



## DEPARTMENT OF CITY PLANNING RECOMMENDATION REPORT



### South Area City Planning Commission

Case No.:

DIR-2012-3128-COA-SPP-A1

Date: June 18, 2013  
Time: after 4:30 p.m.\*  
Place: Constituent Service Center  
8475 S. Vermont Avenue  
Los Angeles, CA 90044

APPEAL OF DIRECTOR OF  
PLANNING'S  
DETERMINATION  
(CERTIFICATE OF  
APPROPRIATENESS AND  
PROJECT PERMIT  
COMPLIANCE)

Public Hearing: Not Required  
Appeal Status: Not Further Appealable  
Expiration Date: June 18, 2013

CEQA No.: ENV-2012-3129-CE  
Related Cases: None  
Council No.: 8 – Parks  
Plan Area: South Los Angeles  
Certified NC: Empowerment Congress –  
North Area  
GPLU: High Medium Residential  
Zone: R4-1L-O

PROJECT LOCATION: 1342 W. Adams Blvd.

PROPOSED PROJECT: A Certificate of Appropriateness (COA) and Project Permit Compliance for conversion of two structures from office and Sunday school use to residential use; rehabilitation and restoration of exterior of both structures; addition of new dormers and exterior deck/stairs to primary structure; addition of 184 square feet to second story of accessory structure; and landscaping, gate, and other site work on the property.

APPLICANT: Paras Bhakta, 1342 W Adams Holding, LLC  
Representative: Vladimir Tomalevski, L+V Architect

APPELLANT: West Adams Heritage Association  
Representative: Laura Meyers

**REQUESTED ACTIONS:** Appeal of the Director of Planning's decision to approve, pursuant to Los Angeles Municipal Code Section 12.20.3.K and 11.5.7, a **Certificate of Appropriateness and Project Permit Compliance** for the following project in the R4-1L-O Zone within the North University Park Specific Plan Area: Conversion of two structures from office and Sunday school use to multi-family use; rehabilitation and restoration of exterior of both structures; addition of new dormers and exterior deck/stairs to primary structure; addition of 184 square feet to second story of accessory structure; and landscaping, gate, and other site work on the property; and the Director of Planning's decision to adopt the recommendation of the lead agency by adopting a **Categorical Exemption (ENV-2012-3129-CE)** as the environmental clearance for this action.

**Note:** This recommendation report shall supercede the previously submitted report dated April 20, 2013. Deletions are indicated by ~~strikeout~~ and insertions by underline.

### RECOMMENDED ACTIONS:

- ~~Grant the appeal in part, in light of new information about the project~~  
1. Deny the appeal.

2. ~~Sustain the Director of Planning's Determination in part~~  
**2. Approve the project as revised and adopt Exhibit I (the Revised Architectural Plans dated June 5, 2012), adopt the Revised Findings, and adopt the Revised Conditions of Approval included in this report.**
3. ~~Recommend the applicant file an Environmental Assessment Form to analyze potential environmental impacts of the project in its entirety~~  
**3. Find that the revised project is categorically exempt (ENV-2012-3129-CE) from the California Environmental Quality Act under Section 15331: Historical Resource Restoration/Rehabilitation.**

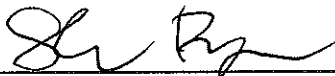
MICHAEL J. LOGRANDE  
Director of Planning



Ken Bernstein, AICP, Principal City Planner



Michelle Levy, City Planner



Shannon Ryan, Planning Assistant  
(213) 978-1220

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### **Exhibits:**

- Exhibit A: Appeal of DIR-2012-3128-COA-SPP/ENV-2012-3129-CE
- Exhibit B: Director's Determination DIR-2012-3128-COA-SPP
- Exhibit C: Categorical Exemption ENV-2010-3129-CE
- Exhibit D: Cultural Heritage Commission Recommendation
- Exhibit E: Documentation of the Subject Structure
- Exhibit F: California State Office of Historic Preservation Historical Resources Inventory
- Exhibit G: National Register of Historic Places Menlo Avenue-West 29<sup>th</sup> Street Historic District Inventory Nomination Form and Letter from Paul R. Lusignan, Historian at the National Register of Historic Places
- Exhibit H: Zoning Information and Map Access System (ZIMAS) record for 1342 W. Adams Blvd.
- Exhibit I: Revised Architectural Plans dated June 5, 2013

**ADVICE TO PUBLIC:** \* The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012 (Phone No. 213-978-1300)*. While all written communications are given to the Commission for consideration, the initial packets are sent to the Commission's Office a week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to the agency at or prior to the public hearing. As a covered entity under Title II of the American Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request no later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1300.

## PROJECT ANALYSIS

### BACKGROUND

The North University Park Specific Plan was established by the City of Los Angeles in 1983, covering the area between Hoover St., 30<sup>th</sup> St., Vermont Ave., and Adams Blvd. A primary purpose of the Specific Plan is to protect and enhance the buildings, structures, sites, and areas which are reminders of the City's history or unique and irreplaceable assets to the City and the North University Park neighborhood or worthy examples of past architectural styles. Section 2E of the North University Park Specific Plan, requires that "A Change in occupancy, construction, alteration, relocation or removal of a Building, Natural Feature or Site, or any combination thereof within the Plan Area shall comply with Section 12.20.3, Subsections F through N of the LAMC (Historic Preservation Overlay Zone Ordinance). In this way, the North University Park Specific Plan functions like a Historic Preservation Overlay Zone.

The North University Park area was annexed to the City of Los Angeles on April 2, 1896, as a portion of the Southern and Western Additions. This subject property is located on Lot 41 of the Waverly Tract, which was record in 1886. The 7,486-square-foot site is currently developed with two structures. The primary structure, known as the William T. Bishop Residence, was built in 1898 as a two-and-one-half story residence fronting Adams Boulevard. The Chateausque/Eclectic-style building has a steeply-pitched complex roof system, an irregular-shaped plan, and asymmetrical façade. A porte cochere with overhanging second floor is located on the south (rear) façade.

In 1934 the Roger Williams Baptist Church was constructed on the adjacent site and a cloister was built to connect the church to the Bishop Residence. During this same period, the Bishop Residence was clad in stucco to match the exterior finish of the cloister and adjacent church. A smaller two-story accessory structure sits at the southeast corner of the lot, and is built in the same architectural style as the Bishop Residence. It has also been altered through the addition of exterior stucco cladding, and has had a later addition to the north side. With the exception of a grass lawn on the Adams Boulevard side, most of the site is paved over in asphalt and currently used for parking. A six-foot-high wrought iron fence currently surrounds the perimeter of the property.

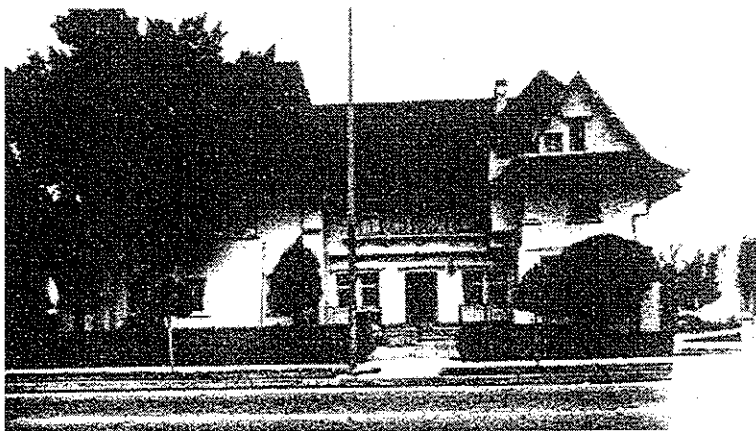


Figure 1: Image of 1342 W Adams Blvd. taken from the North University Park Historic Resources Survey (1983).

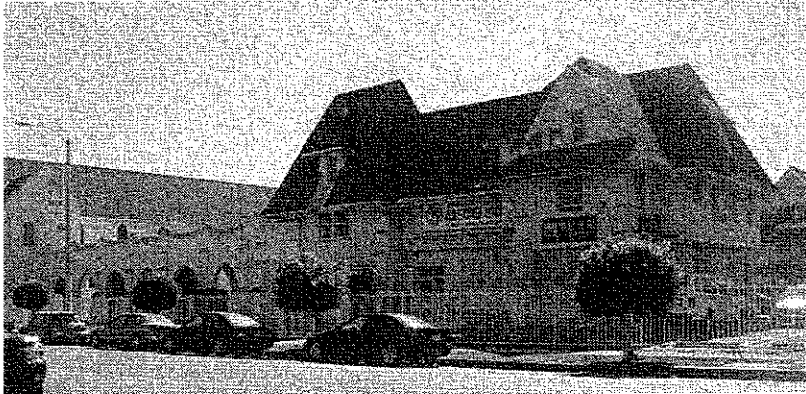


Figure 2: Image of 1342 W Adams Blvd. looking southeast towards primary structure (November 2012).

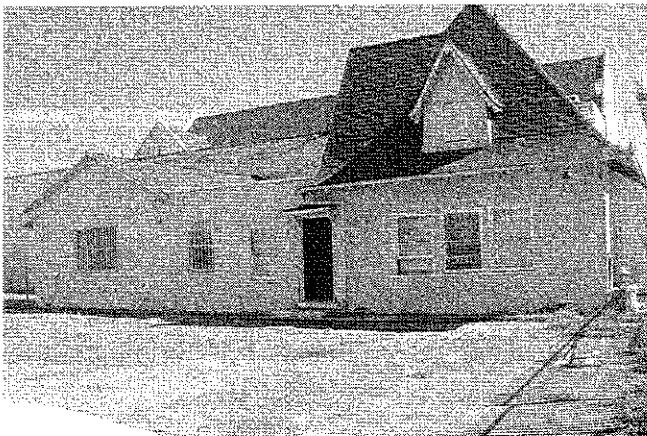


Figure 3: Image of accessory structure at the rear of 1342 W Adams Blvd. (November 2012).

## **PROJECT SUMMARY**

The project involves the rehabilitation and restoration of the above described historic property located at the corner of West Adams Boulevard and Menlo Avenue. The primary structure on the property, originally built in 1898 as a large single-family dwelling and later converted to church-related uses, is proposed to be converted to multi-family residential use. Eight individual dwelling units will be created in the three-story structure. The exterior will be rehabilitated by ~~removal of~~ repairing the stucco cladding, cloister, and pilasters all added to the façade in 1934. ~~New wood shingle cladding will be installed on the exterior of the structure to mimic the original cladding material that existed beneath the stucco.~~ The A total of 77 original wood windows on the structure will be repaired and rehabilitated, and several four will be removed and replaced with similar windows that match original ones on the house. To make the third story attic space habitable, two new dormers are proposed for the rear-facing rooflines of the structure. One dormer will be made up of two windows and the other dormer will include three windows. The existing composition shingle roof will be replaced in-kind with a similar dark-colored composition shingle material.

In addition, the project includes rehabilitation and conversion of use of the accessory structure on the site. Originally likely built as a carriage house or other accessory storage space, this structure is currently used as an office and is proposed to be converted into two dwelling units. To create additional space for the dwelling units, a new second story (184 SF) is proposed to be added to a portion of this structure.

The landscape plan includes the introduction of a variety of trees and plants to the site, which reduces the amount of hardscape on the lot and reintroduces a landscaped lawn on the Menlo Avenue side of the property. A new 42-inch-high hedge is proposed to surround the property along Adams Boulevard and Menlo Avenue, and a taller hedge is proposed along the south property line. Twenty-two parking spaces are proposed on the south side of the lot. Several social spaces are planned for areas adjacent to the two residential structures. These spaces would be paved with recycled brick obtained from old brick foundation on the property, and contain tables and seating for resident use.

Section 12.20.3.K. of the LAMC requires that Department of City Planning staff refer applications for Certificates of Appropriateness to both the Design Review Board and the Cultural Heritage Commission (or its designee) within a 30-day period of the application having been deemed complete. The purpose of this requirement is to allow the subject application to be discussed in a public meeting with both public and expert testimony (in the case of the Design Review Board meeting), and to gather an expert opinion with reference to the Secretary of Interior's Standards for Rehabilitation (in the case of the Cultural Heritage Commission).

Section 12.20.3.M of the LAMC requires that before making its recommendation to approve, conditionally approve or disapprove an application pursuant to this section for a Certificate of Appropriateness, the Board shall hold a public hearing on the matter. The applicant shall notify the Owners and occupants of all properties abutting, across the street or alley from, or having a common corner with the subject property at least ten days prior to the date of the hearing, and notice of the public hearing shall be posted by the applicant in a conspicuous place on the subject property at least ten days prior to the date of the public hearing.

Having deemed the subject application complete on November 15, 2012, Department of City Planning staff sent copies of the application with relevant materials to the Design Review Board on November 19, 2012. Notice for the hearing, scheduled for November 28, 2012, was posted at the site and at City Hall on November 16, 2012, and was mailed to abutting property owners on November 15, 2012. On November 28, 2012 the Design Review Board (DRB) held a meeting where there was a quorum of three DRB members. At this meeting a motion to approve the project was made, with two members voting in favor of the project and one voting against. Thus, without at least three votes in favor, there was no official DRB recommendation to approve the project. In response to public comments made at the meeting, a motion was also made to request a historic resources report from the applicant to document the appropriateness of the proposed alterations. This motion also received two votes in favor and one against, and thus did not result in a formal DRB recommendation.

LAMC Section 12.20.3.K.3(b) notes that in the event that the Board does not submit its recommendations within 30 days of the postmarked date of mailing of the application from the City Planning Department, the Board shall be deemed to have forfeited all jurisdiction in the matter and the Certificate may be approved, conditionally approved, or disapproved as filed. Since the Board was unable to convene a quorum by December 19, 2012, and the applicant did not agree to a longer period of time for the Board to act, there was no recommendation from the Board.

Department of City Planning staff sent copies of the application with relevant materials to the Cultural Heritage Commission's designee on November 19, 2012. The Cultural Heritage Commission designee recommended approval of the project as-is, citing general compliance

with the Secretary of the Interior's Standards for Rehabilitation (Exhibit D). Approval of the subject application is therefore consistent with 12.20.3.K. of the LAMC.

The Director of Planning issued a determination approving the project with conditions on January 30, 2013 (Exhibit B and C). On February 14, 2013 the project was appealed by West Adams Heritage Association, within the allowable appeal period (Exhibit A). Appeals of Certificate of Appropriateness cases are heard by the Area Planning Commission.

The case was first scheduled to be heard by the South Los Angeles Area Planning Commission on April 16, 2013. Due to a lack of quorum the hearing was cancelled. A special South Los Angeles Area Planning Commission meeting was held on April 30, 2013. Due to the timing and shortened noticing period, a decision could not be made at the meeting and the matter was continued to May 21, 2013 to allow the Commission to retain jurisdiction.

After the April meeting, the applicant met with the appellant, retained a historic preservation consultant, withdrew the related Case No. AA-2013-453-PMEX (Property Lot Line Adjustment), and began modifying the project to address concerns raised in the appeal. At the May 21, 2013 meeting, the Applicant requested a continuance to allow the historic preservation consultant to complete a historical analysis and to allow the architect to finalize a modified design for the project that would address the appeal points. Staff was in support of the continuance and the Commission continued the item to June 18, 2013.

The project as revised now retains:

- The cloister
- The front pilasters
- The stucco cladding
- The leaded glass French doors and windows on the first floor east elevation and the three leaded glass windows in the same room that are on the north elevation
- The door on the second story front façade that leads to the cloister balcony

The project as revised now includes:

- New floor area calculations per building code requirements. Due to the new method of calculation, the total square footage number is higher, but physically the square footage of the project has not changed. The new method of determining the square footage includes spaces that were not originally included in the calculation such as the porte cochere and the retained cloister, which are calculated as required by LADBS
- Replacement of the entrance steps below the porte cochere with a new landing and new stairs that would now comply with building code requirements
- Five HVAC units on the roof of the cloister that will be screened behind an existing parapet and not visible from the street

The project as revised still proposes to:

- Replace the doors and windows in the room located on the first floor in the north west corner, known as the sunroom
- Remove an existing skylight on the rear roof and replace it with a dormer window
- Include HVAC equipment and trash bins in an enclosure behind the porte cochere

## APPEAL POINTS AND STAFF REPOSNSE

The appellant raised several issues in the appeal. In summation, the major concerns raised include lack of accurate public noticing, demolition of the cloister and removal of stucco cladding, disregard for the Secretary of the Interior's Standards for Rehabilitation, and insufficient environmental analysis. This section responds to the main points raised in the appeal.

The original project description and design has been modified to meet concerns raised in the appeal. Therefore, as noted below, many of the appeal points are no longer applicable and have been resolved.

- 1. Staff failed to evaluate the property based on its listing in the National Register; and may have failed to even recognize that it was listed despite the City's own ZIMAS records which make it quite clear; and failed to inform the NUPSP Design Review Board (DRB) of the property's National Register status.**

**Response:** The City's Zoning Information and Map Access System (ZIMAS) inaccurately states that 1342 W. Adams Blvd. is individually listed in the National Register and part of the Menlo Avenue-West 29<sup>th</sup> Street National Register Historic District (Exhibit H).

Staff conducted extensive research to determine the subject property's National Register status. Staff's research has concluded that the William T. Bishop Residence is not listed in the National Register of Historic Places.

Paul R. Lusignan, Historian at the National Register of Historic Places, confirmed via e-mail on April 10, 2013 that the property at 1342 W. Adams does not have any federal designation and is not listed on the National Register of Historic Places individually or as part of the Menlo Avenue-West 29<sup>th</sup> Street Historic District (Exhibit G).

Staff obtained data from the California State Office of Historic Preservation *Historical Resources Inventory* (Exhibit F) that indicates the subject property was surveyed in 1983 and at that time it was found to appear eligible for individual listing in the National Register. However, the property has not officially been listed in the National Register. Furthermore, the Menlo Avenue-West 29<sup>th</sup> Street National Register Historic District map (Exhibit G) as adopted by the National Park Service does not include 1342 W. Adams Blvd. Had the property been included, it would have been indicated at the south east corner of Menlo Avenue and W Adams Blvd. on the official nomination form.

The members of the Design Review Board were not aware of the building's National Register eligibility. Though the information would have been helpful, it does not require a more stringent project review than that required by the North University Park Specific Plan. The subject property's eligibility for individual listing in the National Register does not affect the level of review required for a Certificate of Appropriateness.

- 2. Staff failed to properly inform the public of the proposed demolition of the Cloister, a designated historic resource.**

**Response:** ~~The project description does not mention demolition of the cloister. The two~~



~~public notices also did not include demolition of the cloister. Demolition of the cloister should have been on the project description and hearing notices.~~

The original project description did not mention demolition of the cloister. However, to address concerns and avoid impacts to a historic resource, the applicant has agreed to retain the cloister and has modified the project to preserve the cloister. Its demolition is no longer proposed and therefore the cloister's exclusion from the original noticing is moot.

