PLAZA, FIRE LANE OR PUBLIC SIDEWALKS)
21. SHORT-TERM RESIDENTIAL BIKE PARKING SPACE
22. RIGHT TURN ONLY AT DRIVEWAY ENTRANCE
23. RIGHT TURN ONLY AT DRIVEWAY EXIT
24. 2' LANDSCAPE PLANTER



1ST FLOOR PLAN
1/32" = 1'-0"

PARKING

RESIDENTIAL PARKING	650 SPACES
2.0 SPACES PER UNIT X 325 UNITS (20 ACCESSIBLE SPACES)	
0.5 SPACES PER UNIT X 325 UNITS (5 ACCESSIBLE SPACES)	163 SPACES
RETAIL PARKING	208 SPACES
RETAIL-4 PER 1000 SF (52,000 SF) (7 ACCESSIBLE SPACES PER TABLE 11B-6)	
TOTAL REQUIRED (32 ACCESSIBLE SPACES)	1,021 SPACES
TOTAL PROVIDED	1,021 SPACES

LEGEND

- Ⓢ SECURED ACCESS IN & OUT OF BUILDING

1ST FLOOR PLAN

NO. 29001
A110



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NO.

DATE

DESCRIPTION

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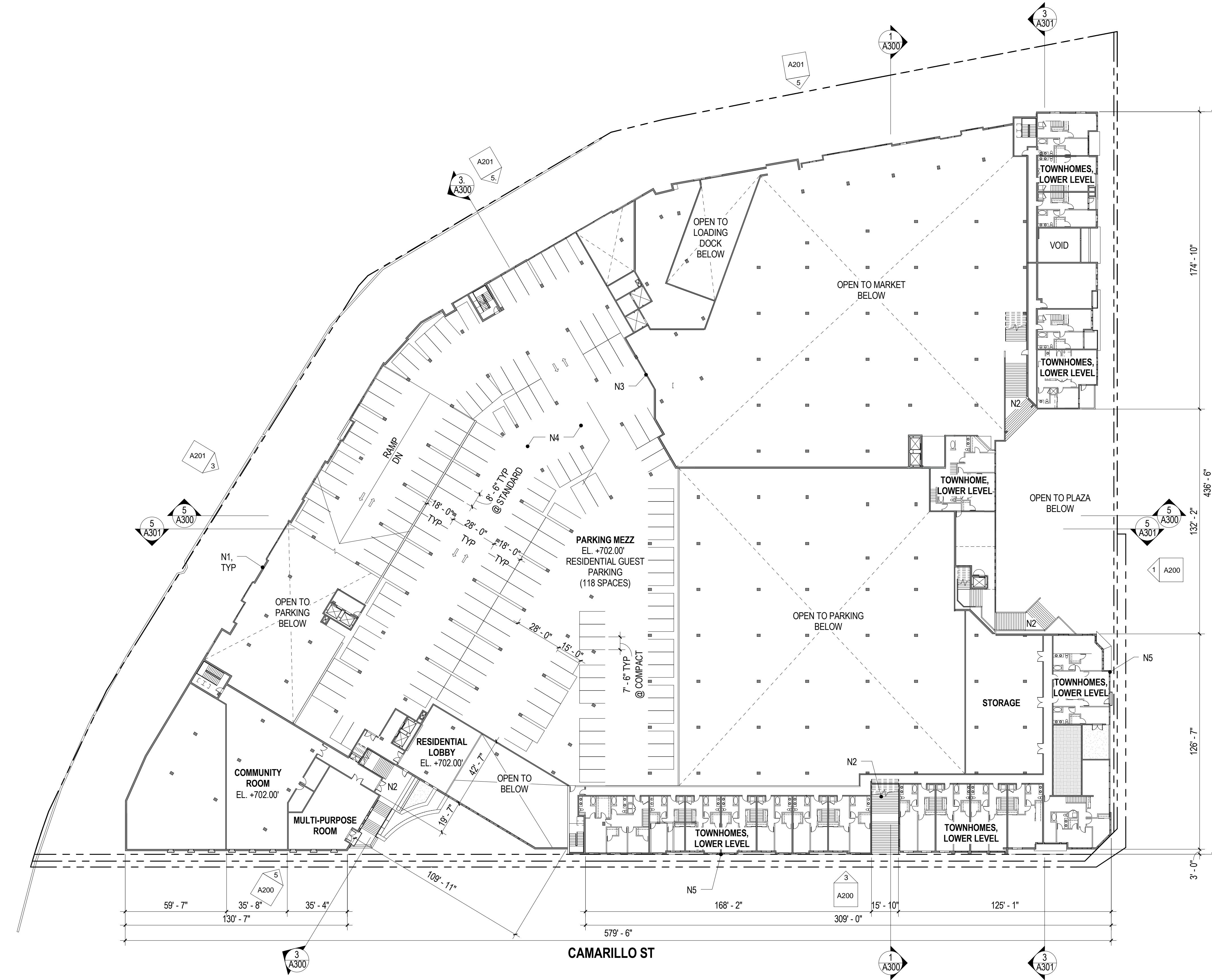
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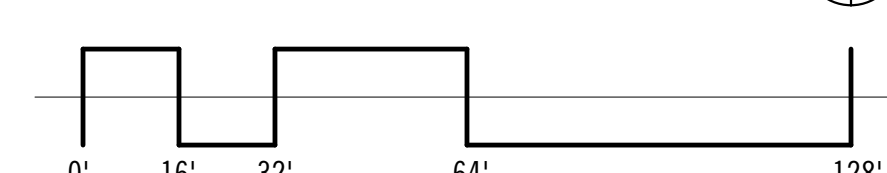
NOTES

1. CONC WALL WITH EXTERIOR PLASTER FINISH, PTD
2. COLORED CONCRETE STAIRS
3. CMU WALL, PTD
4. CONCRETE STRUCTURAL DECK
5. STEEL STUD WALL W/ EXTERIOR PLASTER FINISH, PTD



SEPULVEDA BLVD

CAMARILLO ST



2ND FLOOR PLAN
1/32" = 1'-0"

5

PARKING

RESIDENTIAL PARKING	
2.0 SPACES PER UNIT X 325 UNITS (20 ACCESSIBLE SPACES)	650 SPACES
0.5 SPACES PER UNIT X 325 UNITS (5 ACCESSIBLE SPACES)	163 SPACES
RETAIL PARKING	
RETAIL-4 PER 1000 SF (52,000 SF) (7 ACCESSIBLE SPACES PER TABLE 11B-6)	208 SPACES
TOTAL REQUIRED (32 ACCESSIBLE SPACES)	1,021 SPACES
TOTAL PROVIDED	1,021 SPACES

SHEET TITLE 2ND FLOOR PLAN

SHEET NUMBER
A120

7/17/2013 4:47:17 PM



1625 OLYMPIC BOULEVARD
SANTA MONICA, CA 90404
310.399.7975
KFALOSANGELES.COM

IL VILLAGGIO TOSCANO

325 UNIT - 82' TALL SCHEME
4827 N. SEPULVEDA BLVD.
LOS ANGELES, CA 91403

M. David Paul Associates
100 Wilshire Blvd., Suite 1600
Santa Monica, CA 90401

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ENTITLEMENT PLAN CITY COUNCIL REVIEW SET