- 3. Staff issued a Certificate of Appropriateness for that demolition [cloister] (as part of the project), even though that [demolition] is not allowed in the NUPSP without evidence of financial feasibility and approval of the APC.**

~~**Response:** The appellant is correct. Pursuant to LAMC Section 12.20.3.K.5, "No Certificate of Appropriateness shall be issued to demolish, remove or relocate any building, structure, Landscaping, Natural Feature or Lot within a Preservation Zone that is designated as a Contributing Element and the application shall be denied unless the Owner can demonstrate to the Area Planning Commission that the Owner would be deprived of all economically viable use of the property." Since the North University Park Specific Plan references procedures in Section 12.20.3, Subsections F through N of the LAMC (Historic Preservation Overlay Zone Ordinance), the decision to demolish the cloister (a contributing element of the Bishop Residence) must be made by the Area Planning Commission.~~

~~Staff recommends that if the applicant wishes to pursue demolition of the cloister, that additional environmental review be conducted to fully analyze the impact on the historic resource. Upon sufficient CEQA analysis and with the required findings of LAMC Section 12.20.3.K.5 (a) – (d) including proof of hardship, the project would return to the Area Planning Commission for a determination.~~

~~If the applicant chooses to preserve the cloister and leave it intact, review by the Area Planning Commission would not be necessary.~~

The procedural issues concerning the approval of the cloister's previously proposed demolition have been resolved because the applicant has agreed to retain and preserve the cloister as shown in the revised architectural plans, attached to this report as Exhibit I, Revised Architectural Plans dated June 5, 2013.

- 4. Staff failed to understand that major proposed changes to the exterior would NOT meet the Secretary of the Interior's Standards for Rehabilitation.**

~~**Response A:** The initial determination for the project allowed demolition of the cloister. This determination was procedurally flawed in that review procedures per LAMC Section 12.20.3.K.5 were not followed (described above in appeal point 3) and because the cloister and stucco cladding should have been reviewed as contributing historic elements of the structure. Furthermore, the environmental impacts of the cloister's demolition have not been fully assessed under Categorical Exemption ENV-2012-3129-CE.~~

Added in 1934, or 36 years after original construction, the cloister and stucco cladding have developed significance of their own as they physically link the Bishop Residence

with the Roger Williams Baptist Church and serve as a symbol of their once associated uses. Even though the cloister and stucco cladding are non-original to the 1898 structure, they constitute "changes that have acquired historic significance in their own right," under the Secretary of the Interior's Standard #6. ~~Staff recommends further environmental analysis on the impact of the cloister's demolition if the applicant wishes to pursue demolition.~~ As such, the applicant has decided to retain and restore the cloister as well as the existing stucco cladding.

**Response B:** ~~Notwithstanding the demolition of the cloister, the~~ The proposed project as conditioned in the Director of Planning's Determination issued on January 30, 2013 and as further conditioned in the Revised Conditions of Approval below substantially complies with the HPOZ Ordinance/Certificate of Appropriateness, LAMC Section 12.20.3.K.4, and does meet the Secretary of the Interior's Standards for Rehabilitation.

Furthermore, per ~~Per~~ the National Park Service (a division of the Department of the Interior), "Rehabilitation is defined as the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

As such, the Standards serve as a guide to ensure that significant features of a property are preserved. The Standards are not prescriptive for each property has its individual set of circumstances, but rather they are intended to foster rehabilitation that is sensitive to the historic nature of the property, while allowing adaptation to current needs. Preservation is not intended to freeze structures in time.

*Standard # 1: A property shall be used for its historic purpose, or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

As proposed, the change of use of the two structures on the property from church-related school and office space into multiple residential units does not result in a significant impact to the character-defining features. The majority of the alterations to convert the use occur on the interior, and the locations and sizes of the original windows and doors are maintained. The change of use to multi-family is more in line with the property's historic use as a single-family residence than its current church-related use; moreover, the current zoning allows R4 uses by-right.

~~The replacement of four double-leaf doors on the east (side) elevation with solid doors, fixed glass, and solid panels requires minimal change to the characteristics of the buildings and maintains the original size and general proportions of the openings.~~

As per the modified plans, the set of leaded glass French doors and windows on the first floor east (side) elevation will be retained as well as the three leaded glass windows located in the same room on the north elevation. The leaded glass doors and windows in this room on the first floor north east corner of the structure will be restored in accordance with the Secretary of the Interior's Standards for Rehabilitation.

The addition of two new dormers on the attic level of the primary structure also requires minimal change because the dormers are located on the sides and rear of the building and are minimally visible from the street. Furthermore, the design of the dormers is such

that they blend in with the architecture of the building. The proposed new dormers are compatible with the historic structure as they are constructed with the same materials as the structure, utilize the same roof slope as other dormers on the roof, and contain windows that match historic windows found on the structure. The new dormer made up of two windows on the east (side) elevation stands out from historic dormers in that it is not a copy of the others in size and shape (in keeping with Standard #9). This dormer will replace an existing skylight that was not original to the structure. The new dormer on the south (rear) elevation made up of three windows is a horizontal extension of an existing historic dormer; this extension is differentiated from the original dormer width by having a separate grouping of windows.

The attic had previously been living quarters and is being expanded to include an additional 286 square feet within the existing envelope of the third floor. Without the addition of the two dormers allows the space to be considered habitable living space as defined in the Code. the attic space of the building could not be converted to habitable space. A skylight in the ceiling of the expanded portion of the attic will be removed and replaced with the dormer described above on the east (side) elevation. The Secretary of Interior's Standards allow sensitive alterations for contemporary use that minimally affect the building. The two new dormers at the rear of the building have a minimal effect on the building's overall historic character and do not take away or alter any character-defining features.

The new stairway on the east (side) elevation will allow for necessary egress from the converted attic level. It will be located behind the massing of the building, so it will not be visible from the street. The stairs and railing are proposed to be constructed of wood and will be detailed to match the architectural style of the building. This is a minimal change that does not affect character-defining features of the building.

The change of use of the accessory structure from office to residential use also does not necessitate significant changes to the character-defining features. Existing windows and doors will remain in place, and the addition will be built on top of a non-original addition on the building, replacing a roofline that is not currently consistent with the style of the building.

*Standard # 2 - The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The change of use, restoration, and addition will retain the historic character of the property, as the significant rooflines, windows, and doors will be maintained. The modified project makes changes that will avoid alteration to characteristic features of the property. These retained features include the cloister, the existing stucco cladding, the pilasters on the front façade, the leaded glass doors and windows in the room on the first floor northeast corner of the structure, and the door on the second floor north elevation leading to the cloister. The project will also restore or repair a total of 77 windows throughout the structure.

See section 4A above regarding demolition of the cloister.

*Standard #4 – Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

~~See section 4A above regarding demolition of the cloister.~~

As described above, though added over thirty years after the construction of the subject property, the cloister and stucco cladding have acquired significance in their own right and will be retained as part of the modified plans.

The subject property contains a room on the northwest corner of the first floor that is not original to the house. Originally a porch, it was enclosed to create more habitable space, and is referred to as the sunroom. Large windows and doors were added to fill the porch openings to create the sunroom. The project proposes to retain the enclosed space, but will replace the large windows and doors to adapt the room for use as a kitchen. The replacement windows and doors will be in the same locations, but the openings will be slightly reduced. The biggest change is the window on the west elevation that will be replaced with a new double hung window. The replacement window will match those on the second story. Though the porch enclosure is not original, the applicant is retaining it as part of the project. On balance, the replacement of the doors and windows in the room will not impact the original character-defining features of the house.

*Standard #5 – Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

~~See section 4A above regarding demolition of the cloister.~~

The following distinctive features will be retained as part of the revised project: the cloister, the stucco cladding, the pilasters on the front façade, the leaded glass doors and windows in the room on first floor north east corner of the structure, and the door on the second floor north elevation leading to the cloister. The project will restore and repair a total of 77 existing windows throughout the structure.

*Standard #6 – Deteriorated historic features shall be repaired rather than replaced. Where the severity of the deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and where, possible, materials.*

Seventy-seven (77) Damaged damaged historic windows on the structures main structure will be restored (or repaired, where possible.) The replacement window sashes will be wood single-glazed sashes with divided lights that match the design of original historic windows on the structure. Only windows on the second floor will have replaced upper window sashes with true divided light muntins. Five (5) existing exterior doors will also be repaired and retained.

Accessory structure

~~See section 4A above regarding demolition of the cloister.~~

Additionally, the cloister, stucco cladding, and pilasters will be repaired where needed.

*Standard # 9 – New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion and massing to protect the integrity of the property and its environment.*

The addition to the accessory structure does not involve the removal or obscuring of historic features or roof forms, as it is built above the non-historic extension to the structure. It is compatible in its steeply-pitched roof and dormers, but does not copy the shape of the historic roof on this structure exactly.

The proposed new dormers on the main structure are compatible with the historic structure as they will be constructed with the same materials as the structure, utilize the same roof slope as other dormers on the roof, and contain windows that match historic windows found on the structure. The new dormer on the east elevation stands out from historic dormers in that it is not a copy of the others in size and shape. This dormer will replace an existing skylight that was not original to the structure. The new dormer on the south elevation is a horizontal extension of an existing historic dormer; this extension is differentiated from the original dormer width by having a separate grouping of windows.

*Standard # 10 – New additions and adjacent new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and environment would be unimpaired.*

The new addition proposed for the accessory structure would be built atop a non-original addition to the original historic accessory structure, so it does not compromise the integrity of the original historic features of this structure when added or removed. If removed, the original hipped roof of the accessory structure would remain intact.

The new egress staircase at the side of the primary structure, if removed, would also not impair the essential form or integrity of the historic property.

The HVAC equipment and trash bins behind the porte cochere will be enclosed and hidden from view. This structure and internal equipment enclosed can be removed or relocated without damaging the historic structure.

**5. In fact, many of the proposed changes to the interior are visible from the exterior of the building.**

**Response:** Changes proposed to the interior of the building are out of the jurisdiction of the North University Specific Plan. The North University Park Specific Plan can only influence work on the exterior of a structure, regardless of whether interior changes can be viewed from the street through a window.

Although the North University Park Specific Plan cannot address work on the interior of a project, no interior demolition or remodeling can occur without an approved permit requiring Los Angeles Department of City Planning sign off. Interior demolition at the subject site began without required permits and prior to the end of the appeal period. On

February 2 and 15, 2013, Orders to Comply were issued by the Los Angeles Department of Building and Safety. On February 12, 2013 the applicant applied to Los Angeles Department of Building and Safety for an Early Start Demolition permit. Planning staff has not cleared the demolition pending a decision subject on the appeal.

**6. Staff improperly failed to evaluate any environmental impacts of this multi-phased project.**

~~**Response:** As explained in appeal points 3 and 4A above, staff erred procedurally in approving demolition of the cloister and in evaluating its historic significance. Staff recommends further environmental analysis if the applicant wishes to pursue demolition of the cloister. Upon completion of environmental review and with proof of financial infeasibility by the applicant, the Area Planning Commission would have the authority to approve or deny demolition of the cloister.~~

~~Even if the applicant chooses not to pursue demolition of the cloister, further environmental review is required because the applicant has now separately applied for a Property Lot Line Adjustment (AA-2013-453-PMEX, filed on February 19, 2013). This entitlement was filed 20 days after the Director of Planning's Determination and constitutes new information related to the case. The Categorical Exemption (CE) for this Certificate of Appropriateness application, which was specific to the proposed rehabilitation work, is insufficient to cover the Property Lot Line Adjustment as well. The Department of City Planning's consistent procedures have been to require the filing of an Environmental Assessment Form (EAF) when multiple approvals are requested. This environmental analysis should encompass review of the totality of the project, including all entitlements being sought. Therefore, staff recommends that the Categorical Exemption (ENV-2012-3129-CE) issued on November 9, 2012 be denied.~~

Originally staff erred in evaluating the historic significance and environmental consequences of demolishing the cloister. However, in light of the appeal points, the applicant has decided to retain the cloister and has withdrawn Case No. AA-2013-453-PMEX and ENV-2013-454-CE, the Property Lot Line Adjustment. The environmental and CEQA concerns are no longer relevant because the cloister is no longer proposed for demolition and there is no longer a second entitlement (the Property Lot Line Adjustment). As such, the original Categorical Exemption ENV-2012-3129-CE issued for the project is sufficient given the modified scope of work of the project.

## REVISED FINDINGS

~~In light of the above appeal points and the recently filed Property Lot Line Adjustment, staff recommends the Findings in the Director of Planning's Determination be revised subsequent to a full and proper environmental analysis and in accordance with LAMC Section 11.5.7 and Section 12.20.3 procedures.~~

The applicant has remedied concerns raised in the appeal by modifying the design of the project. The changes include retention rather than demolition of the cloister, retention rather than removal of the stucco cladding, retention and restoration rather than replacement of the leaded glass doors on the east (side) elevation, and the withdrawal of the Property Lot Line Adjustment. The modified project nullifies concerns raised in appeal points 2, 3, 4A, and 6. The modified design reaffirms staff's disagreement with appeal points 1, 4B, and 5.

In closing, the modified project is in keeping with the Secretary of the Interior's Standards for Rehabilitation and conforms with all relevant provisions of the North University Park Specific Plan. To further ensure conformance, staff recommends the following Revised Conditions of Approval be adopted by the Commission.

### REVISED CONDITIONS OF APPROVAL

1. The cloister, front façade pilasters, and stucco cladding shall be retained and repaired in-kind.
2. The leaded glass French doors and windows on the first floor north east corner shall be retained and repaired as needed (marked as Door E101.1, Windows E10.1, 101.2, 101.3, and 101.4 in Exhibit I).
3. All new windows shall be made of wood. In the main structure this includes five windows in the new dormers and four windows in the sunroom.
4. Replacement sashes shall be made of wood and those with muntins shall have true divided lights.
5. The HVAC equipment and trash containers behind the porte cochere shall be enclosed.
6. The HVAC equipment on the second floor shall be screened and shall not be visible behind the cloister parapet.
7. The existing over-height wrought iron fence at the perimeter of property shall be removed. A replacement fence may be installed if it is 42 inches or lower and is set back from the sidewalk to allow for planting in front. Any plans for a new fence shall be reviewed by Planning Staff for approval prior to installation.
8. All new hedges shall comply with citywide height limits for the front, side, and rear yards. Hedges shall be regularly maintained so as not to exceed allowable height.

### **CONCLUSION**

~~Staff recommends that the Commission sustain the appeal in part and sustain in part the Director of Planning's Determination. Further environmental analysis is required for the recently requested Property Lot Line Adjustment, as well as for demolition of the cloister. Categorical Exemption, ENV-2012-3129 CE, is insufficient for the scope of work proposed given the additional entitlement and the significance of the cloister as a historic element of the property. Therefore, staff recommends that the applicant submit an Environmental Assessment Form to analyze the project in its totality and upon completion of the appropriate environmental review, staff recommends that findings be revised in accordance with LAMC Section 11.5.7 and Section 12.20.3 procedures.~~

The project has been modified to address the concerns raised in the appeal. Staff recommends the Commission deny the appeal, approve the project as revised, and adopt Exhibit I (the Revised Architectural Plan dated June 5, 2013), adopt the Revised Findings, and adopt the

Revised Conditions of Approval included in this report.

**APPELLATE DECISION**

Per section 12.20.3 N of the LAMC, appeals of Certificate of Appropriateness cases are heard by the subject Area Planning Commission. Decisions from the Area Planning Commission are not further appealable.



**Exhibit A:**  
**Appeal of DIR-2012-3128-COA-SPP/ENV-2012-3129-CE**

Office: Downtown  
 Return to Planning Copy  
 Application Invoice No: 10323

City of Los Angeles  
 Department of City Planning



Scan this QR Code® with a barcode reading app on your Smartphone. Bookmark page for future reference.

**City Planning Request**

NOTICE: The staff of the Planning Department will analyze your request and accord the same full and impartial consideration to your application, regardless of whether or not you obtain the services of anyone to represent you.

This filing fee is required by Chapter 1, Article 9, L.A.M.C.

Applicant:
Representative: WEST ADAMS HERITAGE ASSOCIATION - MEYERS, LAURA ( H:323-7376146 )
Project Address: 1342 W ADAMS BLVD, 90007

NOTES: Appeal by an aggrieved party of the entire determination.

DIR-2012-3128-COA			
Item	Fee	%	Charged Fee
Other with Surcharges (per Ordinance No. 182,106) *	\$89.00	100%	\$89.00
<b>Case Total</b>			\$89.00
* Fees Subject to Surcharges			\$89.00
Fees Not Subject to Surcharges			\$0.00
<b>Plan &amp; Land Use Fees Total</b>			\$89.00
Expediting Fee			\$0.00
OSS Surcharge (2%)			\$1.78
Development Surcharge (6%)			\$5.34
Operating Surcharge (7%)			\$6.23
General Plan Maintenance Surcharge (5%)			\$4.45
<b>Grand Total</b>			\$106.80
<b>Total Credit</b>			\$0.00
<b>Total Invoice</b>			\$106.80
<b>Total Overpayment Amount</b>			\$0.00
<b>Total Paid</b> (this amount must equal the sum of all checks)			\$106.80

Council District: 8

Plan Area: South Los Angeles

Processed by AVILA, RALPH on 02/14/2013

Signature: Ralph Avila

LA Department of Building and Safety  
 LA 0005 104003635 2/14/2013 11:57:32 AM

PLAN & LAND USE \$106.80  
 Sub Total: \$106.80

Receipt #: 0104172684

# MASTER APPEAL FORM

City of Los Angeles – Department of City Planning

ORIGINAL

APPEAL TO THE: South Area Planning Commission  
(DIRECTOR, AREA PLANNING COMMISSION, CITY PLANNING COMMISSION, CITY COUNCIL)

REGARDING CASE #: DIR-2012-3128-COA-SPP

PROJECT ADDRESS: 1342 West Adams Blvd., Los Angeles CA 90007

FINAL DATE TO APPEAL: February 14, 2013

- TYPE OF APPEAL:
1.  Appeal by Applicant
  2.  Appeal by a person, other than the applicant, claiming to be aggrieved
  3.  Appeal by applicant or aggrieved person from a determination made by the Department of Building and Safety

### APPELLANT INFORMATION – Please print clearly

Name: Laura Meyers

- Are you filing for yourself or on behalf of another party, organization or company?
- Self       Other: West Adams Heritage Association

Address: 1818 South Gramercy Place  
Los Angeles, CA      Zip: 90019

Telephone: (323) 737-6146      E-mail: lauramink@aol.com

- Are you filing to support the original applicant's position?
- Yes       No

### REPRESENTATIVE INFORMATION

Name: \_\_\_\_\_

Address: \_\_\_\_\_  
Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ E-mail: \_\_\_\_\_

This application is to be used for any appeals authorized by the Los Angeles Municipal Code for discretionary actions administered by the Department of City Planning.