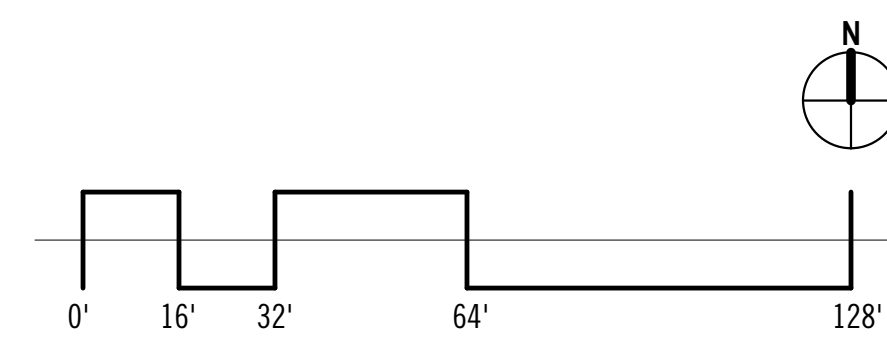
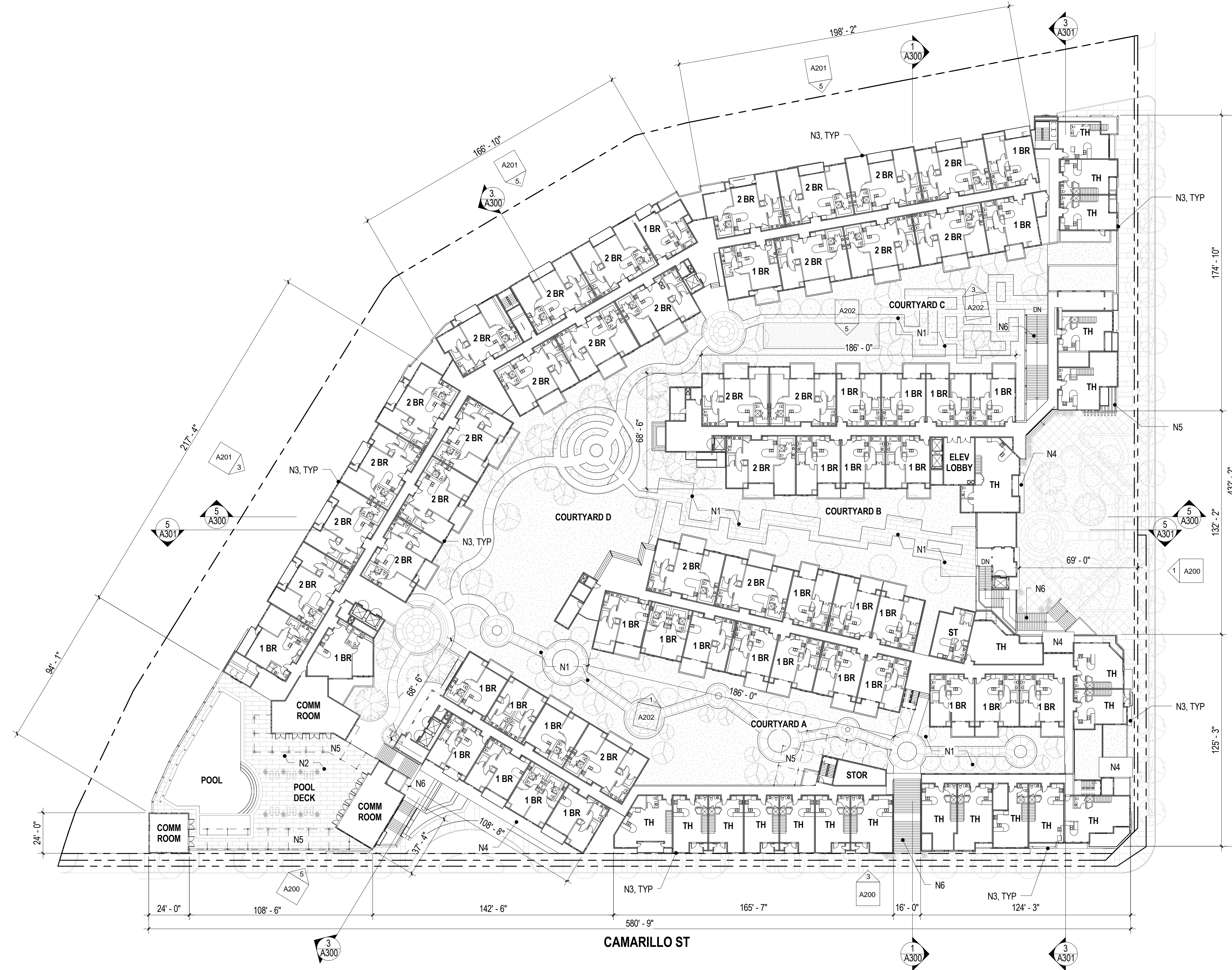
PROJECT NUMBER:
29001
DATE:
7.17.13
REVISIONS:

SHEET TITLE: 3RD FLOOR PLAN

SHEET NUMBER:
A130
7/17/2013 4:43:01 PM

NOTES

1. LANDSCAPED COURTYARD ON CONCRETE STRUCTURAL DECK. SEE A003.
2. CONCRETE PAVERS
3. STEEL STUD WALLS WITH EXTERIOR PLASTER FINISH, PTD
4. CONCRETE TILE ROOF BELOW
5. STEEL TRELIS, PTD
6. COLORED CONCRETE STAIRS



3RD FLOOR PLAN
1/32" = 1'-0"

5



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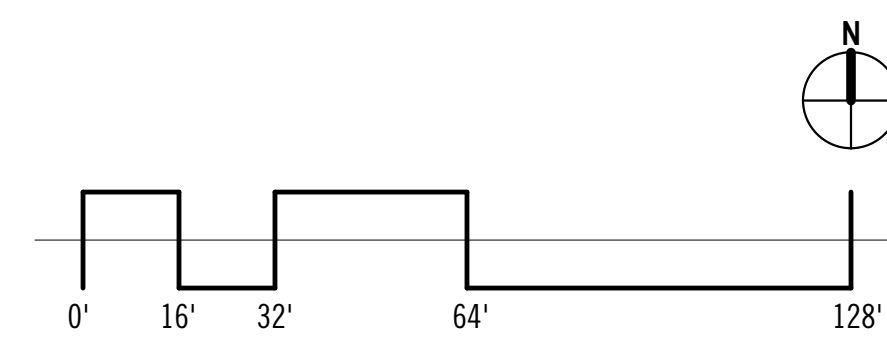
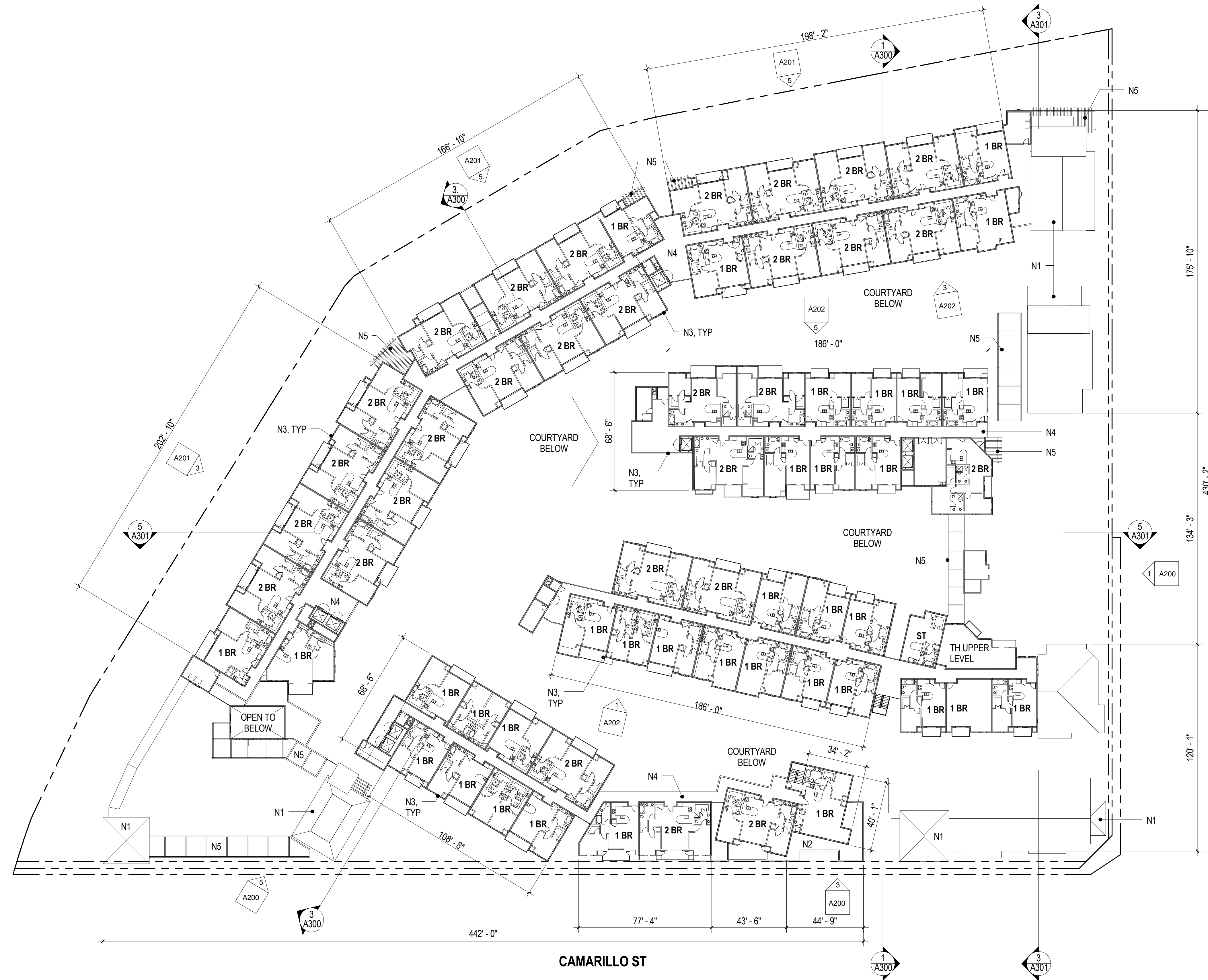
PROJECT NUMBER:
29001
DATE:
7.17.13
PROJECT:

4TH FLOOR PLAN

SHEET NUMBER:
A140

NOTES

1. CONCRETE TILE ROOF BELOW.
2. BUILT-UP ROOF BELOW.
3. STEEL STUD WALLS WITH EXTERIOR PLASTER FINISH, PTD.
4. EXTERIOR WALKWAY/ CORRIDOR.
5. STEEL TRELLIS, PTD.



4TH FLOOR PLAN
1/32" = 1'-0"

5



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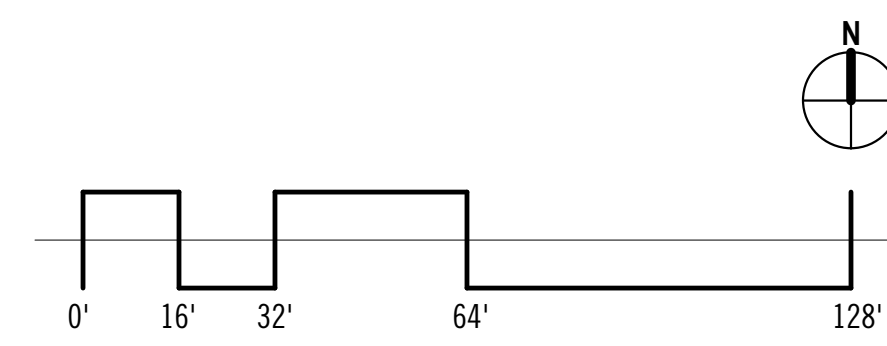
PROJECT NUMBER:
29001
DATE:
7.17.13
REVISIONS:

SHEET TITLE: 5TH FLOOR PLAN

SHEET NUMBER:
A150
7/17/2013 4:47:41 PM

NOTES

1. CONCRETE TILE ROOF BELOW.
2. BUILT-UP ROOF BELOW.
3. STEEL STUD WALLS WITH EXTERIOR PLASTER FINISH, PTD.
4. EXTERIOR WALKWAY/ CORRIDOR.
5. STEEL TRELLIS, PTD.



5TH FLOOR PLAN
1/32" = 1'-0" 5



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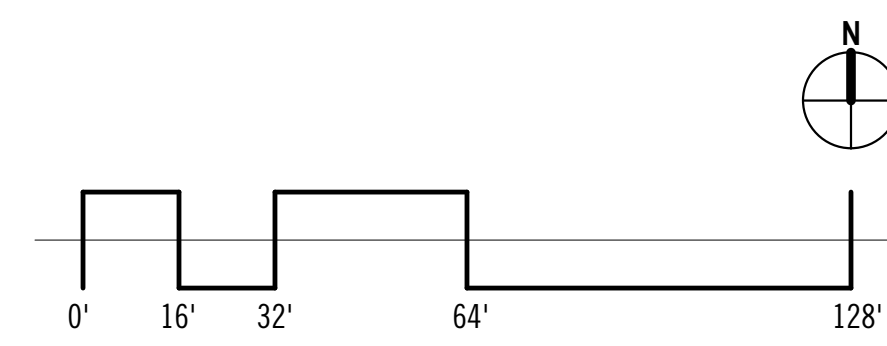
PROJECT NUMBER:
29001
DATE:
7.17.13
REVISIONS:

SHEET TITLE:
6TH FLOOR PLAN

SHEET NUMBER:
A160

NOTES

1. CONCRETE TILE ROOF BELOW.
2. BUILT-UP ROOF BELOW.
3. STEEL STUD WALLS WITH EXTERIOR PLASTER FINISH, PTD.
4. EXTERIOR WALKWAY/ CORRIDOR.
5. STEEL TRELLIS, PTD.



6TH FLOOR PLAN
1/32" = 1'-0"

5



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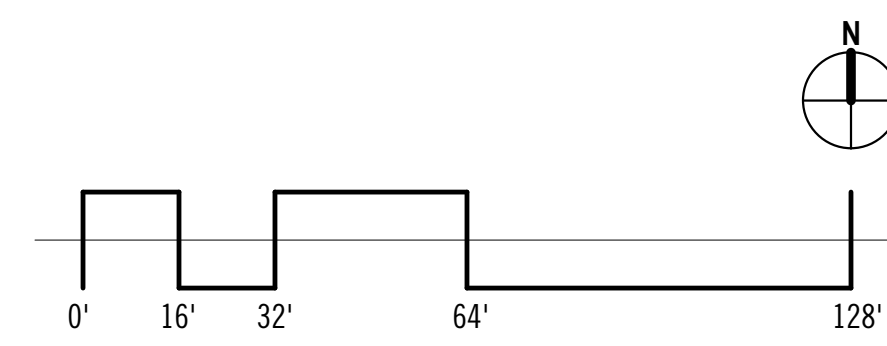
PROJECT NUMBER:
 29001
 DATE:
 7.17.13
 PROJECT:

SHEET TITLE: 7TH FLOOR PLAN

SHEET NUMBER:
A170
7/17/2013 4:47:51 PM

NOTES

1. CONCRETE TILE ROOF BELOW.
2. BUILT-UP ROOF BELOW.
3. STEEL STUD WALLS WITH EXTERIOR PLASTER FINISH, PTD.
4. EXTERIOR WALKWAY/ CORRIDOR.
5. STEEL TRELLIS, PTD.



7TH FLOOR PLAN
 1/32" = 1'-0"

5



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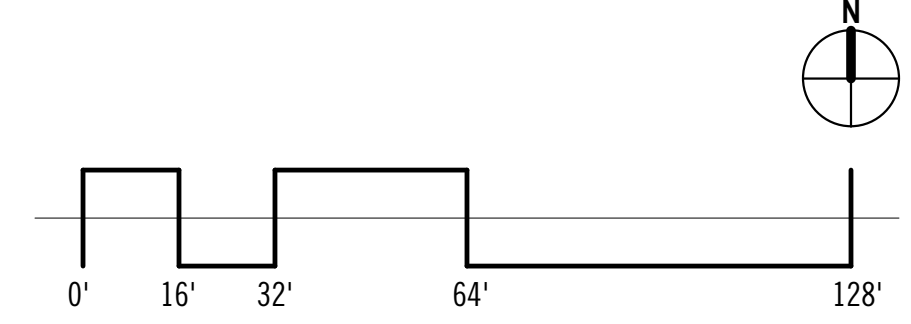
PROJECT NUMBER:
29001
 DATE:
7.17.13
 REVISIONS:

SHEET TITLE:
ROOF PLAN

SHEET NUMBER:
A180

NOTES

1. CONCRETE TILE ROOF SLOPED AT 4:12
2. ELEVATOR/STAIR SHAFT ROOF, SLOPED
3. STEEL TRELLIS, PTD



ROOF PLAN
 1/32" = 1'-0"