JUSTIFICATION/REASON FOR APPEALING – Please provide on separate sheet.

Are you appealing the entire decision or parts of it?

Entire

Part

Your justification/reason must state:

- The reasons for the appeal
- How you are aggrieved by the decision
- Specifically the points at issue
- Why you believe the decision-maker erred or abused their discretion

**ADDITIONAL INFORMATION/REQUIREMENTS**

- Eight (8) copies of the following documents are required (1 original and 7 duplicates):
  - Master Appeal Form
  - Justification/Reason for Appealing document
  - Original Determination Letter
- Original applicants must provide the original receipt required to calculate 85% filing fee.
- Original applicants must pay mailing fees to BTC and submit copy of receipt.
- Applicants filing per 12.26 K "Appeals from Building Department Determinations" are considered original applicants and must provide notice per 12.26 K 7.
- Appeals to the City Council from a determination on a Tentative Tract (TT or VTT) by the City (Area) Planning Commission must be filed within 10 days of the written determination of the Commission.
- A CEQA document can only be appealed if a non-elected decision-making body (i.e. ZA, APC, CPC, etc...) makes a determination for a project that is not further appealable.

*"If a nonelected decision-making body of a local lead agency certifies an environmental impact report, approves a negative declaration or mitigated negative declaration, or determines that a project is not subject to this division, that certification, approval, or determination may be appealed to the agency's elected decision-making body, if any."*  
 --CA Public Resources Code § 21151 (c)

I certify that the statements contained in this application are complete and true:

Appellant Signature:

*Jana Weis*

Date:

*Feb 14, 2013*

**Planning Staff Use Only**

Amount	<i>106.80</i>	Reviewed and Accepted by	Date
Receipt No.	<i>10323</i>	Deemed Complete by	Date

Determination Authority Notified

Original Receipt and BTC Receipt (if original applicant)

TO: Planning Department  
BY: Laura Meyers

RE: Case No. DIR-2012-3128-COA-SPP

Related Case No. ENV-2012-3129-CE

1342 West Adams Blvd., Los Angeles, CA 90007

*PROJECT DESCRIPTION -- Director's approval of a Certificate of Appropriateness and a Project Compliance Permit; and a Categorical Exemption from CEQA (California Environmental Quality Act), for:*

*"The conversion of two structures from office and Sunday School use to residential use; rehabilitation and restoration of exterior of both structures; addition of new dormers and exterior deck/stairs to primary structure; addition of 184 square feet to second story of accessory structure; and landscaping, gate and other site work on the property."*

February 14, 2013

Dear Administrators:

I am appealing this entire decision, along with all related determinations and findings, on behalf of West Adams Heritage Association (WAHA). After working for 30 years to conserve and protect the designated and identified historic resources in the West Adams District – including quite specifically the subject site – West Adams Heritage Association and I, personally, are aggrieved parties in this case, which if not appealed would permit the permanent alteration and demolition of designated historic resources. This justification letter will describe the points at issue and why we believe the decision-maker erred or abused discretion in this matter.

Planning Department staff failed to review this project in the context of its status as an Historic Resource individually listed on the National Register of Historic Places (ID No. US-87000139, NPS-87000139-9999, dated 02/12/1987) and as well as an Historic Resource that contributes to a National Register Historic District (also 1987). Staff also failed to inform the North University Park Design Review Board of the property's status as designated on the National Register.

Of critical importance is the "Cloister," which connects two important designated historic resources (the subject property, the William T. Bishop Residence at 1342 West Adams Blvd., and the Roger Williams Baptist Church, located at 1326 West Adams Blvd., all under the same current ownership). It has a prominent façade on Adams Boulevard, a designated scenic highway. However, buried in the Project's plans and also buried in the Findings – and not revealed in any public notice or project description – is the plan to remove/demolish this historic structure.

In addition, Staff incorrectly made Findings that the project as presented meets Secretary of Interior Standards for Rehabilitation. It does not (see more detail below).

\* The Project Description (copied above) fails to indicate that a part of the Project is the Demolition of the Gothic Revival “Cloister,” an approximately 100-foot-long structure that is also historically-designated. Public notices of the public hearing also failed to include the proposed demolition in the Project Description, a violation of the Brown Act (agendas from September 12 and November 19, 2012 attached).

Relative to this demolition, Staff also failed to require that the Applicant comply with LAMC Section 12.20.3, Subsection K, 5 (a), (b), (c), and (d), which specifically states: “*No Certificate of Appropriateness shall be issued to demolish, remove or relocate any building, structure, Landscaping, Natural Feature or Lot within a Preservation Zone that is designated as a Contributing Element and the application shall be denied unless the Owner can demonstrate to the Area Planning Commission that the Owner would be deprived of all economically viable use of the property.*”

This Subsection goes on to describe, in detail, the manner in which an Applicant is to evaluate a proposed demolition of a historic resource. No such evaluation has taken place. The granting of the COA is in direct violation of this section of the HPOZ Ordinance, and although the subject site is within the North University Park Specific Plan (NUPSP), the North University Park Specific Plan Subsection 2E requires that “A change in the occupancy, construction, alteration, relocation or removal of a building, natural feature or site, or any combination thereof with the Plan Area shall comply with Section 12.20.3, Subsections F through N of the LAMC (Historic Preservation Overlay Zone Ordinance).” Subsection K and each of its requirements falls within “F through N.” Thus this demolition of the Cloister structure does not meet the criteria in the NUPSP.

\* Staff made a gross error in Finding C, relative to LAMC 12.20.3.K.4(c), Standard #4, “*Most properties change over time; those changes which have acquired historic significance in their own right shall be retained and preserved.*”

The Staff Finding indicates that although “significant changes occurred in 1933-1934” (e.g., the construction of the Roger Williams Baptist Church sanctuary, the construction of the Gothic Revival Cloister, and the alteration of the original 1898 William T. Bishop residence with the addition of exterior plaster to match these two structures), and that “although these alterations are now historic due to their age,” it was not necessary to retain these architectural features because the new project (change the building to an 8-unit apartment building) “removes” the current “relationship to the church.” First of all, that is not a proper finding; the Cloister structure in particular may or may not need to have a current religious use to be historic. Second, there is no evidence in this record that the Bishop Residence has not taken on an added historical significance for its association with a religious organization. Third, the entire group of these buildings along Adams Boulevard are designated on the National Register as they appear today, linked in style and material. WAHA believes that residence did acquire a secondary significance when it became the home of the Roger Williams Baptist Church in the late 1920s, and certainly in 1933-34 when it was altered as part of the larger (also historic) complex. In any case, there no factual evidence in the Determination or its Findings to the contrary.

Moreover, since the William T. Bishop Residence was listed on the National Register in 1987 with its stucco cladding, that is how it is designated.

\* The Project does not meet the requirements of LAMC 11.5.7.C.2, which relies on LAMC Section 12.20.3, Subsection K, "Certificate of Appropriateness for Contributing Elements," which requires a Finding under 4(b): "Whether the Project protects and preserves the Historic and architectural qualities and the physical characteristics which make the building, structure, landscape, or Natural Feature a Contributing Element of the Preservation Zone" because it does not preserve all of the Historic and architectural qualities which make the...structure...a Contributing Element of the Preservation Zone because the Project demolishes (and thus eliminates) the Cloister, which is a pre-1941 Contributing Element of the Preservation Zone.

\* The Project does not meet the requirements of the NUPSP Subsection 2F which notes the purpose of a Certificate of Appropriateness is "to assure that any change made to a Façade of an existing, relocated or new building or structure is compatible with the architectural Styles which existed in the Plan Area prior to January 1, 1941 and to encourage the rehabilitation or retention of architecturally unique structures." Although the Bishop Residence is proposed for a renovation that would change its exterior to be wood shingles, which may be (or may not be; there is no evidence in the file) the correct size, shape and material, this Subsection would specifically also require the "rehabilitation or retention of architecturally unique structures" like the Cloister, which was built prior to January 1, 1941. Any structure that is listed on the National Register is deemed to be "unique" by City of Los Angeles' practice and procedure relative to historic resources.

Moreover, Staff has stated in its Determination that the "removal of non-original elements, along with the overall restoration of the facades of the buildings, brings the buildings back to their original historic appearance." We have not seen a photograph or drawing of the original 1898 exterior façade, either in the file or from WAHA's own recent research. So that affirmative statement cannot be made. In any case, the Project would introduce 14 non-original windows and doors into the Bishop Residence, which means it will not be returning the structure to its original appearance. The (visible) rear of the original porte cochere is being enclosed for HVAC and the remaining portion is shown as a "patio," while the original driveway is being relocated away from the porte cochere. The plans indicate that "pilasters" on the original front porch/parlor/sunroom are being removed, but based on other evidence it is possible that the actual original 1898 columns may either be enclosed by these pilasters or in any case should be replicated; more research needs to be done. There are other additions and changes to the original exterior shown in the provided architectural plans, enough so that these changes are neither minor nor would they in sum bring this building back to its original appearance.

Again, WAHA disputes the assertive statement by Staff that the project is consistent with the Secretary of Interior Standards for Rehabilitation.

*\* Standard No. 1: "A property shall be used for its historic purpose, or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment."* However, this Project proposes many changes (not minimal changes) to the defining characteristics of the building.

The Applicant proposes putting eight (8) apartments into an original 2-story house. To do so, Applicant will be removing the two-story grand entry reception hall (visible to passersby on the

street), adding a floor, and putting housing units in the attic and the basement, triggering the necessity to add MANY windows and dormers on the (visible) rear of the house. Note that the Bishop Residence is on a corner and thus its “rear” is highly visible from Menlo Avenue, and its eastern elevation is visible from Adams Boulevard. Staff writes that the change of use “does not result in a significant impact to the character-defining features.” However, the plans indicate not just the addition of new windows, but the change of what seemingly are windows or French doors, perhaps with leaded glass (it is unclear on the plans) into solid panel doors. And obviously the removal of the Cloister will then reveal the new exterior stairs and railing (which would not be visible from Adams Boulevard if covered by the Cloister walkway.)

**\* Standards #5 and #6 refer to the preservation of features and/or construction techniques, and the repair of deteriorated historic features, with the notation that if new/replacement features are required due to deterioration that the replacement features shall match the original in “design, color, texture, and other visual qualities, and, where possible, materials.”** There is nothing evident in the Determination Letter or Findings that would indicate that the original shingles were made of cedar (versus the more likely material, redwood); that the original shingles had a particular size, shape, dimensions (not discussed), or what color where they originally stained or painted (which would be evident on the reportedly discovered shingles extant under the concrete/plaster of 1934.)

Overall, Staff has made an assumption in its review of this proposal that the construction, in 1933-1934, of the Roger Williams Baptist Church and of the Cloister, and the alteration of the Bishop Residence to match these other two architectural elements, was not important, and that there was no historical significance to the 80-plus years that the Bishop Residence served a role in this religious institution. **There is no evidence referenced in the Determination Letter and Findings that the later changes did not have significance, only that for some reason it now seems preferable to revert the Bishop Residence to its original form – whatever that may have been, but which is not completely supported in this document.**

In any case, all three structures are designated historical resources listed on the National Register as Contributors to a District and, in the case of the Bishop Residence, individually as well. This is the highest possible level of listing/designation – much higher than being identified as a contributor to a specific plan with a historic preservation component – and the City of Los Angeles, a Certified Local Government, is obligated to evaluate all three structures within that prism. **This means that no changes should be approved (versus “some” or “many” changes) that would alter the original appearance of the Bishop Residence, whatever that was. And no demolition should be approved for the Cloister.**

WAHA also specifically appeals the Finding E, that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15300, Class 31. Section 15300, Class 31 would not include the change of use to eight (8) housing units; the creation of eight units is not exempt from CEQA (although it may have easily mitigated impacts, or none at all; it would still require a ND or MND.) Moreover, Applicant has apparently made it clear that the owners intend to re-subdivide the multiple parcels so as to separate the Bishop Residence from the Roger Williams Baptist Church to the east, which is an entitlement project that does not permit the phasing in of environmental assessments and/or clearances (one project, one review). At the same time, Applicant



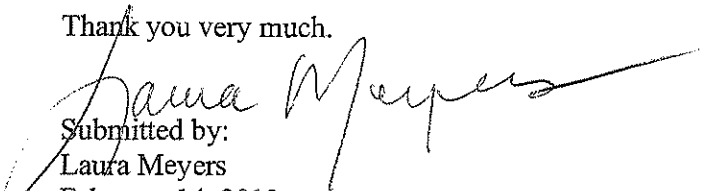
is removing 100% of parking from the existing church sanctuary building (circa 40 parking spaces) by utilizing them for the new apartments use. And, **IMPORTANTLY**, the proposed demolition of a designated historic resource (the Cloister) requires an EIR. For all of these reasons, therefore I must appeal the Finding that this project is categorically exempt as insufficient and not legally defensible.

In conclusion, WAHA feels that the Department of City Planning, its Office of Historic Resources and its HPOZ unit erred and may have abused discretion because Staff:

- failed to evaluate the property based on its listing in the National Register; and
- may have failed to even recognize that it was listed despite the City's own ZIMAS records which make it quite clear; and
- failed to inform the NUPSP Design Review Board (DRB) of the property's National Register status; and
- failed to understand that major proposed changes to the exterior would NOT meet Secretary of Interior Standards for Rehabilitation. In fact, many of the proposed changes to the interior are visible from the exterior of the building; and
- failed to properly inform the public of the proposed demolition of the Cloister, a designated historic resource; and
- issued a Certificate of Appropriateness for that demolition (as part of the project), even though that is not allowed in the NUPSP without evidence of financial feasibility and approval of the APC; and
- improperly failed to evaluate any environmental impacts of this multi-phased project.

It remains unclear and perplexing to WAHA just **WHY** the City's staff – which reportedly is trained in such evaluations – would not understand that enclosing historical features, changing windows and window fenestrations, adding dormers and thus changing the roofline, adding exterior stairs, and other major exterior changes is exactly what is not allowable under the Guidelines.

Thank you very much.

  
Submitted by:

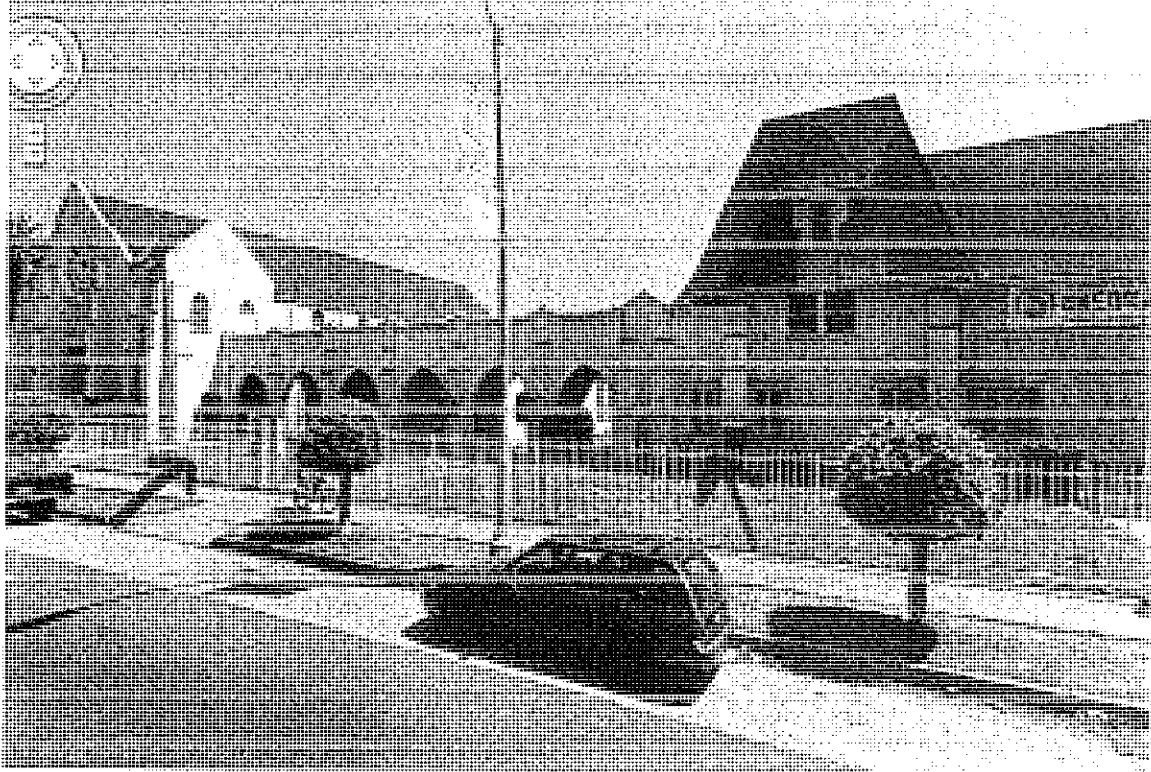
Laura Meyers

February 14, 2013

1818 South Gramercy Place, Los Angeles CA 90019

323-737-6146 (home); 323-868-0854 (cell)

[lauramink@aol.com](mailto:lauramink@aol.com)



"Cloister"  
between 1326 and 1342 West Adams Blvd



**Los Angeles City Planning Department  
Office of Historic Resources**



**PUBLIC HEARING  
NORTH UNIVERSITY PARK SPECIFIC PLAN  
DESIGN REVIEW BOARD**

**Board Members**

Art Curtis - Chairperson  Pres.  Abs.  
Donald Ferguson - Secretary  Pres.  Abs.

Maggi Fajnor - Member  Pres.  Abs.  
James McElwain - Member  Pres.  Abs.