5



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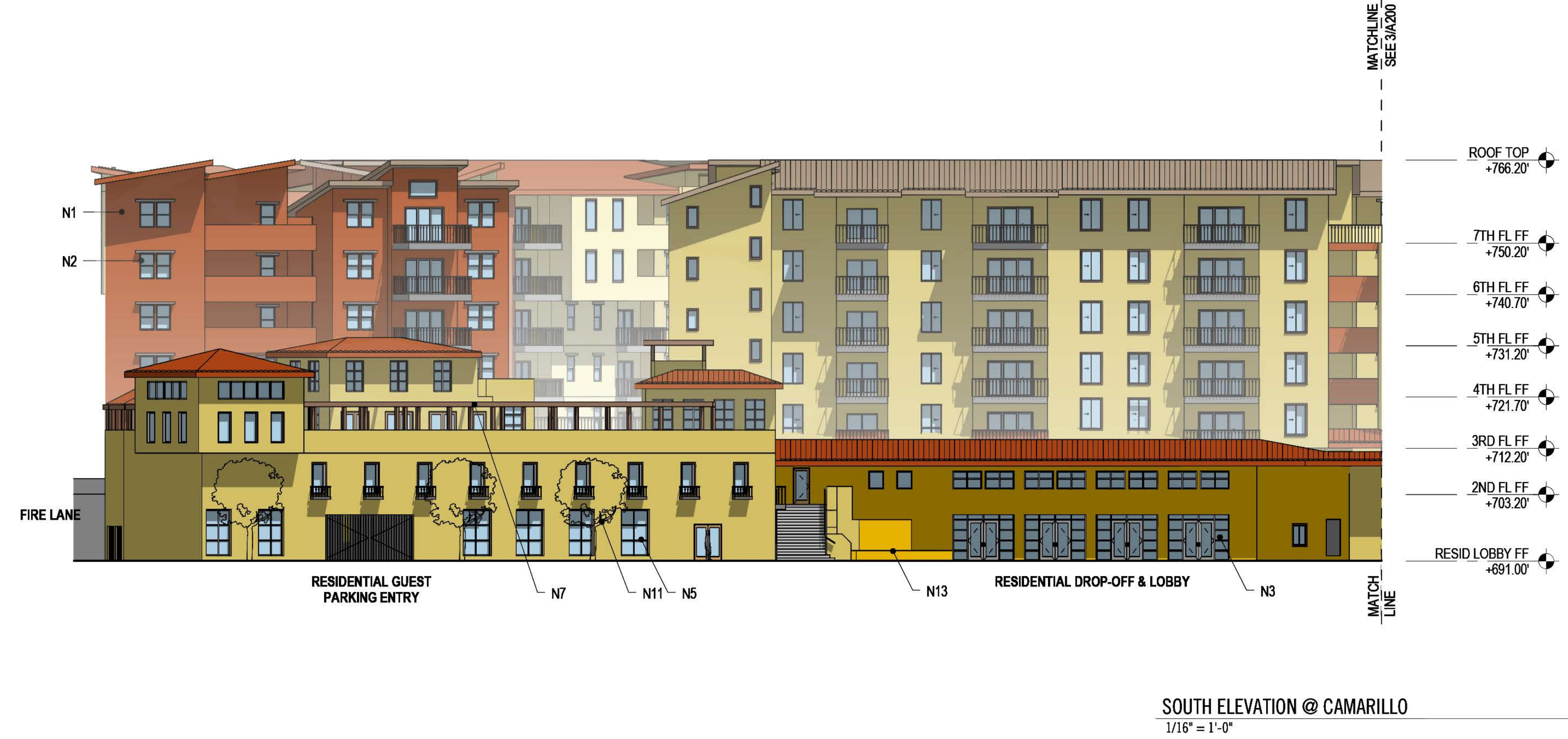
NO. 29001
DATE: 7.17.13
REVISED:

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A200
ISSUED FOR PERMIT

NOTES

1. EXTERIOR PLASTER, PTD. TYP
2. DUAL-GLAZED, LOW-E, VINYL WINDOW, TYP
3. ALUM STOREFRONT W/ KYNAR FINISH, TYP
4. CONC TILE ROOF, TYP
5. ORNAMENTAL IRON SCREEN, PTD
6. ORNAMENTAL IRON GUARDRAIL, PTD. TYP
7. STL TRELLIS, PTD
8. RETRACTABLE FABRIC AWNING
9. EXTERIOR PLASTER TRIM, PTD
10. FIBER CEMENT BOARD TRIM, PTD
11. STREET TREE
12. PLANTER
13. FOUNTAIN
14. TILT-UP GATE
15. LOW POINT OF SITE, 5'-0" FROM BLDG
16. COILING ROLL-UP DOOR, PTD
17. FIRE HYDRANT
18. STAIR TOWER





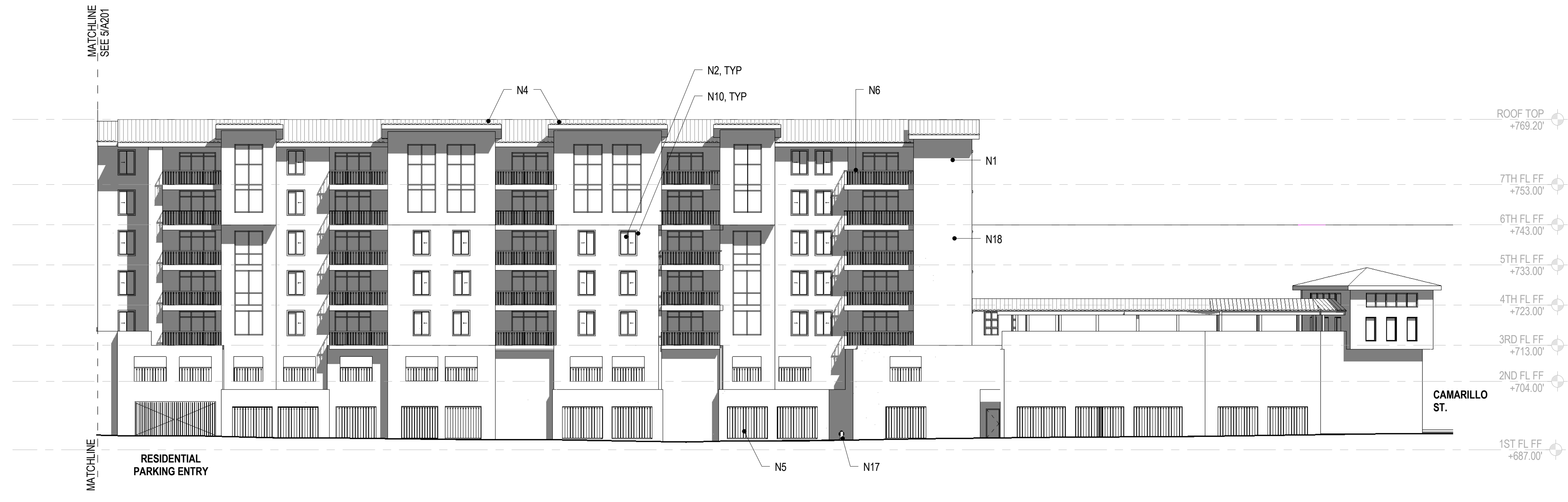
1625 OLYMPIC BOULEVARD
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NOTES

1. EXTERIOR PLASTER, PTD, TYP
2. DUAL-GLAZED, LOW-E, VINYL WINDOW, TYP
3. ALUM STOREFRONT W/ KYNAR FINISH, TYP
4. CONC TILE ROOF, TYP
5. ORNAMENTAL IRON SCREEN, PTD
6. ORNAMENTAL IRON GUARDRAIL, PTD, TYP
7. STL TRELLIS, PTD
8. RETRACTABLE FABRIC AWNING
9. EXTERIOR PLASTER TRIM, PTD
10. FIBER CEMENT BOARD TRIM, PTD
11. STREET TREE
12. PLANTER
13. FOUNTAIN
14. TILT-UP GATE
15. LOW POINT OF SITE, 5'-0" FROM BLDG
16. COILING ROLL-UP DOOR, PTD
17. FIRE HYDRANT
18. STAIR TOWER

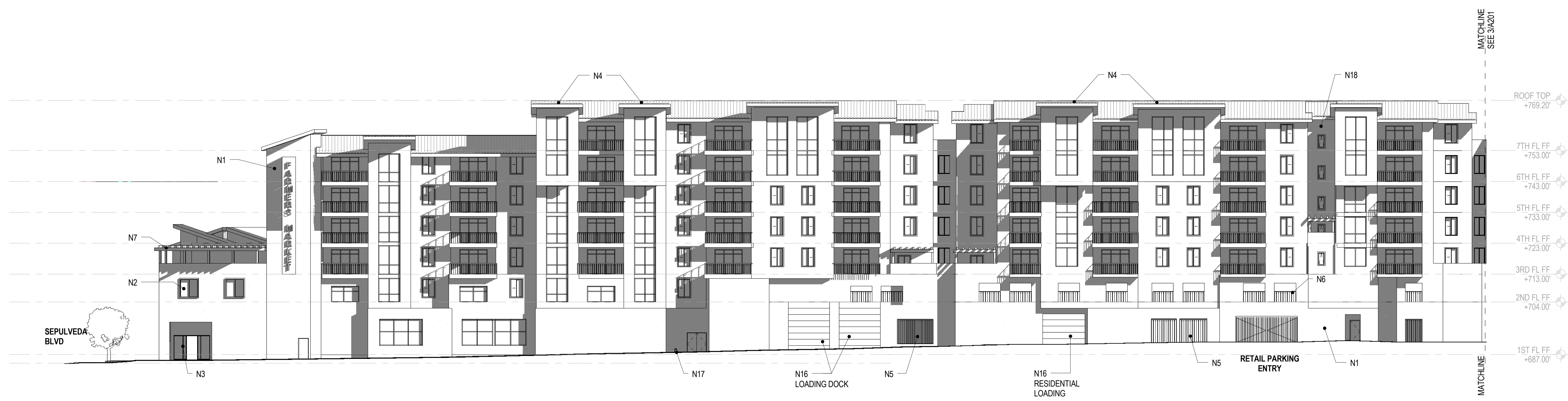
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WEST ELEVATION @ FREEWAY
1/16" = 1'-0"

3



NORTH ELEVATION @ FREEWAY
1/16" = 1'-0"

5

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ENTITLEMENT PLAN
CITY COUNCIL REVIEW SET

PROJECT NUMBER:
29001
DATE:
7.17.13
PROJECT:

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A201

7/16/2013 11:55:50 AM



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CITY COUNCIL REVIEW SET**

PROJECT NUMBER:
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7.17.13
REVISIONS:

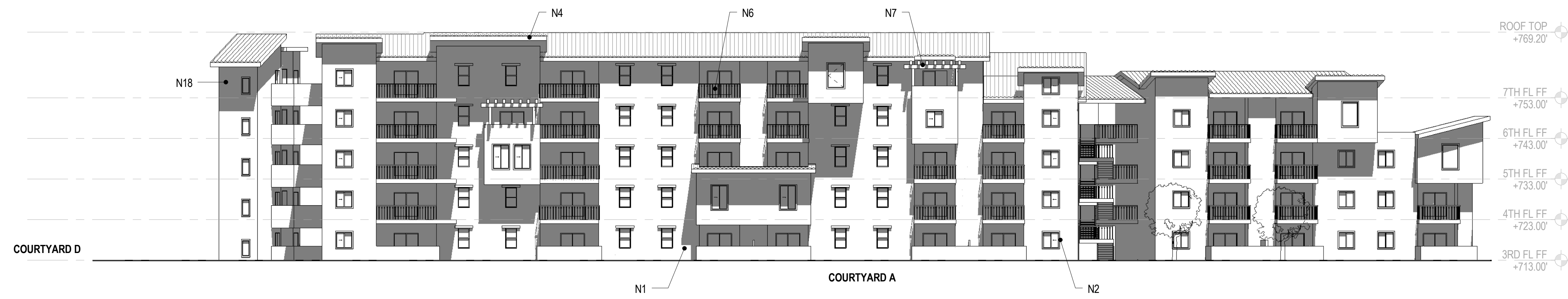
SHEET TITLE:
**COURTYARD
ELEVATIONS**

SHEET NUMBER:
A202

7/16/2013 11:56:50 AM

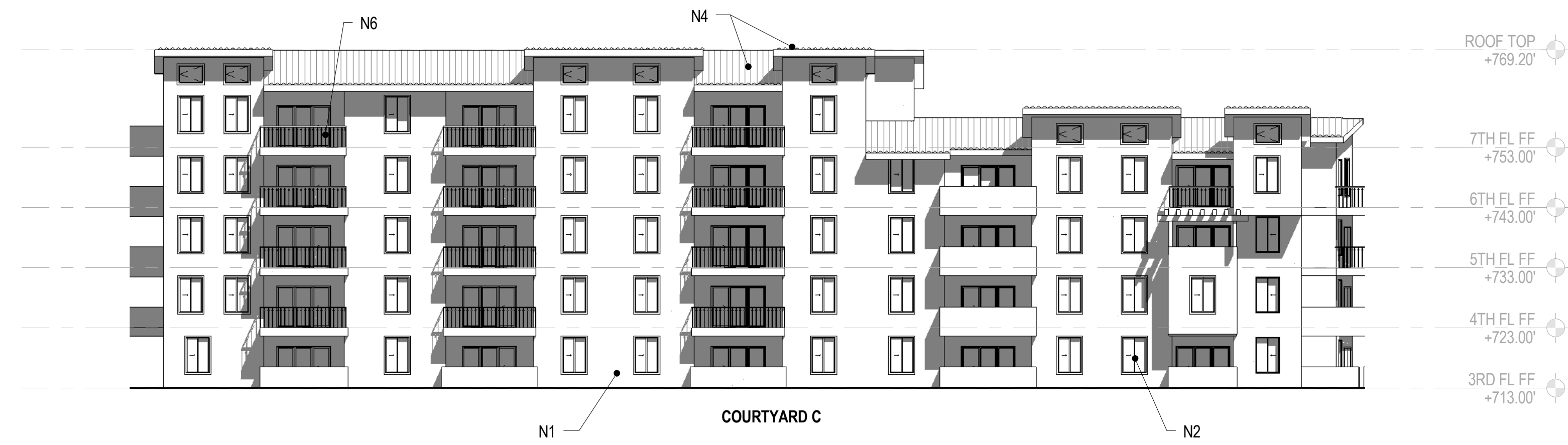
NOTES

1. EXTERIOR PLASTER, PTD, TYP
2. DUAL-GLAZED, LOW-E, VINYL WINDOW, TYP
3. ALUM STOREFRONT W/ KYNAR FINISH, TYP
4. CONC TILE ROOF, TYP
5. ORNAMENTAL IRON SCREEN, PTD
6. ORNAMENTAL IRON GUARDRAIL, PTD, TYP
7. STL TRELLIS, PTD
8. RETRACTABLE FABRIC AWNING
9. EXTERIOR PLASTER TRIM, PTD
10. FIBER CEMENT BOARD TRIM, PTD
11. STREET TREE
12. PLANTER
13. FOUNTAIN
14. TILT-UP GATE
15. LOW POINT OF SITE, 5'-0" FROM BLDG
16. COILING ROLL-UP DOOR, PTD
17. FIRE HYDRANT
18. STAIR TOWER



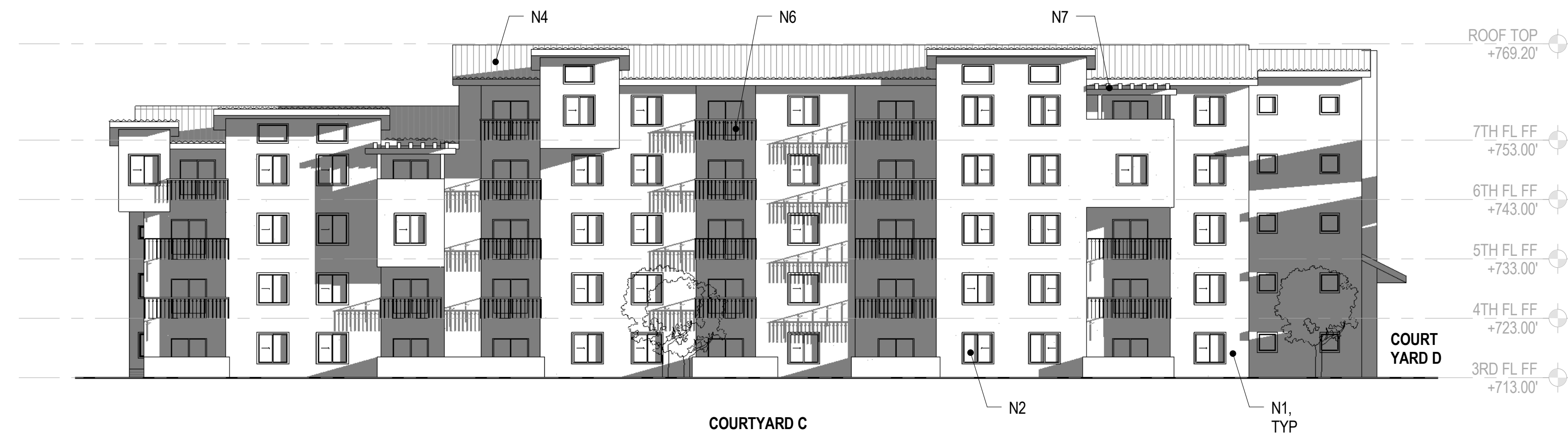
COURTYARD A - NORTH ELEVATION
1/16" = 1'-0"

1



COURTYARD C - NORTH ELEVATION
1/16" = 1'-0"

3



COURTYARD C - SOUTH ELEVATION
1/16" = 1'-0"