**Meeting Information**

**Date:** Wednesday, September 12, 2012  
**Time:** 6:30 p.m.

**Place:** University Village - Community Computing Center  
3355 S. Hoover, Suite C-11 / Los Angeles 90089  
(facing Jefferson Blvd, between Fire Station and Bank of America)

**AGENDA**

- |  |   |
|--|---|
| <ol style="list-style-type: none"> <li>1. <b>Call to Order</b></li> <li>2. <b>Introduction</b></li> <li>3. <b>Approval of Minutes</b></li> <li>4. <b>Staff/Board Communication</b></li> <li>5. <b>Public Comment</b></li> <li>6. <b>Conforming Work</b></li> </ol> | <p>Roll Call</p><br><br><br><br><br><p>Public comment of non-agenda items for a maximum of 10 minutes</p> |
|--|---|

**A. Contributing Elements**

**1100 W Adams Blvd**  
New paint colors  
*Applicant: Sister Claudia*  
 Approved,  Rejected,  Continued \_\_\_\_\_,  No Action,  
 Ayes,  Nays

**1201 W 30<sup>th</sup> Street**  
Window replaced on rear façade (retroactive review)  
*Applicant: Tarek Abdel-Ghaffar, L+V Architects*  
 Approved,  Rejected,  Continued \_\_\_\_\_,  No Action,  
 Ayes,  Nays

**B. Non-Contributing Elements**

**2711 S Ellendale**  
New exterior paint colors; Removal of wood panels on front façade;  
Replacement balcony railings; New front steps, walkway, and access ramp; Alteration to front fence  
*Applicant: David Kaufman, owner; Daniel Heifetz, architect*  
 Approved,  Rejected,  Continued \_\_\_\_\_,  No Action,  
 Ayes,  Nays

- |     |   |  |
|-----|---|--|
| 7.  | <b>Public Hearing Notice For the Following Items*</b> |  |
|     | A. Certificates of Appropriateness                    | None   |
|     | B. Certificates of Compatibility                      | None   |
| 8.  | <b>Consultations</b>                                  | <b>1342 W Adams Blvd.</b><br>Convert existing church buildings into residential use<br><i>Applicant: Tarek Abdel-Ghaffar, L+V Architects</i><br>Recommend Filing, Recommend Filing with Changes<br>Request Additional Board Meeting, No Action |
| 9.  | <b>Other Board Business</b>                           | Search for new DRB members to fill vacancies   |
| 10. | <b>Miscellaneous</b>                                  | The next Scheduled Meeting is <b>Wednesday, September 26, 2012.</b><br>Cancellation may occur due to the lack of agenda items to review.   |

\*Under provisions in Section 12.20.3 (Notice and Public Hearing) of the Municipal Code, the owners and occupants of all properties abutting, across the street or alley from, or having a common corner with the subject property shall receive notice of the application for Certificate of Appropriateness at least ten (10) days prior to the date of the HPOZ Board meeting. Further, the applicant shall post the site in a conspicuous place ten (10) days prior to the date of the HPOZ Board meeting.

Under provisions of the Brown Act (Gov. Code Sec. 54959-54960), the HPOZ Board is a "legislative body" and must: 1. Conduct all quorum meetings in public; and (2.) Seventy-two (72) hours before public meetings, post all agenda or issues considered for discussion. (The public notices are posted at the Department of City Planning and at the Main Lobby of City Hall East as well as on the Internet at <http://cityplanning.lacity.org>)

If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized here, or in written correspondence on the matters delivered to this agency at or prior to the public hearing.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate. The meeting facility and its parking are wheelchair accessible. Sign language interpreters, assistive listening devices, language translators, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the staff person referenced in this notice.

Materials submitted for any above-referenced cases are available for public review at the Department of City Planning, for more information contact the planner below.

**Contact Information:**

Department of City Planning  
 Office of Historic Resources  
 200 N Spring Street, 6<sup>th</sup> Floor  
 Los Angeles, CA 90012  
 Lameese Elqura  
 (213) 978-1220  
 lameese.elqura@lacity.org

Council District 8  
 Bernard Parks  
 Planning Deputy: Purvi Doshi  
 (213) 473-7008

Code Enforcement:  
 Dept of Building and Safety  
 (Single Family Dwellings or  
 Commercial Buildings)  
 888-524-2845 or 888-833-8389

Housing Department  
 (Multi-family Dwellings)  
 866-557-7368



**Los Angeles City Planning Department  
Office of Historic Resources**



**PUBLIC HEARING  
NORTH UNIVERSITY PARK SPECIFIC PLAN  
DESIGN REVIEW BOARD**

**Board Members**

Art Curtis - Chairperson  Pres.  Abs.  
Donald Ferguson - Secretary  Pres.  Abs.

Maggi Fajnor - Member  Pres.  Abs.  
James McElwain - Member  Pres.  Abs.

**Meeting Information**

**Date:** Wednesday, November 28, 2012  
**Time:** 6:30 p.m.

**Place:** University Village - Community Computing Center  
3355 S. Hoover, Suite C-11 / Los Angeles 90089  
(facing Jefferson Blvd, between Fire Station and Bank of America)

**UPDATED AGENDA**

- |    |   |  |
|----|---|--|
| 1. | <b>Call to Order</b>                                  | Roll Call  |
| 2. | <b>Introduction</b>                                   |  |
| 3. | <b>Approval of Minutes</b>                            |  |
| 4. | <b>Staff/Board Communication</b>                      |  |
| 5. | <b>Public Comment</b>                                 | Public comment of non-agenda items for a maximum of 10 minutes   |
| 6. | <b>Conforming Work</b>                                |  |
|    | <b>A. Contributing Elements</b>                       | <p><b>2647 S Magnolia Ave. (continued)</b><br/>New fence, entry walkway, and landscaping in the front yard<br/><i>Applicant: Art Curtis</i><br/><input type="checkbox"/> Approved, <input type="checkbox"/> Rejected, <input type="checkbox"/> Continued _____, <input type="checkbox"/> No Action,<br/>Ayes: _____ Nays: _____</p>  |
|    | <b>B. Non-Contributing Elements</b>                   | None   |
| 7. | <b>Public Hearing Notice For the Following Items*</b> |  |
|    | <b>A. Certificates of Appropriateness</b>             | <p><b>1342 W Adams - DIR-2012-3128-COA-SPP</b><br/>Change of use from church sunday school to apartments (total 10 dwelling units in two buildings); restoration and rehabilitation of existing historic buildings; new dormers and exterior stairs on primary structure; new partial second story addition on secondary structure; new parking lot striping, landscaping, gate, and other site work.<br/><i>Applicant: Vladi Tomalevski, L+V Architects</i></p> |

**B. Certificates of  
Compatibility**

None

**8. Consultations**

**1264 W Adams**

New construction on vacant lot

*Applicant: Thomas Anderson, owner; Taylor Loudon, architect*

Recommend Filing, Recommend Filing with Changes

Request Additional Board Meeting, No Action

**9. Other Board Business**

**10. Miscellaneous**

The next Scheduled Meeting is **Wednesday, December 14, 2012.**

Cancellation may occur due to the lack of agenda items to review.

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\*Under provisions in Section 12.20.3 i (Notice and Public Hearing) of the Municipal Code, the owners and occupants of all properties abutting, across the street or alley from, or having a common corner with the subject property shall receive notice of the application for Certificate of Appropriateness at least ten (10) days prior to the date of the HPOZ Board meeting. Further, the applicant shall post the site in a conspicuous place ten (10) days prior to the date of the HPOZ Board meeting.

Under provisions of the Brown Act (Gov. Code Sec. 54959-54960), the HPOZ Board is a "legislative body" and must: 1. Conduct all quorum meetings in public; and (2.) Seventy-two (72) hours before public meetings, post all agenda or issues considered for discussion. (The public notices are posted at the Department of City Planning and at the Main Lobby of City Hall East as well as on the Internet at <http://cityplanning.lacity.org> )

If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized here, or in written correspondence on the matters delivered to this agency at or prior to the public hearing.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate. The meeting facility and its parking are wheelchair accessible. Sign language interpreters, assistive listening devices, language translators, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the staff person referenced in this notice.

Materials submitted for any above-referenced cases are available for public review at the Department of City Planning, for more information contact the planner below.

---

**Contact Information:**

Department of City Planning  
Office of Historic Resources  
200 N Spring Street, 6<sup>th</sup> Floor  
Los Angeles, CA 90012  
Lameese Elqura  
(213) 978-1220  
lameese.elqura@lacity.org

Council District 8  
Bernard Parks  
Planning Deputy: Purvi Doshi  
(213) 473-7008

Code Enforcement:  
Dept of Building and Safety  
(Single Family Dwellings or  
Commercial Buildings)  
888-524-2845 or 888-833-8389

Housing Department  
(Multi-family Dwellings)  
866-557-7368

**Exhibit B:**  
**Director's Determination DIR-2012-3128-COA-SPP**

DEPARTMENT OF  
**CITY PLANNING**  
200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
AND  
6262 VAN NUYS BLVD., SUITE 351  
VAN NUYS, CA 91401

**CITY PLANNING COMMISSION**

**WILLIAM ROSCHEN**  
PRESIDENT  
**REGINA M. FREER**  
VICE-PRESIDENT  
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**BARBARA ROMERO**  
**JAMES WILLIAMS**  
COMMISSION EXECUTIVE ASSISTANT  
(213) 978-1300

**CITY OF LOS ANGELES**  
CALIFORNIA



**ANTONIO R. VILLARAIGOSA**  
MAYOR

**EXECUTIVE OFFICES**

**MICHAEL J. LOGRANDE**  
DIRECTOR  
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**ALAN BELL, AICP**  
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**LISA M. WEBBER, AICP**  
DEPUTY DIRECTOR  
(213) 978-1274

**EVA YUAN-MCDANIEL**  
DEPUTY DIRECTOR  
(213) 978-1273

FAX: (213) 978-1275

INFORMATION  
[www.planning.lacity.org](http://www.planning.lacity.org)

**CERTIFICATE OF APPROPRIATENESS**  
**NORTH UNIVERSITY PARK SPECIFIC PLAN AREA**

January 30, 2013

**Property Owner**

Paras Bhakta  
1342 W Adams Holding, LLC  
8350 W Sarah Avenue, #210  
Las Vegas, Nevada 89117

**Case No.** DIR-2012-3128-COA-SPP  
**CEQA:** ENV-2012-3129-CE

**Location** 1342 W Adams Blvd.

**Council District:** 8 – Parks

**Community Plan Area:** South Los Angeles

**Land Use Designation:** High Medium Residential

**Zone:** R4-1L-O

**Applicant/Representative**

Vladimir Tomalevski  
L+V Architects  
2332 Cotner Ave. #303  
Los Angeles, CA 90064

**Legal Description** Lot 1,2,3, Rowley Tract

Pursuant to Los Angeles Municipal Code Section 12.20.3 K, I hereby **approve** a Certificate of Appropriateness and a Project Permit Compliance for the following project within the North University Park Specific Plan Area:

Conversion of two structures from office and Sunday school use to residential use; rehabilitation and restoration of exterior of both structures; addition of new dormers and exterior deck/stairs to primary structure; addition of 184 square feet to second story of accessory structure; and landscaping, gate, and other site work on the property.

The project is found to be in compliance with the provisions and intent of the North University Park Specific Plan as indicated in the attached Findings. Approval of the project is subject to the attached Conditions of Approval.

The last day to file an appeal regarding this determination is **February 14, 2013**.



## CONDITIONS OF APPROVAL

1. The use and development of the subject property shall be in substantial conformance with this approval and the plans submitted by the applicant, signed and dated by staff and attached to the case file as **Exhibit A-1**. Any changes to the project or these plans shall be approved by the Director of Planning and may require additional review by the HPOZ Board. Each change shall be identified and justified in writing. Modified plans shall be signed and dated by staff and attached to the case file as **Modified Exhibit A-1**, etc.
2. The project shall be executed with the following architectural features:
  - a. Existing over-height wrought iron fence at perimeter of property to be removed. A replacement fence may be installed if it is 42 inches or lower and is set back from the sidewalk to allow for planting in front. Any plans for a new fence shall be reviewed by Planning Staff for approval prior to installation.
  - b. All new hedges to comply with citywide height limits for the front, side, and rear yards. Hedges to be regularly maintained so as not to exceed allowable height.
3. *Prior to the issuance of a building permit*, the applicant shall submit the two final sets of architectural/construction drawings that have been reviewed by LADBS plan check engineers, as well as two additional sets of architectural drawings for final review and approval by Department of City Planning staff (four sets of plans total). Final drawings shall substantially resemble the Approved Exhibit (or any subsequent Modified Exhibits) and shall be stamped and dated by staff and attached to the case file as **Final Plans**.
4. *Prior to the issuance of a building permit*, The following statement shall be imprinted on the site plan, floor plan, elevations and any architectural detail sheets of any construction drawings submitted to the Department of Building and Safety:

NOTE TO PLAN CHECKER AND BUILDING INSPECTOR - These plans, including conditions of approval, shall be complied with and the height, size, shape, location, texture, color, or material shall not differ from what the Director of Planning has approved under DIR-2012-3128-COA-SPP. Any change to the project shall require review by the Director of Planning and recommendation, by the Design Review Board (DRB). A request for variation shall be submitted in writing and include a specific notation of the variation(s) requested. Should any change be required by a public agency then such requirement shall be documented in writing.

5. *Prior to the issuance of a building permit*, these Conditions of Approval shall be printed on the cover sheet of all four sets of drawings submitted for review as Final Exhibits.
6. The granting of this determination by the Director of Planning does not in any way indicate compliance with applicable provisions of LAMC Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
7. Approval, Verification and Submittals. Copies of any approvals, guarantees or verification of consultations, review or approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning for placement in the subject file.
8. Code Compliance. All area, height and use regulations of the zone classification for the subject

property shall be complied with.

9. Definition. Any agencies, public officials or legislation referenced in these conditions shall mean those agencies, public officials, legislation or their successors, designees or amendment to any legislation.
10. Enforcement. Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Planning Department and any designated agency, or the agency's successor and in accordance with any stated laws or regulations, or any amendment thereto.

#### **Observance of Conditions – Time Limits**

All terms and conditions of this Certificate of Appropriateness shall be fulfilled before the use may be established. The instant authorization is further conditional upon the privileges being utilized within three years after the effective date of this determination and if such privileges are not utilized within said time, the authorization shall terminate and become null and void. Privileges shall be considered utilized when a valid permit from the Department of Building and Safety has been issued and construction work has begun and been carried out without substantial suspension or abandonment of work. An approval not requiring permits for construction or alteration from the Department of Building and Safety shall be considered utilized when operations of the use authorized by the approval have commenced.

#### **Transferability**

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant.

#### **Violation of These Conditions is a Misdemeanor**

Section 11.00 M of the Los Angeles Municipal Code states in part: "It shall be unlawful to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be in charged by the City Attorney as either a misdemeanor or an infraction." Every violation of this determination is punishable as a misdemeanor and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the county jail for a period of not more than six months, or by both such fine and imprisonment.

## FINDINGS

### A. 11.5.7.C.2 – Project Permit Compliance Review within a Specific Plan Area

Section 11.5.7.C.2 of the LAMC requires that the Director of Planning grant Project Permit Compliance upon written findings that the project a) substantially complies with the applicable regulations, findings, standards and provisions of the specific plan; and b) incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review which would mitigate the negative environmental effects of the project, to the extent physically feasible.

1. The North University Park Specific Plan Subsection 2E requires that "A change in occupancy, construction, alteration, relocation or removal of a building, natural feature or site, or any combination thereof within the Plan Area shall comply with Section 12.20.3, Subsections F through N of the LAMC (Historic Preservation Overlay Zone Ordinance)"

The project, which involves the change of occupancy from the existing use as well as alterations to the building on the site, complies with the requirements found in LAMC Section 12.20.3.K – Procedures for Obtaining a Certificate of Appropriateness. The project also complies with the procedures for Notice and Public hearing found in LAMC Section 12.20.3.M. Compliance with these code sections is described in detail in Finding B.

2. The North University Park Specific Plan Subsection 2F notes the purpose of a Certificate of Appropriateness is "to assure that any change made to a Façade of an existing, relocated or new building or structure is compatible with the Architectural Styles which existed in the Plan Area prior to January 1, 1941 and to encourage the rehabilitation or retention of architecturally unique structures."

A major aspect of the project is the restoration of the existing structures on the site, which have been altered since the time of construction in 1898. The project includes removal of non-original stucco cladding on the buildings, and a cloister that was added in 1934 to connect the primary structure to an adjacent church building. This removal of non-original elements, along with overall restoration of the façades of the buildings, brings the buildings back to their original historic appearance.

The proposed new dormers to be added to the rear facades of the primary structure, and the new second story addition proposed for the accessory structure, are compatible with the Chateausque/Eclectic architectural style of these buildings. The dormers have slopes that are consistent with the slopes of existing dormers on the structure, and contain wood casement windows that match others on the structure. The addition on the accessory structure is also consistent with the historic architectural style of the property, as it employs a steep hipped roof and dormers that match the other roof on this structure.

3. Section 11.5.7.C.2(b) – This project is categorically exempt from the California Environmental Quality Act (see Finding D below), so the environmental effects of the project were not evaluated.

### B. 12.20.3.K.3.(a) and 12.20.3.M – Recommendations from the North University Park Design Review Board and the Cultural Heritage Commission, and Notice and Public Hearing:

Section 12.20.3.K. of the LAMC requires that Department of City Planning staff refer applications for Certificates of Appropriateness to both the Design Review Board and the Cultural Heritage Commission (or its designee) within a 30-day period of the application having been deemed complete. The purpose of this requirement is to allow the subject application to be discussed in a public meeting with both public and expert testimony (in the case of the Design Review Board meeting), and to gather an expert opinion with reference to the Secretary of Interior's Standards for Rehabilitation (in the case of the Cultural Heritage Commission).

Section 12.20.3.M of the LAMC requires that before making its recommendation to approve, conditionally approve or disapprove an application pursuant to this section for a Certificate of Appropriateness, the Board shall hold a public hearing on the matter. The applicant shall notify the Owners and occupants of all properties abutting, across the street or alley from, or having a common corner with the subject property at least ten days prior to the date of the hearing, and notice of the public hearing shall be posted by the applicant in a conspicuous place on the subject property at least ten days prior to the date of the public hearing.

Having deemed the subject application complete on November 15, 2012, Department of City Planning staff sent copies of the application with relevant materials to the Design Review Board on November 19, 2012. Notice for the hearing, scheduled for November 28, 2012, was posted at the site and at City Hall on November 16, 2012, and was mailed to abutting property owners on November 15, 2012. On November 28, 2012 the Design Review Board held a meeting where there was a quorum of three DRB members. At this meeting a motion to approve the project was made, with two members voting in favor of the project and one voting against. Thus without at least three votes in favor, there was no official DRB recommendation to approve the project. In response to public comments made at the meeting, a motion was also made to request a historic resources report from the applicant to document the appropriateness of the proposed alterations. This motion also received two votes in favor and one against, and thus did not result in a formal DRB recommendation.

LAMC Section 12.20.3.K.3(b) notes that in the event that the Board does not submit its recommendations within 30 days of the postmarked date of mailing of the application from the City Planning Department, the Board shall be deemed to have forfeited all jurisdiction in the matter and the Certificate may be approved, conditionally approved, or disapproved as filed. Since the Board was unable to convene a quorum by December 19, 2012, and the applicant did not agree to a longer period of time for the Board to act, there was no recommendation from the Board.

Department of City Planning staff sent copies of the application with relevant materials to the Cultural Heritage Commission's designee on November 19, 2012. The Cultural Heritage Commission designee recommended approval of the project as-is, citing general compliance with the Secretary of the Interior's Standards for Rehabilitation.

The expert opinion of the CHC both recommended approval of the subject application. Approval of the subject application is therefore consistent with 12.20.3.K. of the LAMC

**C. 12.20.3.K.4.(c) – Standards for Issuance of Certificate of Appropriateness for Construction, Addition, Alteration, or Reconstruction as it relates with the adopted Preservation Plan.**

The proposed project, as conditioned in this Determination, substantially complies with LAMC Section 12.20.3.K.4 because the proposed project is consistent with the Secretary of the Interior Standards for Rehabilitation.