5



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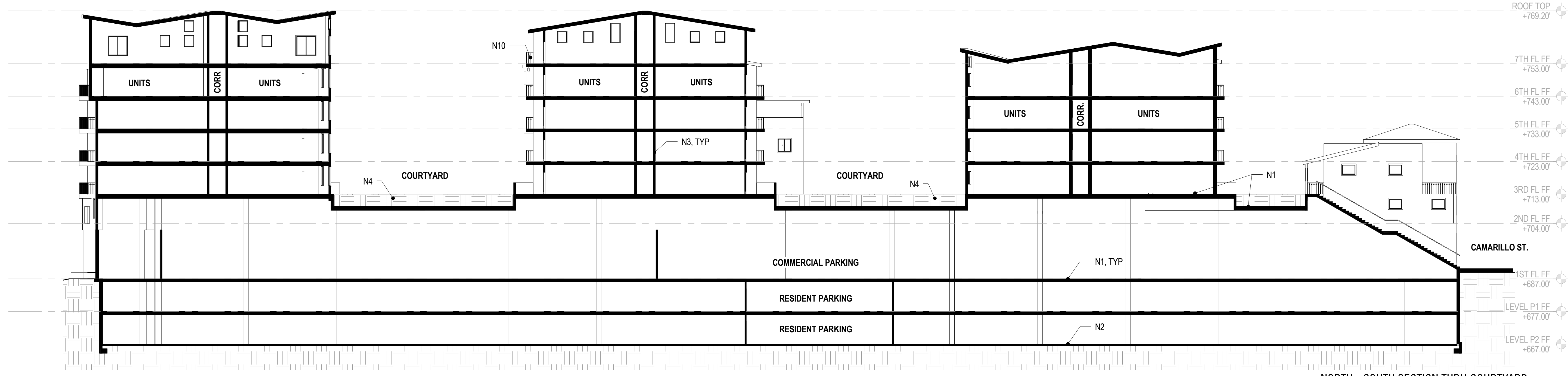
ENTITLEMENT PLAN
CITY COUNCIL REVIEW SET
PROJECT NUMBER:
29001
DATE:
7.17.13
REVISIONS:

SHEET TITLE:
BUILDING SECTIONS

SHEET NUMBER:
A300
7/17/2013 8:32:25 PM

NOTES

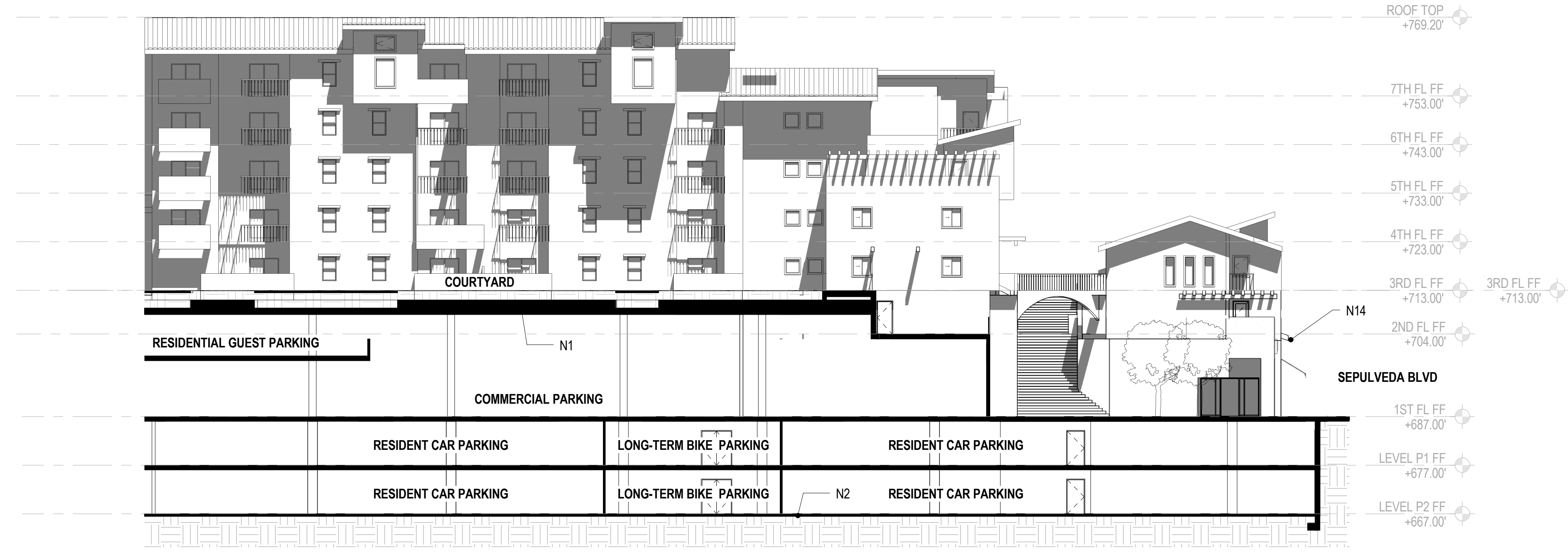
1. CONCRETE STRUCTURAL DECK
2. CONCRETE SLAB ON GRADE
3. STEEL STUD FRAMING
4. RAISED LANDSCAPED COURTYARD
5. ELEVATOR TOWER
6. EXTERIOR PLASTER, PTD. TYP
7. DUAL-GLAZED, LOW-E, VINYL WINDOW, TYP
8. ALUM STOREFRONT W/ KYNAR FINISH, TYP
9. CONC TILE ROOF, TYP
10. ORNAMENTAL IRON GUARDRAIL, PTD. TYP
11. STL TRELLIS, PTD
12. EXTERIOR PLASTER TRIM, PTD
13. FIBER CEMENT BOARD TRIM, PTD
14. STREET TREE, TYP
15. STAIR TOWER



NORTH - SOUTH SECTION THRU COURTYARD
1/16" = 1'-0" 1



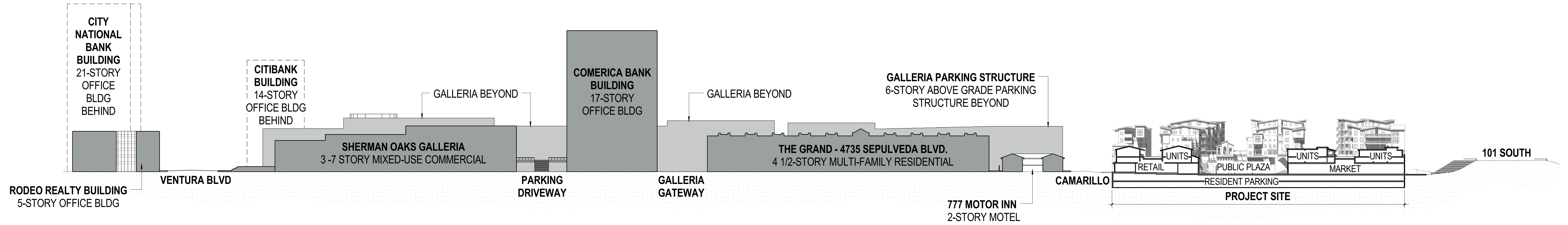
SECTION THRU RESID. LOBBY
1/16" = 1'-0" 3



EAST - WEST SECTION THRU PLAZA
1/16" = 1'-0" 5

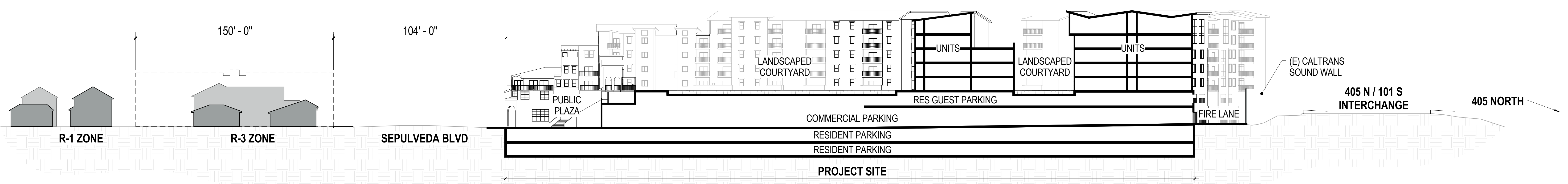


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SITE SECTION @ SEPULVEDA TO VENTURA
1/64" = 1'-0"

3



SITE LONG SECTION LOOKING NORTH
1/32" = 1'-0"

5

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ENTITLEMENT PLAN
CITY COUNCIL REVIEW SET
JOB NUMBER:
29001
DATE:
7.17.13
PROJECT:

SHEET TITLE:
SITE SECTIONS

SHEET NUMBER:
A301



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DATE: 7.17.13
REVISED:

SHEET TITLE:
VIEW OPPORTUNITIES

SHEET NUMBER:
A400



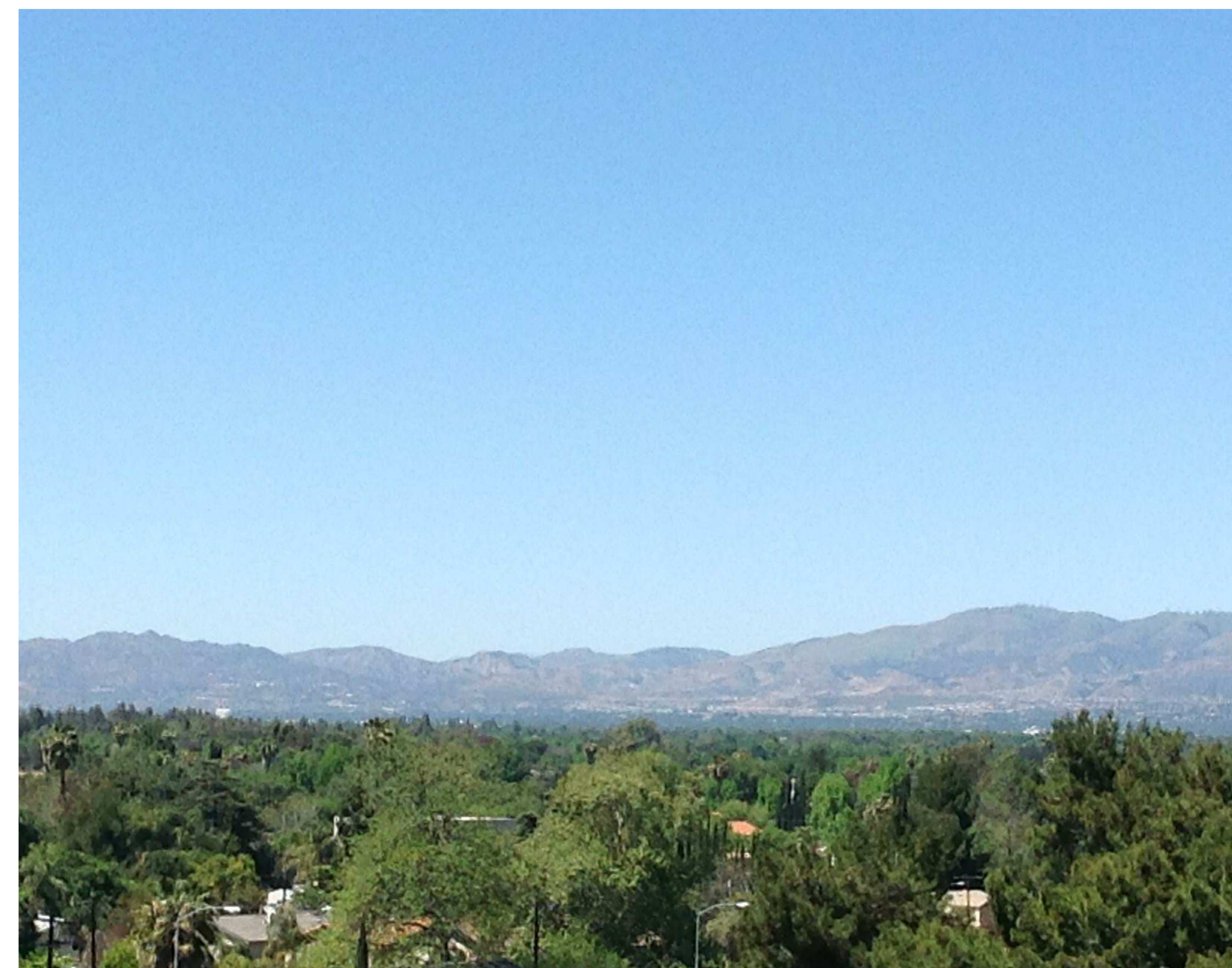
A



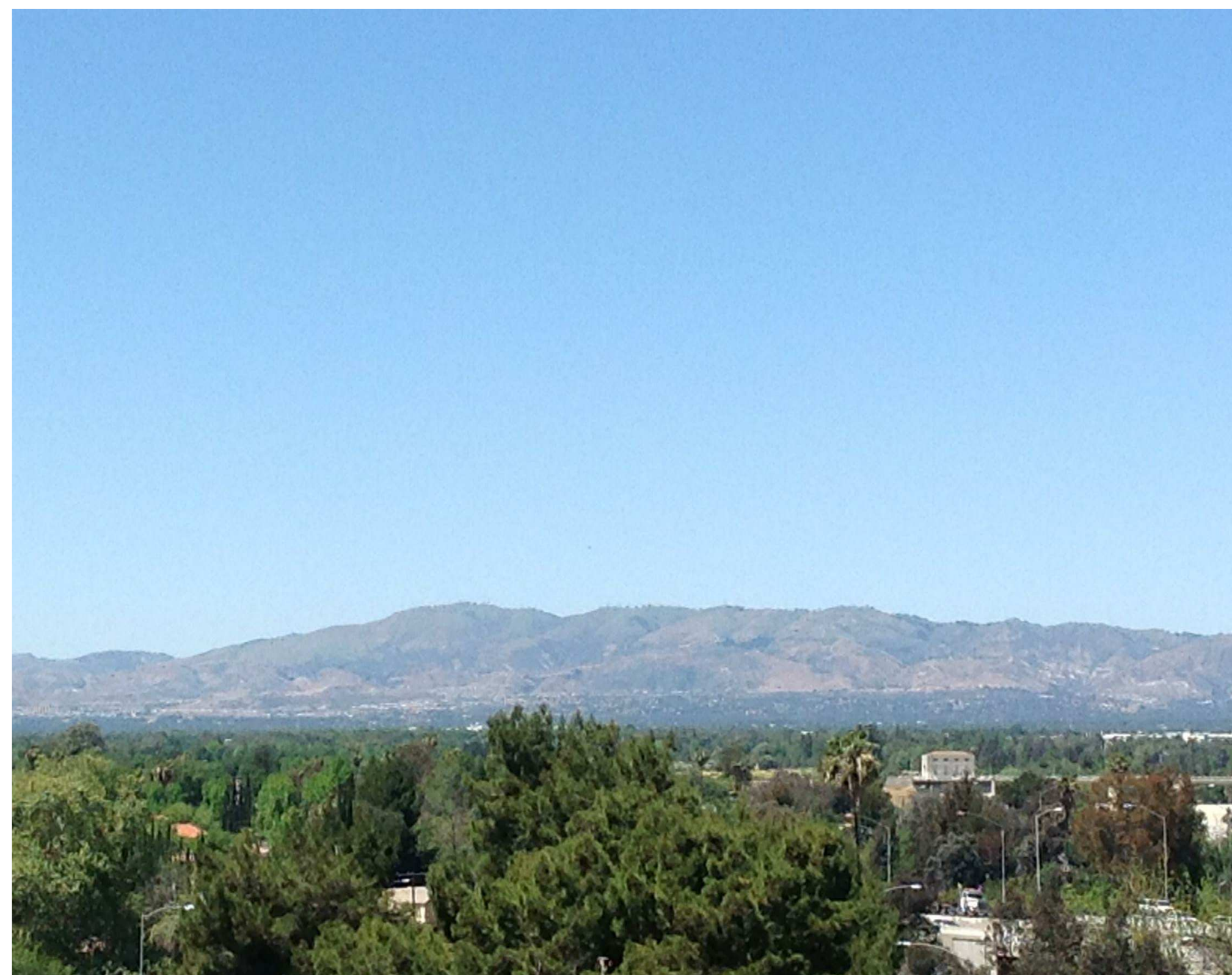
B



C



D



E



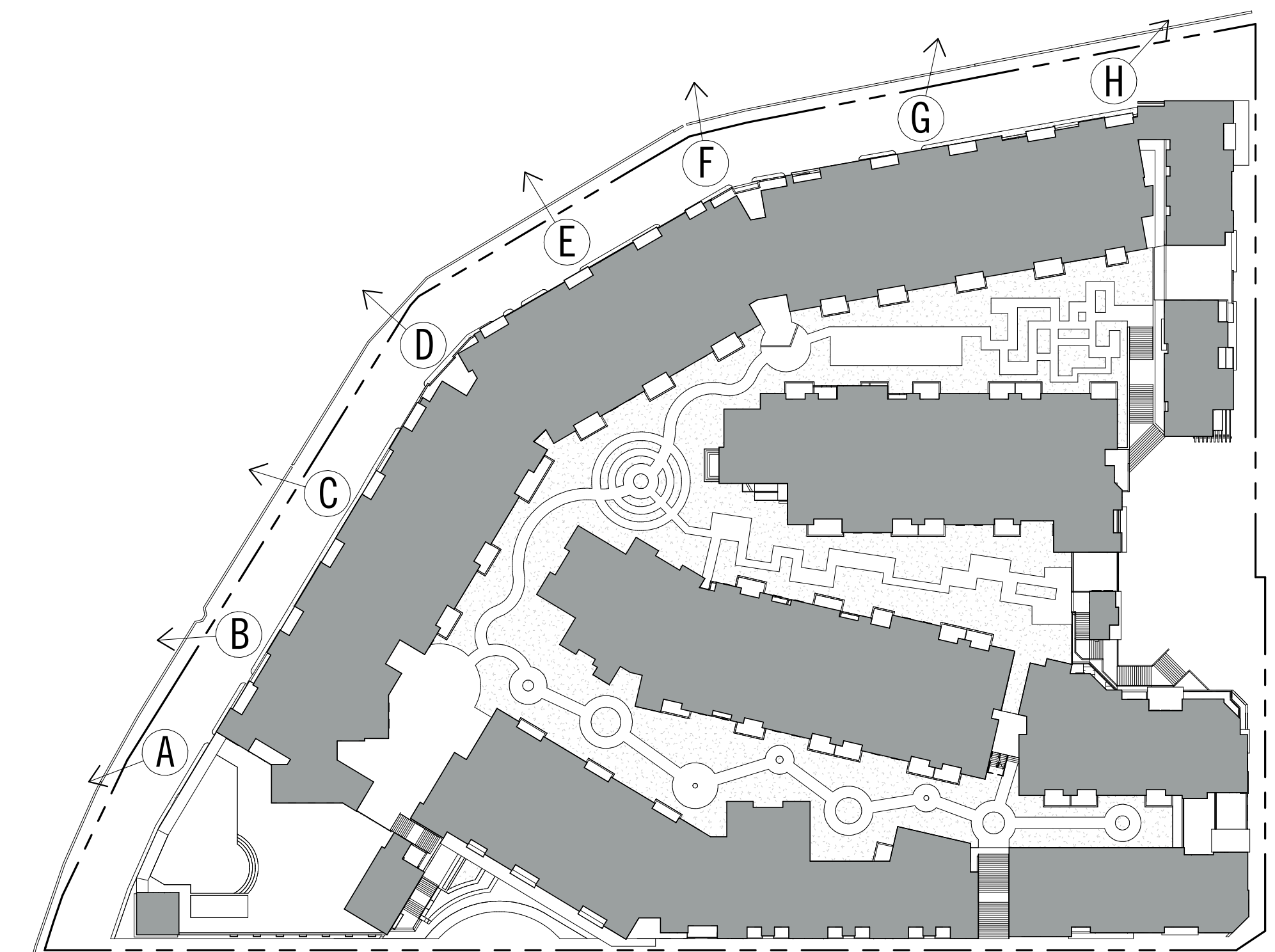
F



G



H



**NOTE: VIEWS ARE APPROXIMATE
POTENTIAL VIEWS FROM 5TH
FLOOR OF PROPOSED PROJECT**

KEY PLAN
1/64" = 1'-0"



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NO. 29001
DATE:
7.17.13

SHEET TITLE:
PODIUM LAYOUT

SHEET NUMBER:
A401

7/17/2013 12:42:00 PM



SEPULVEDA BLVD

CAMARILLO ST

PODIUM LAYOUT
NOT TO SCALE



PLAZA RENDERING
NOT TO SCALE



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DATE: 7.17.13

PROJECT:

SHEET TITLE:
PLAZA RENDERING

SHEET NUMBER:
A402

7/17/2013 4:52:29 PM



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CITY COUNCIL REVIEW SET

NO. 29001

DATE: 7.17.13

PROJECT:

SHEET TITLE:
**COURTYARD
RENDERING**

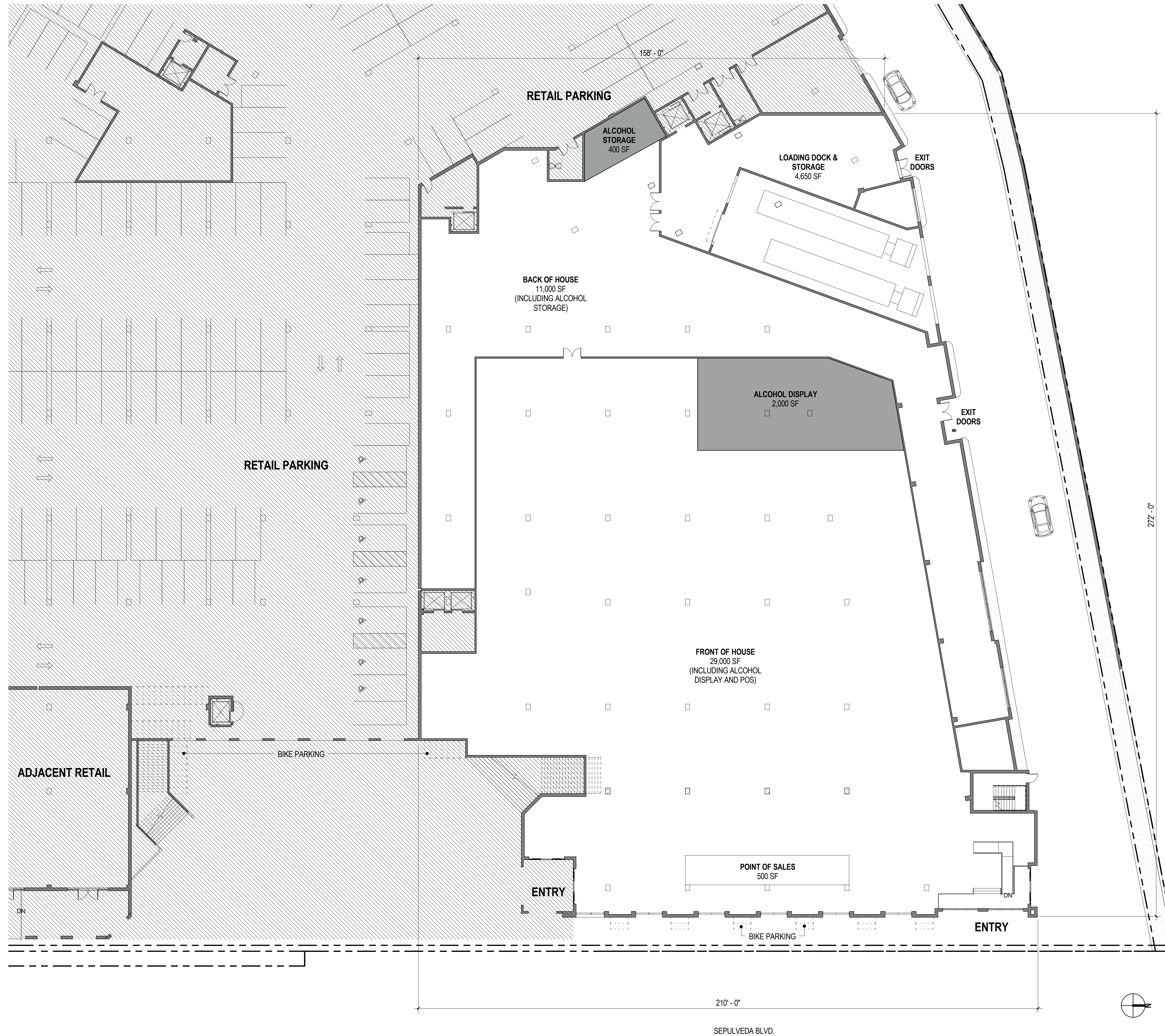
SHEET NUMBER:
A403

7/17/13 8:58:31 PM

COURTYARD RENDERING
NOT TO SCALE



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PROJECT DATA

SITE ADDRESS: 4827 N. SEPULVEDA BLVD.
LOS ANGELES, CA 91403
PROJECT DESC: NEW MARKET IN NEW BUILDING
LEGAL DESC: TRACT P M 3428, MAP BK 85-97/98 LOT A
ZONING: C-2
OCCUPANCY: M
CONSTRUCTION TYPE: TYPE IA
SPRINKLERED: YES

OCCUPANCY

TOTAL FLOOR AREA (MARKET ONLY)	AREA (SF)	OLF	OCCUPANTS
45,000 SF			
FRONT OF HOUSE	29,000	60	483
BACK OF HOUSE	11,000	300	36
LOADING DOCK AND STORAGE	5,000	300	16

IL VILLAGGIO TOSCANO
325 UNIT - 82' TALL SCHEME
4827 N. SEPULVEDA BLVD.
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PROJECT NUMBER:
29001
DATE:
7.17.13
PROJECT:

MARKET FLOOR PLAN

SHEET NUMBER:
R100

7/17/2013 4:53:20 PM