*Standard # 1: A property shall be used for its historic purpose, or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

As proposed, the change of use of the two structures on the property from church-related school and office space into multiple residential units does not result in a significant impact to the character-defining features. The majority of the alterations to convert the uses occur on the interior, and the locations and sizes of the original windows and doors are maintained.

On the east façade, a group of four double-leaf doors are replaced with solid doors and fixed glass and solid panels, but maintain the original size of the opening and the general proportions of the openings.

Two new dormers are proposed for the primary structure in order to allow light into previously unoccupied attic spaces. These dormers are located on the sides and rear of the building and are minimally visible from the street, and thus do not have a significant impact to the roofline. The design of the dormers is such that they blend in with the architecture of the building.

To allow for necessary egress from the converted third level of the primary structure, a new stairway is proposed. It will be located behind the massing of the building, so it will not be visible from the street. The stairs and railing are also constructed of wood and will be detailed to match the architectural style of the building.

The change of use of the accessory structure from office to residential use also does not necessitate significant changes to the character-defining features. Existing windows and doors will remain in place, and the addition will be built on top of a non-original addition on the building, replacing a roofline that is not currently consistent with the style of the building.

*Standard # 2 - The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The change of use, restoration, and addition will all retain the historic character of the property, as the significant rooflines, windows, and doors will all be maintained. The materials and elements removed – including stucco and cloister – result in the exposure of the original materials and the restoration of the historic appearance of the building:

*Standard #4 – Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

After it was originally developed in 1898 with a large single-family house and accessory structure, the property has gone through numerous alterations and changes to the structures on the site and the context. One of the most significant changes occurred in 1933-1934, when a church building was constructed on the adjacent lot, and the original single family house was subsequently connected to the church by a cloister. At this time the single family house was also covered in plaster to match the new church. Although these alterations are now historic due to their age, their relationship to the function of the buildings has changed. The cloister and plaster were alterations done to physically and visually link the primary structure at 1342 W Adams with the adjacent church, as the buildings were all being used for similar church-related purpose at the time. Since the project proposes to change the use of the primary structure back to residential use, thus removing the relationship to the church,

the applicant's proposal to restore the appearance of the property to the original condition prior to 1933 by removing the cloister and plaster is appropriate.

*Standard #5 – Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

*Standard #6 – Deteriorated historic features shall be repaired rather than replaced. Where the severity of the deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and where, possible, materials.*

The project involves the restoration of distinctive materials, primarily the wood shingle cladding on the exterior walls of both structures. New cedar shingles will be used to match those that existing historically, as the original materials are currently deteriorated underneath a later addition of stucco. Damaged historic windows on the structures will also be restored (or repaired, where possible.) The replacement window sashes will be wood single-glazed sashes with divided lights that match the design of original historic windows on the structure.

*Standard # 9 – New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion and massing to protect the integrity of the property and its environment.*

The addition to the accessory structure does not involve the removal or obscuring of historic features or roof forms, as it is built above the non-historic extension to the structure. It is compatible in its steeply-pitched roof and dormers, but does not copy the shape of the historic roof on this structure exactly.

The proposed new dormers are compatible with the historic structure as they are constructed with the same materials as the structure and utilize the same roof slope as other dormers on the roof, and contain windows that match historic windows found on the structure. The new dormer on the east elevation stands out from historic dormers in that it is not a copy of the others in size and shape. The new dormer on the south elevation is a horizontal extension of an existing historic dormer; this extension is differentiated from the original dormer width by having a separate grouping of windows.

*Standard # 10 – New additions and adjacent new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and environment would be unimpaired.*

The new addition proposed for the accessory structure would be built atop a non-original addition to the original historic accessory structure, so it does not compromise the integrity of the original historic features of this structure when added or removed. If removed, the original hipped roof of the accessory structure would remain intact.

**D. 12.20.3 K 4 (b) - Protection and preservation of the historical and architectural qualities and the physical characteristics which make the building, structure, landscape or natural feature a contributing element of the preservation zone.**

Section 12.20.3.K.4 (b) of the LAMC requires that all applications for Certificate of Appropriateness be evaluated to assess whether they protect and preserve the historical

and architectural qualities and the physical characteristics which make the building, a contributing element of the preservation zone. The subject property is developed with a Classic Box style house in a historic district with numerous other homes of similar architectural style. The project does not compromise the defining features of the existing home, nor does it compromise the integrity of homes within the district, as it is a detached new structure located at the rear of the property behind the existing house. The new construction is designed in a style that is compatible with historic styles in the area, and its massing is such that it will be minimally visible from the street. The subject application therefore does comply with 12.20.3.K (b) of the LAMC.

- E. The proposed project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15300, Class 31 of the State CEQA Guidelines for projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation, or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings. The project consists of the rehabilitation and restoration of buildings deemed historic as part of the North University Park Historic Resources Survey (1983). Notice of Exemption No. ENV-2012-3129-CE was issued on November 8, 2012.**

## STAFF REPORT

### Project Description

The project consists of the rehabilitation and restoration of a historic property located at the corner of West Adams Boulevard and Menlo Avenue. The primary structure on the property, originally built as a large single-family dwelling and later converted to church-related uses, is proposed to be converted to multi-family residential use. Eight individual dwelling units will be created in the three-story structure. The exterior will be rehabilitated by removal of the stucco cladding, cloister, and pilasters all added to the façade in 1934. New wood shingle cladding will be installed on the exterior of the structure to mimic the original cladding material that existed beneath the stucco. The original wood windows on the structure will be repaired and rehabilitated, and several will be removed and replaced with similar windows that match original ones on the house. To make the third story attic space habitable, two new dormers are proposed for the rear-facing rooflines of the structure. The existing composition shingle roof will be replaced in-kind with a similar dark-colored composition shingle material.

In addition, the project includes rehabilitation and conversion of use of the accessory structure on the site. Originally likely built as a carriage house or other accessory storage space, this structure is currently used as an office and is proposed to be converted into two dwelling units. To create additional space for the dwelling units, a new second story (184 SF) is proposed to be added to a portion of this structure.

The landscape plan includes the introduction of a variety of trees and plants to the site, which reduces the amount of hardscape on the lot and reintroduces a landscaped lawn on the Menlo Avenue side of the property. A new 42-inch-high hedge is proposed to surround the property along Adams Boulevard and Menlo Avenue, and a taller hedge is proposed along the south property line. Twenty-two parking spaces are proposed on the south side of the lot. Several social spaces are planned for areas adjacent to the two residential structures. These spaces would be paved with recycled brick obtained from old brick foundation on the property, and contain tables and seating for resident use.

### Property Profile

The 7,486-square-foot site is currently developed with two structures. The primary structure was built in 1898 as a two-and-one-half story residence fronting onto Adams Boulevard. The Chateausque/Eclectic-style building has a steeply-pitched complex roof system and an irregular-shaped plan and asymmetrical façade. A porte cochere with overhanging second floor is located on the south (rear) façade. The building is clad in stucco and connected to the church building on the adjacent property by cloisters, both of which were alterations made in 1934. A smaller two-story accessory structure sits at the southeast corner of the lot, and is built in the same architectural style as the primary structure. It has also been altered through the addition of exterior stucco cladding, and has had a later addition added to the north side. With the exception of a grass lawn on the Adams Boulevard side, most of the lots are paved over in asphalt and are currently used as parking space. A six-foot-high wrought iron fence currently surrounds the perimeter of the property.





Figure 1: Image of 1342 W Adams Blvd. taken from the North University Park Historic Resources Survey (1983).

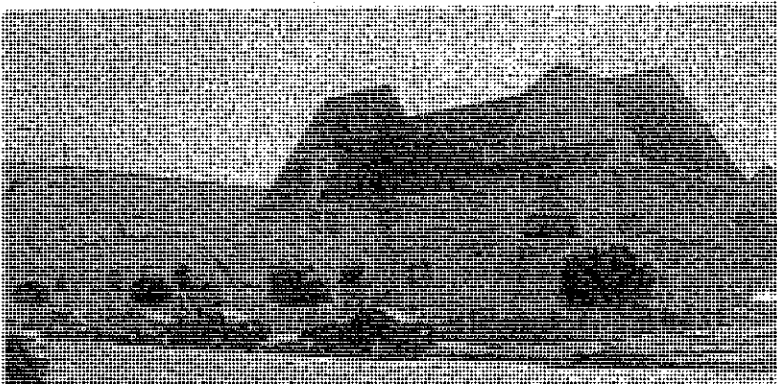


Figure 2: Image of 1342 W Adams Blvd. looking southeast towards primary structure (November 2012).

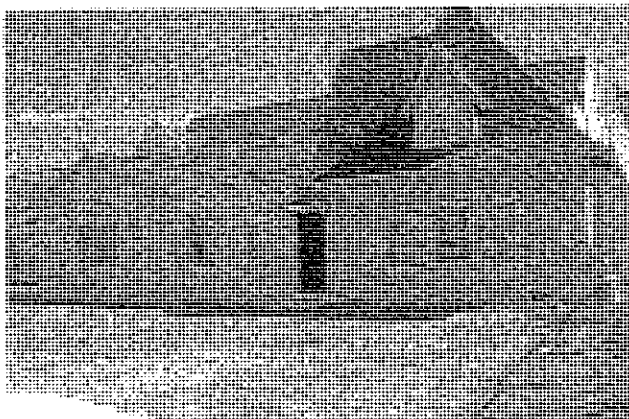


Figure 3: Image of accessory structure at the rear of 1342 W Adams Blvd. (November 2012).

### Background

The North University Park area was annexed to the City of Los Angeles on April 2, 1896, as a portion of the Southern and Western Additions. This residence is located on Lot 41 of the Waverly Tract, which was record in 1886. The North University Park Specific Plan was established by the City of Los Angeles in 1983, covering the area between Hoover St., 30<sup>th</sup> St., Vermont Ave., and Adams Blvd. A primary purpose of the Specific Plan is to protect and enhance the buildings, structures, sites, and areas which are reminders of the City's history or unique and irreplaceable assets to the City and the North University Park neighborhood or worthy examples of past architectural styles.

**APPEAL PERIOD**

The Determination in this matter will become effective 15 days after the date of mailing, unless an appeal therefrom is filed with the Department of City Planning. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/ incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of this grant and received and receipted at a public office of the Department of City Planning on or before the prescribed date or the appeal will not be accepted. Department of City Planning public offices are located at:

Figueroa Plaza  
201 North Figueroa Street, #400  
Los Angeles, CA 90012  
(213) 482-7077

6262 Van Nuys Blvd, 3<sup>rd</sup> Floor  
Van Nuys, CA 91401  
(818) 374-5050


The applicant is further advised that all subsequent contact with this office regarding this grant must be with the decision-maker who acted on the case. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished by appointment only, in order to assure that you receive service with a minimum amount of waiting. You should advise any consultant representing you of this requirement as well.

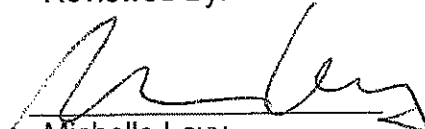
**APPROVED BY:**

MICHAEL J. LOGRANDE  
Director of Planning

Reviewed By:

Prepared By:

  
\_\_\_\_\_  
Ken Bernstein, AICP  
Manager, Office of  
Historic Resources

  
\_\_\_\_\_  
Michelle Levy,  
City Planner

  
\_\_\_\_\_  
Lameese Elqura,  
Planning Assistant  
(213) 978-1220

cc: North University Park Design Review Board  
Empowerment Congress North Area  
Council District 8 - Parks

**Exhibit C:**  
**Categorical Exemption ENV-2010-3129-CE**

COUNTY CLERK'S USE

CITY OF LOS ANGELES  
OFFICE OF THE CITY CLERK  
200 NORTH SPRING STREET, ROOM 360  
LOS ANGELES, CALIFORNIA 90012

CITY CLERK'S USE

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

(California Environmental Quality Act Section 15062)

Filing of this form is optional. If filed, the form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152 (b). Pursuant to Public Resources Code Section 21167 (d), the filing of this notice starts a 35-day statute of limitations on court challenges to the approval of the project. Failure to file this notice with the County Clerk results in the statute of limitations being extended to 180 days.

LEAD CITY AGENCY: City of Los Angeles Department of City Planning  
COUNCIL DISTRICT: 8

PROJECT TITLE: DIR 2012-3128  
LOG REFERENCE: ENV - 2012-3129-CE

PROJECT LOCATION: 1342 W ADAMS

DESCRIPTION OF NATURE, PURPOSE, AND BENEFICIARIES OF PROJECT: Change of use from church to residential; partial 2nd story addition to accessory structure

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT, IF OTHER THAN LEAD CITY AGENCY: VLADIMIR TOMALEVSKI - L+V ARCHITECTS

CONTACT PERSON: TAREK ABDEL-GHAFFAR  
AREA CODE: 310  
TELEPHONE NUMBER: 914-5577  
EXT.:

EXEMPT STATUS: (Check One)

	STATE CEQA GUIDELINES	CITY CEQA GUIDELINES
<input type="checkbox"/> MINISTERIAL	Sec. 15268	Art. II, Sec. 2b
<input type="checkbox"/> DECLARED EMERGENCY	Sec. 15269	Art. II, Sec. 2a (1)
<input type="checkbox"/> EMERGENCY PROJECT	Sec. 15269 (b) & (c)	Art. II, Sec. 2a (2) & (3)
<input checked="" type="checkbox"/> CATEGORICAL EXEMPTION	Sec. 15300 et seq.	Art. III, Sec. 1

Class 31 Category \_\_\_\_\_ (State CEQA Guidelines)

OTHER (See Public Resources Code Sec. 21080 (b) and set forth state and City guideline provision.)

JUSTIFICATION FOR PROJECT EXEMPTION: Projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

SIGNATURE:	TITLE: Planning Assistant	DATE: 11/9/12
FEE: 81.00 -	RECEIPT NO.: 9294	REC'D. BY: C. Rodriguez
		DATE: 11/9/12

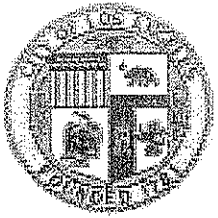
DISTRIBUTION: (1) County Clerk, (2) City Clerk, (3) Agency Record  
Rev. 11-1-03 Rev. 1-31-06 Word

IF FILED BY THE APPLICANT:  
\* VLADIMIR TOMALEVSKI  
NAME (PRINTED)

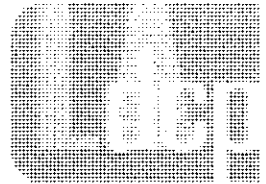
\*   
SIGNATURE

\* 11-09-12  
DATE

**Exhibit D:  
Cultural Heritage Commission Recommendation**



**OFFICE OF HISTORIC RESOURCES**  
 City Hall • 200 N. Spring Street, Room 620 • Los Angeles, CA 90012



January 18, 2013

TO: Lambert Giessinger, Architect  
 Cultural Heritage Commission *EGMS*

FROM: Lameese Elqura, Planning Assistant  
 Department of City Planning

SUBJECT: DIR-2012-3128-COA-SPP, 1342 W. Adams

Per Section 12.20.3.K.b of the Historical Preservation Overlay Zone (HPOZ) Ordinance, the above referenced case is being referred to your office for review, comment and recommendation. Located in the North University Park HPOZ, the project consists of the following:

Changing the use from a church Sunday school to apartments; restoration and rehabilitation of the existing historic buildings; new dormers and exterior stairs on the primary structure; new partial second story on the secondary structure; new parking lot striping; landscaping; gate; and other site work.

The following exhibits are attached for your consideration: Site plan, floor plans, demo plans, elevations, sections, window schedule, architectural detail drawings, project photographs, and material photographs.

The case is scheduled to be heard by the HPOZ Board on November 28, 2012.

**Cultural Heritage Commission Recommendation:**

**Approval** – The project complies with the goals and requirements of the Preservation Plan and the Secretary of the Interior’s Standards.

**Approval with Conditions** – The project complies with the goals and requirements of the Preservation Plan and the Secretary of the Interior’s Standards with the following changes or conditions:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Disapproval** - The project does not comply with the goals and requirements of the Preservation Plan and the Secretary of the Interior’s Standards.

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

See attached memo.

**Exhibit E:  
Documentation of the Subject Structure**

HISTORIC RESOURCES INVENTORY

SAC No. \_\_\_\_\_  
 HABS \_\_\_\_\_ HARP \_\_\_\_\_ NR \_\_\_\_\_ SHL \_\_\_\_\_ LDC \_\_\_\_\_  
 UTM: A \_\_\_\_\_ B \_\_\_\_\_  
 C \_\_\_\_\_ D \_\_\_\_\_

IDENTIFICATION

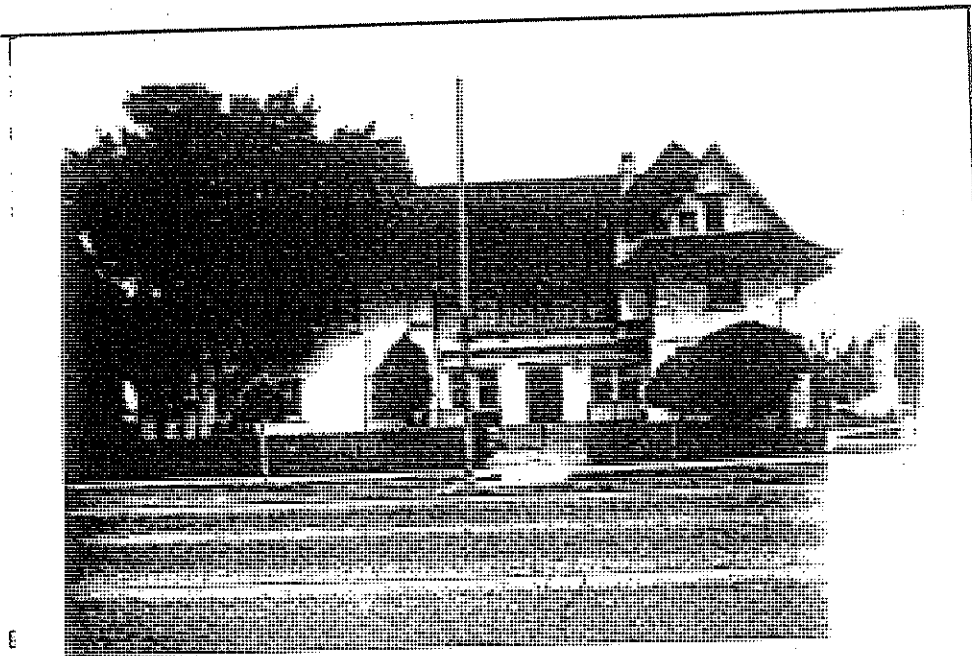
1. Common name: El Senor Jesucristo Mision Evangelica Bautista
2. Historic name: William T. Bishop residence
3. Street or rural address: 1342 West Adams Boulevard (North University Park)  
 City Los Angeles Zip 90007 County Los Angeles
4. Parcel number: Rowley Tract - Lots 1, 2, 3, 4, & 5  
(5055 006 002 & 5055 006 011)
5. Present Owner: Roger Williams True Love  
Missionary Baptist Church, Inc. Address: 1342 W. Adams Blvd.  
 City Los Angeles Zip 90007 Ownership is: Public \_\_\_\_\_ Private X
6. Present Use: Religious Original use: Residential

DESCRIPTION

- 7a. Architectural style: Chateausque/Eclectic
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:  
 This building is two and one half stories in height with stucco exterior walls and a steeply pitched complex roof system. It is built with an irregular shaped plan and is designed in an eclectic manner with chateausque influences.

Major architectural features include an asymmetrical facade with the entrance located in a recessed plane, flanked by pairs of windows and located on a raised terrace that is reached by a short flight of stairs, a roof composed of many planes, dormers, intersecting gables, skirts and mansard elements, a rear porte cochere and an overhanging second floor.

Architectural details include flat window and door openings, shelves over the entrance door and side windows as well as below, a four window element above the entrance, leaded glass with distinctive pattern, a massive entrance door with decorative emblem (continued)



8. Construction date:  
 Estimated \_\_\_\_\_ Factual 1898
9. Architect Eisen and Hunt
10. Builder Ferris & Menegay
11. Approx. property size (in feet)  
 Frontage \_\_\_\_\_ Depth \_\_\_\_\_  
 or approx. acreage 1.213  
 entire complex
12. Date(s) of enclosed photograph(s)  
June 1983



Continuation sheet

1342 West Adams Boulevard

7b. Physical description

and buttress-like terminations of the wall planes.

The building has been altered recently by the addition of cloisters to connect it with other buildings in the complex and also by an early remodel that added to the size of the building.

19. Significance

The architectural firm associated with the design of the building is noted for numerous outstanding contributions to the early Los Angeles architectural environment.

21. Sources

Sanborn maps  
Bureau of Engineering map files

KABS \_\_\_\_\_ KAER \_\_\_\_\_ N<sup>o</sup> \_\_\_\_\_ SHL \_\_\_\_\_ Loc \_\_\_\_\_  
 UTM: A \_\_\_\_\_ B \_\_\_\_\_  
 C \_\_\_\_\_ D \_\_\_\_\_

HISTORIC RESOURCES INVENTORY

IDENTIFICATION

1. Common name: Roger Williams Baptist Church
2. Historic name: Roger Williams Baptist Church
3. Street or rural address: 1326 West Adams Boulevard (North University Park)  
 City Los Angeles Zip 90007 County Los Angeles
4. Parcel number: Ellendale Place - Lots 7 & 8 (5055 006 006)
5. Present Owner: Roger Williams True Love Missionary Baptist Church, Inc. Address: 1342 W. Adams Blvd.  
 City Los Angeles Zip 90007 Ownership is: Public \_\_\_\_\_ Private X
6. Present Use: Church Original use: Church

DESCRIPTION

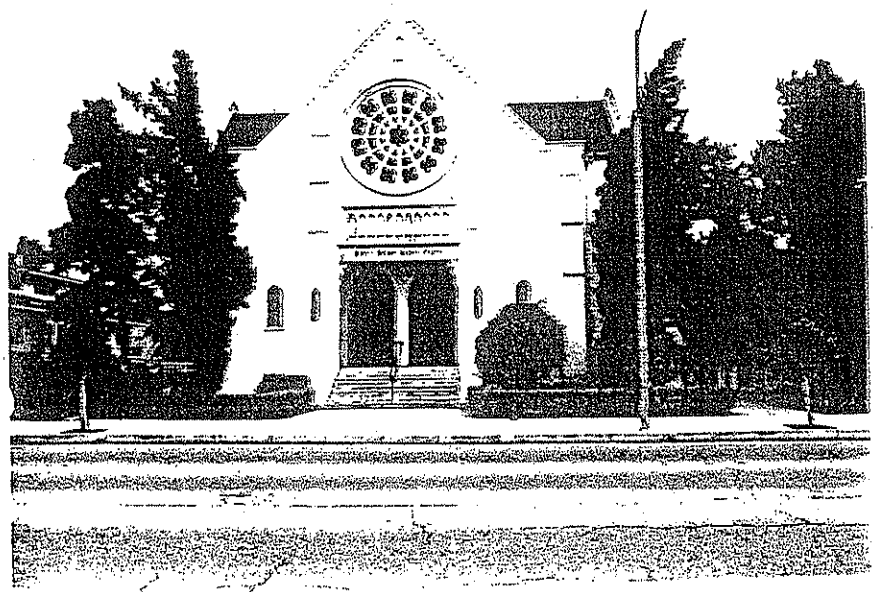
- 7a. Architectural style: Gothic influences
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:  

The Roger Williams Baptist Church is the main building in a religious complex that also includes administrative offices a gym, cloisters and a mission building.

The church is a tall one-story building with stucco exterior walls. It is built in a rectangular plan and designed with Victorian Gothic influences.

Major architectural features include a symmetrical facade, a high pitched gable roof with a rose window in the gable wall, a dual raised entrance and buttresses along the side walls.

Architectural details include scroll design brackets, niches, pointed arch window openings with stained glass and a cornerstone inscribed "1930-1934 - Roger Williams Baptist Church"  
 The building appears to be unaltered.
8. Construction date:  
 Estimated \_\_\_\_\_ Factual 1934
9. Architect C.F. Skilling
10. Builder Owner
11. Approx. property size (in feet)  
 Frontage \_\_\_\_\_ Depth \_\_\_\_\_  
 or approx. acreage 1.213  
 (entire complex)
12. Date(s) of enclosed photograph(s)  
June 1983



13. Condition: Excellent      Good X      Deteriorated      No longer in exist       
 14. Alterations:      This former residence is now a religious building that is connected to other buildings in the complex by means of cloisters.  
 15. Surroundings: (Check more than one if necessary) Open land      Scattered buildings      Densely built-up       
 Residential X Industrial      Commercial      Other:       
 16. Threats to site: None known      Private development X Zoning X Vandalism X  
 Public Works project      Other:       
 17. Is the structure: On its original site? X Moved?      Unknown?       
 18. Related features:      Church, parking lot, administrative offices, gym and cloisters.

**SIGNIFICANCE**

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)  
 This former residence is sited on Lots 1, 2, 3, 4, & 5 of the Rowley Tract in the North University Park survey area. This tract was recorded in January of 1895 and became a portion of the City by the annexation of the Southern and Western Addition in April of 1896.

The February 4, 1896 issue of the Los Angeles Journal notes that William T. Bishop commissioned the noted architectural firm of Theodore Eisen and Sumner P. Hunt to design this residence and the firm of Ferris and Menegay as the builders. On February 26, 1898, permit #12778 was issued for the erection of the building for a consideration of \$4,150.00.

William T. Bishop was an executive in Bishop and Company, preservers, confectioners, and crystalizers of California fruit. He owned this residence from 1904 to 1928 when he moved to Nimes Road in Bel-Air. He remodeled his residence in 1911 by an addition to the second floor, construction of a chamber on the south side, an extension of the dining room and the pantry on the first floor.

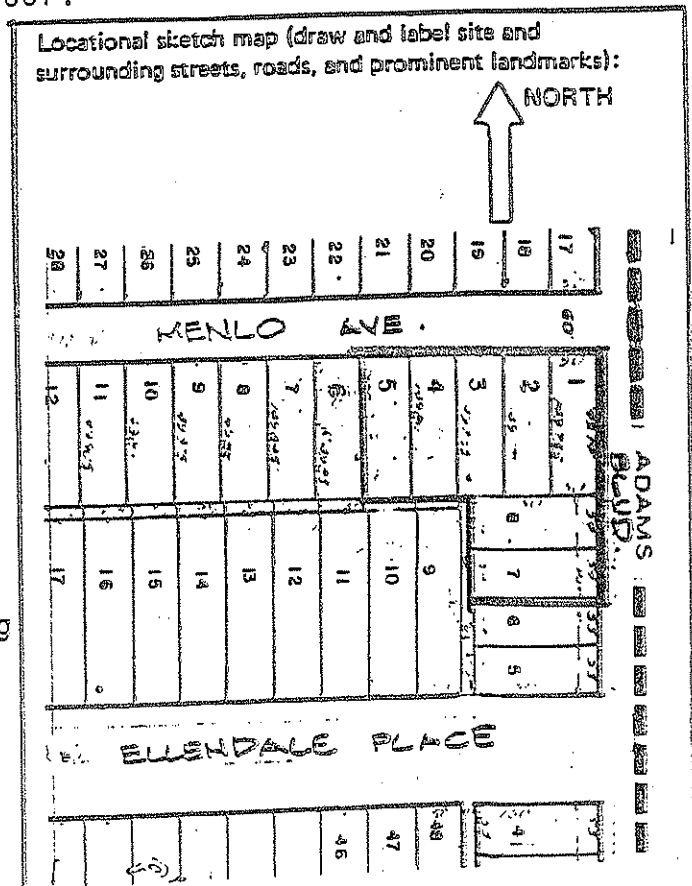
(continued)

20. Main theme of the historic resources: (If more than one is checked, number in order of importance.)  
 Architecture      Arts & Leisure       
 Economic/Industrial      Exploration/Settlement       
 Government      Military       
 Religion      2 Social/Education 3 3

21. Sources (List books, documents, surveys, personal interviews and their dates).

Lupamn  
 L. A. City Directories  
 Dept. of Building & Safety files  
 L. A. Journal-Feb. 4 & 26, 1896

22. Date form prepared 8/83-revision & update  
 By (name) of 1982 R. Iredale form by  
 Organization L.A. Bureau of Engineering  
 Address: 200 North Spring Street  
 City Los Angeles, CA Zip 90012  
 Phone: 213 485 6556



**Exhibit F:  
California State Office of Historic Preservation  
Historical Resources Inventory**

096388	19-175143	950 W ADAMS BLVD	BUILDING A, CASA DE ROSAS/SUNSHINE	LOS ANGELES	P	1893	PROJ. REVW.	HUD950530N	06/26/95	2D2	C
096391	19-175146	950 W ADAMS BLVD	BUILDING B, CASA DE ROSAS/SUNSHINE	LOS ANGELES	P	1920	HIST. RES.	DOE-19-95-0183-0001	06/26/95	2D2	C
026821	19-172801	1100 W ADAMS BLVD	MARIA ANTONIA ARGUELLO WILCOX HOUSE	LOS ANGELES	P	1899	PROJ. REVW.	HUD950530N	06/26/95	2D2	C
026822	19-162932	1140 W ADAMS BLVD	KEILLY, A. E., RESIDENCE / ASHLEY H	LOS ANGELES	P	1892	HIST. RES.	NPS-04000016-0004	02/11/04	1S	C
026823	19-162933	1156 W ADAMS BLVD		LOS ANGELES	P	1925	HIST. RES.	0053-4142-0000	02/11/04	3S	C
026824	19-162934	1158 W ADAMS BLVD	WEST ADAMS GARDENS	LOS ANGELES	P	1920	HIST. RES.	NPS-04000016-0034	02/11/04	1D	C
026825	19-172805	1180 W ADAMS BLVD	IBBETSON, ROBERT, HOUSE	LOS ANGELES	P	1912	HIST. RES.	NPS-04000016-0006	02/11/04	1S	C
026826	19-172806	1190 W ADAMS BLVD	IBBETSON, ROBERT AND MAUDE RICE, R	LOS ANGELES	P	1899	HIST. RES.	NPS-04000016-0007	02/11/04	1D	C
026827	19-162936	1226 W ADAMS BLVD	JOSEPH LIPPINCOTT RESIDENCE	LOS ANGELES	P	1922	HIST. SURV.	0053-4147-0000		7N	C
026828	19-162937	1256 W ADAMS BLVD	WILLIAM AND ELIA BONSNALL RESIDENCE	LOS ANGELES	P	1901	HIST. SURV.	0053-4148-0000		3S	C
025530	19-171519	1315 W ADAMS BLVD	WILLIAM T BISHOP RESIDENCE, EL SEN	LOS ANGELES	P	1899	HIST. SURV.	0053-2939-0000	08/01/86	2S2	C
026829	19-172809	1326 W ADAMS BLVD	WILLIAM T BISHOP RESIDENCE, ROGER	LOS ANGELES	P	1898	HIST. SURV.	0053-4150-0000		3S	C
026830	19-172810	1342 W ADAMS BLVD	RESIDENCE	LOS ANGELES	U		HIST. RES.	DOE-19-86-0005-0000	08/01/86	2S2	C
064771	19-162940	1347 W ADAMS BLVD	RESIDENCE	LOS ANGELES	P	1928	HIST. RES.	HUD860725K	08/01/86	2S2	C
025531	19-171520	1445 W ADAMS BLVD	WEST ADAMS PRESBYTERIAN CHURCH, FI	LOS ANGELES	P		HIST. SURV.	0053-2940-0000		7R	C
064773	19-173365	1449 W ADAMS BLVD	RESIDENCE	LOS ANGELES	U		HIST. RES.	DOE-19-86-0007-0000	08/01/86	2S2	C
101160	19-176385	1501 W ADAMS BLVD	RESIDENCE	LOS ANGELES	P	1912	PROJ. REVW.	HUD860725L	08/01/86	2S2	C
086424	19-166491	1888 W ADAMS BLVD	RESIDENCE	LOS ANGELES	P	1920	HIST. RES.	DOE-19-86-0006-0000	08/01/86	2S2	C
086425	19-165052	1895 W ADAMS BLVD	RESIDENCE	LOS ANGELES	P	1923	HIST. RES.	DOE-19-86-0007-0000	08/01/86	2S2	C
086426	19-165049	1902 W ADAMS BLVD	RESIDENCE	LOS ANGELES	P	1930	HIST. RES.	DOE-19-86-0007-0000	08/01/86	2S2	C
086427	19-165053	1909 W ADAMS BLVD	RESIDENCE	LOS ANGELES	P	1930	HIST. RES.	DOE-19-86-0007-0000	08/01/86	2S2	C
086428	19-174764	1911 W ADAMS BLVD	RESIDENCE	LOS ANGELES	U	1934	HIST. SURV.	0053-4743-0000	06/01/92	6L	C
125129	19-165192	1968 W ADAMS BLVD	RESIDENCE	LOS ANGELES	Y	1906	HIST. RES.	DOE-19-98-0322-0000	08/03/98	6Y	C
021471	19-165048	1999 W ADAMS BLVD	GOLDEN STATE MUTUAL LIFE INS CO, G	LOS ANGELES	P	1949	HIST. SURV.	0053-0382-0000	08/03/98	7R	C

## California Historical Resource Status Codes

### 1 Properties listed in the National Register (NR) or the California Register (CR)

- 1D Contributor to a district or multiple resource property listed in NR by the Keeper. Listed in the CR.
- 1S Individual property listed in NR by the Keeper. Listed in the CR.
  
- 1CD Listed in the CR as a contributor to a district or multiple resource property by the SHRC
- 1CS Listed in the CR as individual property by the SHRC.
- 1CL Automatically listed in the California Register – Includes State Historical Landmarks 770 and above and Points of Historical Interest nominated after December 1997 and recommended for listing by the SHRC.

### 2 Properties determined eligible for listing in the National Register (NR) or the California Register (CR)

- 2B Determined eligible for NR as an individual property and as a contributor to an eligible district in a federal regulatory process. Listed in the CR.
- 2D Contributor to a district determined eligible for NR by the Keeper. Listed in the CR.
- 2D2 Contributor to a district determined eligible for NR by consensus through Section 106 process. Listed in the CR.
- 2D3 Contributor to a district determined eligible for NR by Part I Tax Certification. Listed in the CR.
- 2D4 Contributor to a district determined eligible for NR pursuant to Section 106 without review by SHPO. Listed in the CR.
- 2S Individual property determined eligible for NR by the Keeper. Listed in the CR.
- 2S2 Individual property determined eligible for NR by a consensus through Section 106 process. Listed in the CR.
- 2S3 Individual property determined eligible for NR by Part I Tax Certification. Listed in the CR.
- 2S4 Individual property determined eligible for NR pursuant to Section 106 without review by SHPO. Listed in the CR.
  
- 2CB Determined eligible for CR as an individual property and as a contributor to an eligible district by the SHRC.
- 2CD Contributor to a district determined eligible for listing in the CR by the SHRC.
- 2CS Individual property determined eligible for listing in the CR by the SHRC.

### 3 Appears eligible for National Register (NR) or California Register (CR) through Survey Evaluation

- 3B Appears eligible for NR both individually and as a contributor to a NR eligible district through survey evaluation.
- 3D Appears eligible for NR as a contributor to a NR eligible district through survey evaluation.
- \* 3S Appears eligible for NR as an individual property through survey evaluation. \*
  
- 3CB Appears eligible for CR both individually and as a contributor to a CR eligible district through a survey evaluation.
- 3CD Appears eligible for CR as a contributor to a CR eligible district through a survey evaluation.
- 3CS Appears eligible for CR as an individual property through survey evaluation.

### 4 Appears eligible for National Register (NR) or California Register (CR) through other evaluation

- 4CM Master List - State Owned Properties – PRC §5024.

### 5 Properties Recognized as Historically Significant by Local Government

- 5D1 Contributor to a district that is listed or designated locally.
- 5D2 Contributor to a district that is eligible for local listing or designation.
- 5D3 Appears to be a contributor to a district that appears eligible for local listing or designation through survey evaluation.
  
- 5S1 Individual property that is listed or designated locally.
- 5S2 Individual property that is eligible for local listing or designation.
- 5S3 Appears to be individually eligible for local listing or designation through survey evaluation.
  
- SB Locally significant both individually (listed, eligible, or appears eligible) and as a contributor to a district that is locally listed, designated, determined eligible or appears eligible through survey evaluation.

### 6 Not Eligible for Listing or Designation as specified

- 6C Determined ineligible for or removed from California Register by SHRC.
- 6J Landmarks or Points of Interest found ineligible for designation by SHRC.
- 6L Determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning.
- 6T Determined ineligible for NR through Part I Tax Certification process.
- 6U Determined ineligible for NR pursuant to Section 106 without review by SHPO.
- 6W Removed from NR by the Keeper.
- 6X Determined ineligible for the NR by SHRC or Keeper.
- 6Y Determined ineligible for NR by consensus through Section 106 process – Not evaluated for CR or Local Listing.
- 6Z Found ineligible for NR, CR or Local designation through survey evaluation.

### 7 Not Evaluated for National Register (NR) or California Register (CR) or Needs Reevaluation

- 7J Received by OHP for evaluation or action but not yet evaluated.
- 7K Resubmitted to OHP for action but not reevaluated.
- 7L State Historical Landmarks 1-769 and Points of Historical Interest designated prior to January 1998 – Needs to be reevaluated using current standards.
- 7M Submitted to OHP but not evaluated - referred to NPS.
- 7N Needs to be reevaluated (Formerly NR Status Code 4)
- 7N1 Needs to be reevaluated (Formerly NR SC4) – may become eligible for NR w/restoration or when meets other specific conditions.
- 7R Identified in Reconnaissance Level Survey: Not evaluated.
- 7W Submitted to OHP for action – withdrawn.

## Introduction

This volume constitutes the most authoritative listing of historical resources for the state of California currently in existence. However, that is not to say that this listing is comprehensive or complete. Nor should this directory be considered as constituting the determinations themselves, but rather as a listing or directory of these determinations. For certain determinations, this directory, or the computer file from which it is derived, is perhaps the only evidence currently in existence for the decision which was made.

This volume has been derived from the following sources:

1. Computerized files of Determinations of Eligibility (DOEs) maintained by the Project Review Unit of OHP from October 1986 to the date of this directory. The files have been roughly edited.
2. The computer file developed and maintained by the National Park Service (NPS) on DOEs which extends from 1975 through the present but contains no "consensus determinations" not sent to the Keeper of the National Register of Historic Places. This file contains the disclaimer that it has not been edited by NPS. It has been roughly edited by OHP.
3. The computer files for the Main Street Program maintained by OHP, in conjunction with the Department of Commerce, from 1987 until 1990. These resources were not evaluated for eligibility for inclusion on the National Register but should be taken into consideration in any planning decision.
4. The California Historic Property Inventory (60,000 resources computerized, 80,000 resources in hard copy).
5. Tax Certification Program (550 resource in both computer and hard copy). Both OHP and the Western Region of the National Park Service maintained separate computer files. Both were integrated into this directory.
6. OHP's Registration Unit logging system, covering the following programs: National Register of Historic Places, State Historical Landmarks, State Points of Historical Interest, and the California Register of Historical Resources.

Other sources of information on resources which are not included in these volumes includes:

1. California Archeological Inventory, with 60,000 resources computerized and 85,000 resources in hard copy.
2. State Bond Grants Program with 300 resources in both computer and hard copy, incorporated into the Historic Property Inventory.

Beyond these statewide inventories, there are local and special interest listings. This volume does not include the Sacred Lands Inventory maintained by the California Native American Heritage Commission and the Submerged Shipwrecks Inventory maintained by the California State Lands Commission.

## Table Key

Column Heading	Consists of . . .
STREET ADDRESS	Street number and street name. This field will not accept fractional or alphabetical street numbers. All numerical street names are numerically designated; e.g. "1 <sup>st</sup> " not "First".
NAMES	Name given to the resource by OHP or by the entity submitting the resource to OHP. It may be abbreviated or truncated and could, in some cases, not be pertinent to the resource at all but rather to the purpose for which the resource was submitted to OHP.
PARCEL-NUMBER	Parcel number that was designated by the documentation.
OWN	Code for the type of ownership: F = federal C = county D = special district S = state M = municipal P = private U = unknown
YR-C	Year of construction.
C	Code designating the type of property: D = district B = building C = site S = structure O = object
#PR	Number of total resources included within a district, both contributing and non-contributing.
OTHREG	Codes for up to 7 different legal designations other than the National Register of Historical Places: H = Historic American Building Survey (HABS) H = Historic American Engineering Record (HAER) N = National Historic Landmark (NHL) S = State Historical Landmark (SHL) C = California Point of Historical Interest (CPHI) P = State or Local Park L = Locally designated landmark O = Other type of registration
CHL#	The State Historical Landmark number, if the property is a State Historical Landmark



**Exhibit G:  
National Register of Historic Places  
Menlo Avenue-West 29<sup>th</sup> Street Historic District  
Inventory Nomination Form  
and  
Letter from Paul R. Lusignan, Historian at the National  
Register of Historic Places**

**Exhibit G:  
National Register of Historic Places Menlo Avenue-West 29<sup>th</sup> Street  
Historic District Inventory Nomination Form and  
Letter from Paul R. Lusignan at the National Register of Historic Places**

United States Department of the Interior  
National Park Service

For NPS use only

National Register of Historic Places  
Inventory—Nomination Form

received JAN 15 1987

date entered

See instructions in How to Complete National Register Forms  
Type all entries—complete applicable sections

1. Name

historic Menlo Avenue—West 29th Street Historic District

and/or common

2. Location

street & number (see attachment)

N/A not for publication

city, town Los Angeles

N/A vicinity of

state California code 06 county Los Angeles 90007 code 037

3. Classification

Category	Ownership	Status	Present Use
<input checked="" type="checkbox"/> district	<input type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture
<input type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> unoccupied	<input type="checkbox"/> commercial
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational
<input type="checkbox"/> site	<b>Public Acquisition</b>	<b>Accessible</b>	<input type="checkbox"/> entertainment
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input type="checkbox"/> yes: restricted	<input type="checkbox"/> government
	<input type="checkbox"/> being considered	<input checked="" type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial
	<input checked="" type="checkbox"/> N/A	<input type="checkbox"/> no	<input type="checkbox"/> military
			<input type="checkbox"/> museum
			<input type="checkbox"/> park
			<input checked="" type="checkbox"/> private residence
			<input checked="" type="checkbox"/> religious
			<input type="checkbox"/> scientific
			<input type="checkbox"/> transportation
			<input type="checkbox"/> other:

4. Owner of Property

name multiple (see attachment)

street & number

city, town \_\_\_\_\_ vicinity of \_\_\_\_\_ state \_\_\_\_\_

5. Location of Legal Description

courthouse, registry of deeds, etc. Hall of Records

street & number 500 W. Temple Street

city, town Los Angeles state California 90012

6. Representation in Existing Surveys

title Historical and Cultural Resources Survey

has this property been determined eligible?  yes  no

date June, 1983  federal  state  county  local

depository for survey records City of Los Angeles, Bureau of Engineering, Room 810, City Hall

city, town Los Angeles state California 90012

(also in State of California Historic Resources Inventory, CA Office of Historic Preservation)

## 7. Description

Condition		Check one	Check one
<input checked="" type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input checked="" type="checkbox"/> unaltered	<input checked="" type="checkbox"/> original site
<input checked="" type="checkbox"/> good	<input type="checkbox"/> ruins	<input checked="" type="checkbox"/> altered	<input type="checkbox"/> moved date _____
<input checked="" type="checkbox"/> fair	<input type="checkbox"/> unexposed		

### Describe the present and original (if known) physical appearance

The Menlo Avenue-West 29th Street Historic District is located in the western part of the North University Park neighborhood of South Central Los Angeles. North University Park, located north of the University of Southern California, is bounded by the Santa Monica Freeway to the north, the Harbor Freeway to the east, Jefferson Boulevard to the south, and Vermont Avenue to the west. One block west of Menlo is Ellendale, a wide street that was once lined with much larger houses than those on Menlo and 29th Street, but now has many large apartment buildings built in the 1950s and 1960s. West Adams Boulevard, which intersects with the northern end of this section of Menlo, has several imposing turn-of-the-century houses interspersed with many newer buildings. West 29th Street is located at the southern end of this section of Menlo Avenue. No houses remain on West 29th Street to the west of those included in the district, before Vermont Avenue. To the east of those included in the district on West 29th are a handful of remaining older homes interspersed with newer apartment buildings and a church. The district includes many large turn-of-the-century homes exhibiting elements of the Queen Anne, Shingle, Colonial Revival, Tudor Revival, and Craftsman styles.

The Menlo Avenue-West 29th Street Historic District includes all buildings and lots on Menlo Avenue beginning at the north with 2627 Menlo (west side of the street) and 2630 (east side of the street), extending south to West 29th Street, but excludes the six contiguous vacant lots on the east side of Menlo Avenue that are located between the houses at 2824-2826 and 2722 Menlo. The district also includes six houses on the south side of West 29th Street at the south end of Menlo Avenue, and one house on the north side of West 29th Street (1329-1331) that was built at the back of the lot of a house that faces Menlo Avenue.

The district has 42 principal structures and lots; i.e., all buildings and lots which front on Menlo or West 29th Street. Thirty of these 42 are considered contributing structures. All of the contributing structures date from 1896 to 1908. There are a total of 12 principal structures and vacant lots which are considered non-contributing; included in this are 3 vacant lots and 9 non-contributing structures. Several of the non-contributing structures date from the period of significance of the district but have undergone significant alterations. There are a number of garages, storage, and other buildings at the back of several of the lots in the district. The 42 building sites in the district vary considerably in their dimensions. There are 17 different site sizes. Fourteen of the 42 sites cross lot lines. Sites range in width from 35 to 100 feet. Depth ranges from 106.5 to 160 feet.

The length of this portion of Menlo Avenue is the equivalent of nearly four city blocks. It is uninterrupted by cross streets but includes a public walkway, perpendicular to Menlo Avenue, located roughly at the center of the district that runs from Menlo Avenue west to Vermont Avenue. This walkway appears on several early maps as West 27th Street but is indicated as "vacated" by 1910.

(see continuation sheet)

## 8. Significance

Period	Areas of Significance—Check and justify below					
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion		
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science		
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture		
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/		
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> humanitarian		
<input checked="" type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input checked="" type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> theater		
<input checked="" type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> transportation		
		<input type="checkbox"/> invention		<input type="checkbox"/> other (specify)		

Specific dates 1896-1908 Builder/Architect multiple

### Statement of Significance (in one paragraph)

The Menlo Avenue-West 29th Street Historic District is historically and architecturally significant as the largest concentration of intact typical middle-class houses built in the North University Park neighborhood in the 12-year period following the area's annexation by the City of Los Angeles in 1896--the great heyday of the neighborhood's initial development as a fashionable, outlying neighborhood connected to downtown Los Angeles by streetcar. The houses in the district represent the prevailing architectural styles of Southern California from 1896 to 1908. They reflect the transition from Victorian architecture to the immensely popular Craftsman style and combine elements of Queen Anne, Shingle, Colonial Revival, Tudor Revival, and Craftsman styles. The houses were built by aspiring middle-class residents who wished to live near the turn-of-the-century mansions of prestigious West Adams Boulevard and Chester Place.

The district was built on land formerly used for fruit ranches. The district was developed after Los Angeles' great boom of 1887 and after the streetcar line that ran from downtown Los Angeles to the agricultural show grounds and racetrack (now the site of Exposition Park) was completed in 1891. The district was developed following the annexation of the area by the City in 1896 as part of the Western Addition, and before 1910 when many of the wealthier residents began moving to more prestigious growing neighborhoods in the western part of the city.

The district incorporates parts of three separate tracts recorded between 1886 and 1896. The southern half of Menlo Avenue is part of the Bancroft Tract recorded in 1887, and the northern part of Menlo (north of what was originally 27th Street) was recorded in January 1896 as part of the Rowley Tract. Although the houses on West 29th Street were the last to be constructed, they are part of the Waverly Tract, recorded in 1886 when 29th Street was shown as Harper Avenue.

Initial construction occurred in the mid-1890s, just as the city was beginning to recover from the devastating effects of the 1893 economic crisis. At that time:

Houses were vacant, and broken windows were a worry to the owners who could neither sell nor rent their residences . . . Everywhere around Los Angeles were speculative tracts, ranging from a few lots to hundreds of acres, which had gone to utter ruin; the citrus trees were dried up and covered with cottony scale, and the soil was eroded and tangled with weeds. Along with abandoned hulks of the hotels of forgotten subdivisions, the neglected land stood out as unsightly, festering wounds, discouraging visitors and new investments. It was nearly the turn of the century before all of the forgotten land parcels were sold or leased for farming.\*

(see continuation sheet)

\*Joseph S. O'Flaherty. Those Powerful Years: The South Coast and Los Angeles, 1887-1917. Hicksville, New York: Exposition Press, 1978, p. 50.

## 9. Major Bibliographical References

Alverda June Brode. "History of the University Section, Los Angeles." Annual Publications of the Historical Society of Southern California, 1922, pp. 72-109.  
 American Historical Society. The County of Los Angeles. Chicago: 1923.  
 Delilah L. Beasley. The Negro Trail Blazers of California. Los Angeles: 1919.  
 (see continuation sheet)

## 10. Geographical Data

Acreege of nominated property 11 acres

Quadrangle name Hollywood, California

Quadrangle scale 1:24000

UTM References

A 

1	1	3	8	0	9	0	0	3	7	6	6	2	9	0
Zone	Easting		Northing											

B 

1	1	3	8	0	9	0	0	3	7	6	5	7	8	0
Zone	Easting		Northing											

C 

1	1	3	8	1	1	0	0	3	7	6	5	7	8	0
Zone	Easting		Northing											

D 

1	1	3	8	1	1	0	0	3	7	6	6	2	9	0
Zone	Easting		Northing											

E 

Zone	Easting		Northing											

F 

Zone	Easting		Northing											

G 

Zone	Easting		Northing											

H 

Zone	Easting		Northing											

Verbal boundary description and justification Northern boundary is approx. 250' s. of Adams Blvd.; E. boundary is approx. 200' w. of Ellendale; s. boundary is approx. 150' n. of 30th Ave.; W. boundary is approx. 150' e. of Vermont. District includes Rowley Tract lots 6-16 & 21-32 Bancroft Tract lots 14-22 & 25-29, and Waverly Tract lots 57-62. See attached map.

List all states and counties for properties overlapping state or county boundaries

state	code	county	code
N/A			

state	code	county	code

## 11. Form Prepared By

name/title Patricia A. Murphy, Architectural Historian

organization Prepared for residents and neighbors of Menlo Avenue

date September 15, 1986

street & number P.O. Box 1615

telephone (213) 660-5361

city or town Los Angeles

state California 90053

## 12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

national  state  local

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

State Historic Preservation Officer signature

*Kathryn Goellner* 1/5/87

title

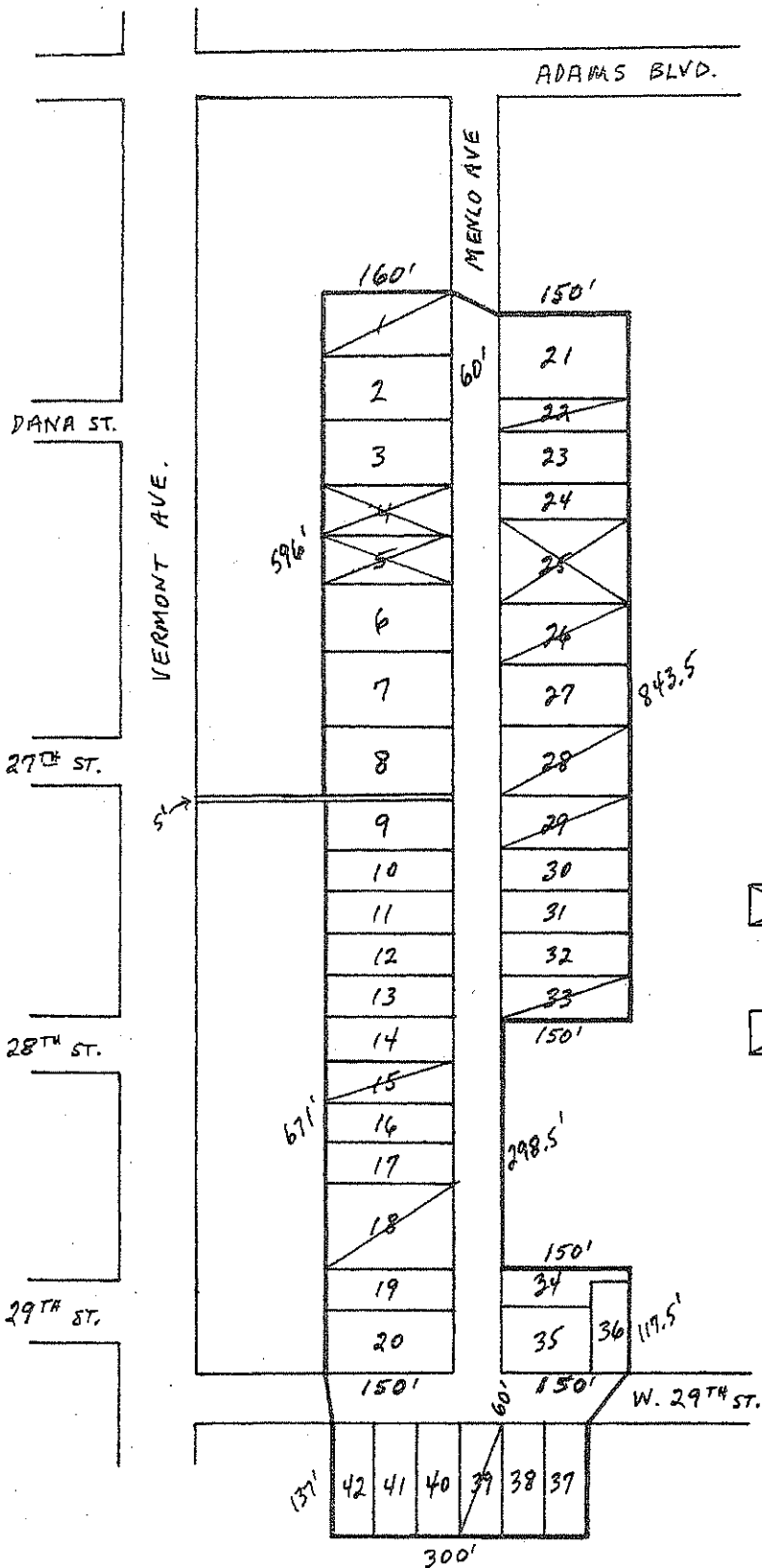
date

For NHP use only

I hereby certify that this property is included in the National Register

Signature

Chief of Registration



MENLO AVENUE - WEST 29<sup>TH</sup> STREET  
 HISTORIC DISTRICT  
 LOS ANGELES, CALIFORNIA



VACANT SITE / NON-CONTRIBUTING



NON-CONTRIBUTING STRUCTURE



SCALE  
 1/4 inch = 50 feet

NUMBERS CORRESPOND TO  
 BUILDING NUMBERS IN TEXT  
 OF NOMINATION FORM



Shannon Ryan &lt;shannon.ryan@lacity.org&gt;

---

**1342 W Adams, Los Angeles, CA**

---

Lusignan, Paul <paul\_lusignan@nps.gov>  
To: Shannon Ryan <shannon.ryan@lacity.org>

Wed, Apr 10, 2013 at 10:48 AM

Dear Shannon,

I have checked our records and cannot find any form of federal designation for the property at 1342 West Adams in Los Angeles, California. The nearest National Register designation was for the Menlo Avenue-West 29th Street Historic District, which was listed in 1987. The district boundaries, however, stop short of the property at 1342 West Adams. There is no record of any subsequent amendment or change to expand the listed district.

Please let me know if you have any additional questions.

On Wed, Apr 10, 2013 at 1:28 PM, Shannon Ryan <shannon.ryan@lacity.org> wrote:

Hi Paul,

Would you mind confirming in writing that the property we discussed today (1342 W. Adams) is in fact not listed in the National Register individually or as part of the Menlo-Ave West 29th Street historic District. Can you also confirm that there was never an expansion of the district?

There has been some discussion among constituents about the National Register status of the property and it would be helpful to show them proof from your agency.

Thank you,  
Shannon

**Shannon Ryan**

Los Angeles Department of City Planning  
Office of Historic Resources  
200 N Spring Street, Room 601  
Los Angeles, CA 90012  
213.978.1220

---

Paul R. Lusignan  
Historian  
National Register of Historic Places  
National Park Service  
202-354-2229, fax 202-371-2229

**Exhibit H:  
Zoning Information and Map Access System (ZIMAS)  
Record for 1342 W. Adams Blvd.**

**Exhibit H:  
Zoning Information and Map Access System (ZIMAS)  
Record for 1342 W. Adams Blvd.**



## Historical Preservation Overlay Zone 1342 W ADAMS BLVD

The property is not located in a Historic Preservation Overlay Zone (HPOZ); however, exterior work in the North University Park Specific Plan requires conformance with historic preservation guidelines. Click on "North University Park" in the Specific Plan field on the previous ZIMAS Planning and Zoning tab for more information, or call the Community Planning Bureau at 213-978-1164.

## Other Historical Designation 1342 W ADAMS BLVD

The designation and survey information displayed currently includes properties with California Historical Resource Status Codes 1 and 2. Information with properties with Status Codes 3 through 7 will be added in the future. Please refer to California Historical Resource Status Codes for a definition of the codes.

### NATIONAL REGISTER DESIGNATION OR ELIGIBILITY

Name: Menlo Avenue / 29th Street Historic District  
Location: Bounded by Adams Boulevard; Ellendale Place; 30th Street; and Vermont Avenue  
Date Listed: 02/12/1987

---

### OTHER HISTORIC SURVEY INFORMATION

(compiled from California Office of Historic Preservation Historical Resources Inventory)

Menlo Ave-W 29Th Historic District

S Menlo Ave 90007

026976

<u>Status Code</u>	<u>Program Ref No.</u>	<u>Evaluation Date</u>
1S	NPS-87000139-9999	02/12/1987

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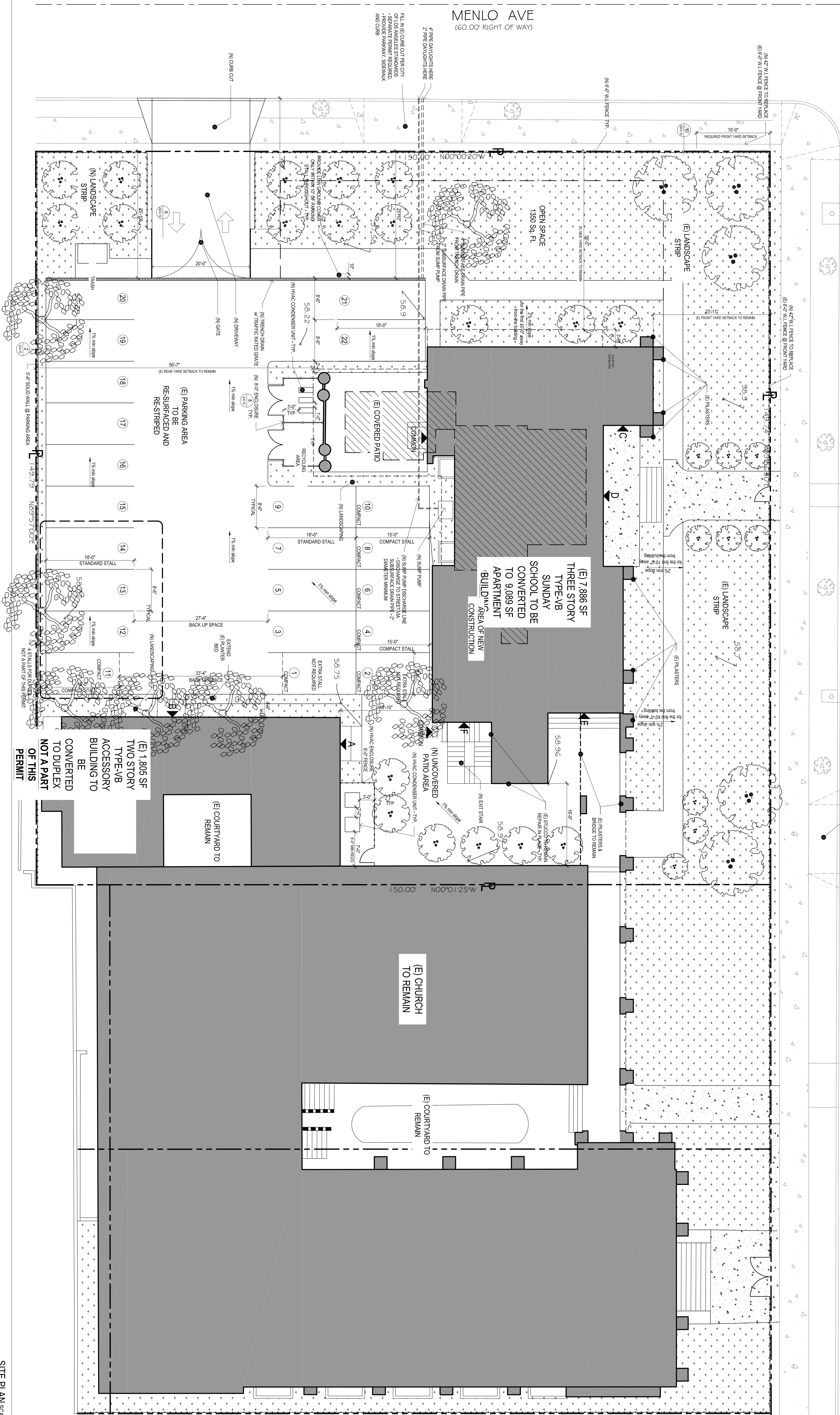
## Mills Act 1342 W ADAMS BLVD

This property does not have a Mills Act Contract.

**Exhibit I:  
Revised Architectural Plans  
Dated June 5, 2013  
(see attachment)**

**Exhibit I:  
Revised Architectural Plans  
Dated June 5, 2013**





NOTE 1: BUILDING ADDRESS SHALL BE PROVIDED AT OR NEAR THE ENTRANCE OF THE BUILDING IN ACCORDANCE TO L.A.M.C. § 57.08.11

NOTE 2: DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 122745 CHART No.5

NOTE 3: SEE LANDSCAPE PLAN FOR FURTHER INFO

SITE PLAN SCALE 1/8" = 1'-0"

SITE PLAN SCALE 1/8" = 1'-0"

**SITE PLAN NOTES SCALE 1/8" = 1'-0"**

**SITE PLAN LEGEND SCALE 1/8" = 1'-0"**

---	LINE ABOVE
- - - - -	DRAINAGE LINE
- - - - -	PROPERTY LINE
---	FENCE
□	DOWNSPOUT
□	HOSE BIB
□	NATURAL GAS STUBOUT
□	GAS METER
□	ELECTRICAL METER
□	WATER METER
□	RIVER ROCK
□	GRASS
□	PLANTER
□	WATER
□	OVERFLOW DRAIN
□	AREA DRAIN
□	FRENCH DRAIN

**SITE PLAN**

DATE: 06.05.2013

SCALE: 1/8" = 1'-0"

TITLE: SITE PLAN

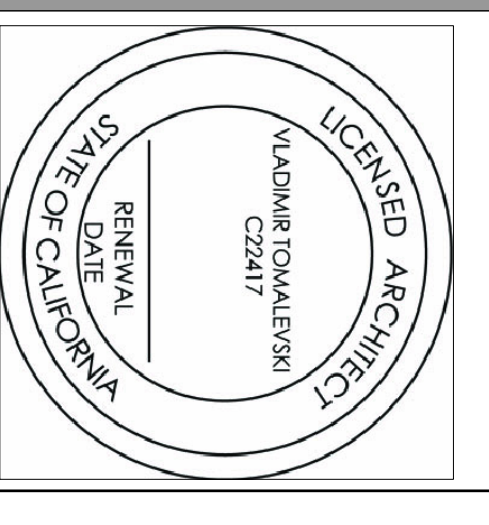
**L.V. Architects, Inc.**  
2332 Corner Ave., Suite 303  
West Los Angeles, CA 90064  
T: 310. 974. 5577 | F: 310. 974. 5579

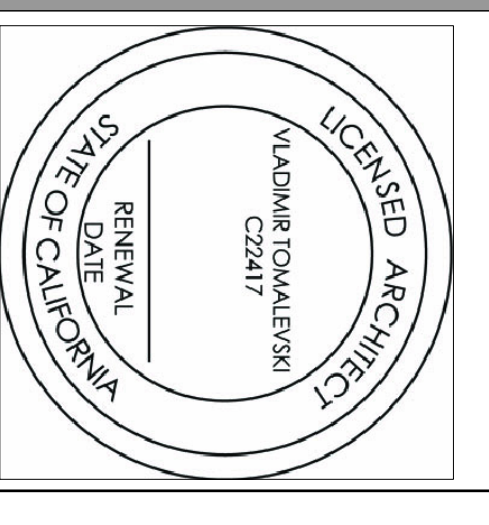
# APARTMENT BUILDING CONVERSION

## 1342 W. ADAMS BLVD

### LOS ANGELES, CA 90007

**NOT FOR CONSTRUCTION**



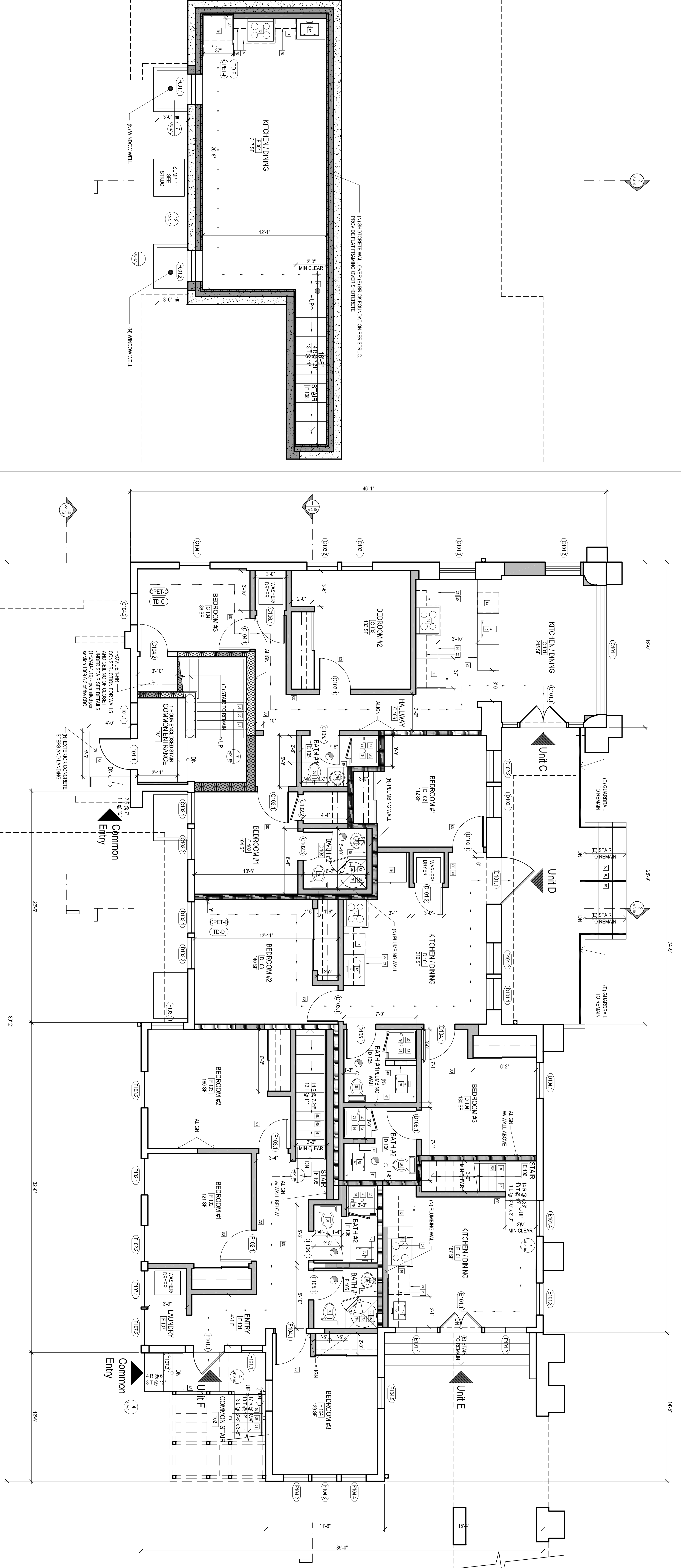


# APARTMENT BUILDING CONVERSION 1342 W. ADAMS BLVD LOS ANGELES, CA 90007

**NOT FOR CONSTRUCTION**

**A - 1.10**  
FLOOR PLANS  
06.05.2013  
date  
1/2" = 1'-0"  
SCALE  
page

**L&V Architects, Inc.**  
2333 Corner Ave., Suite 303  
West Los Angeles, CA 90064  
F: 310.714.5577 | 310.714.5579



KEY NOTES	7	NOTES	6	TRAVEL DISTANCE CALCULATIONS	4	FLOOR AREA CALCULATIONS SCALE: N.T.S.	3	LEGEND SCALE: N.T.S.	1
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- 1. GAS METERS - Install approved meter per state code rules on the gas line on the down stream side of the utility meter and be right hand side of the stop, containing the full gas piping. (Per Ordinance 170,158)
- 2. ELECTRIC METERS -
- 3. CLOSET AND TRUNKING -
- 4. AIR CONDITIONER CONDENSATE PUMP -
- 5. GAS FURNACE -
- 6. GAS WATER HEATER -
- 7. AIR CONDITIONER CONDENSATE PUMP -
- 8. GAS FURNACE -
- 9. GAS WATER HEATER -
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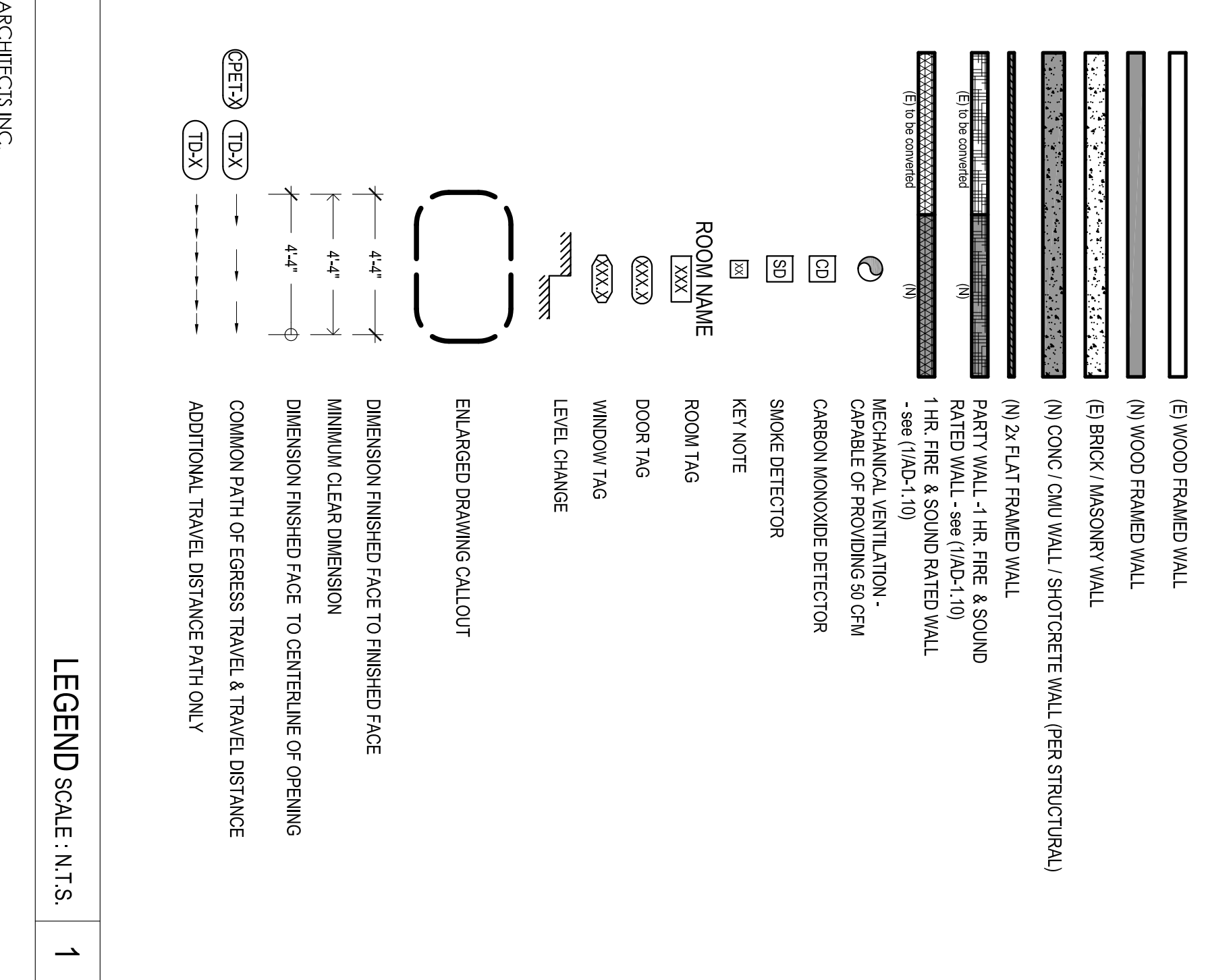
NOTE: All approved egress routes shall be included in each department and hallway of every egress route to a safe room, and each entry and exit shall be marked with a sign that reads "EXIT".

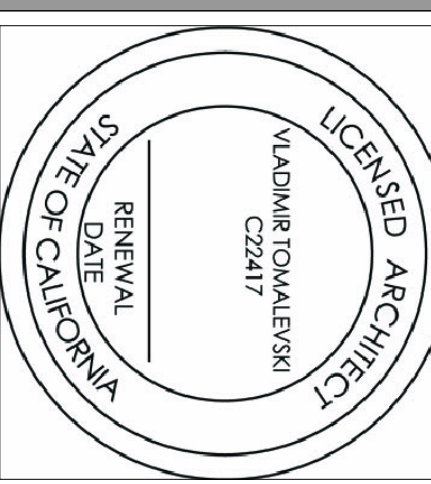
NOTE: All approved egress routes shall be included in each department and hallway of every egress route to a safe room, and each entry and exit shall be marked with a sign that reads "EXIT".

NOTE: All approved egress routes shall be included in each department and hallway of every egress route to a safe room, and each entry and exit shall be marked with a sign that reads "EXIT".

COMMON PATH OF EGRESS TRAVEL CALCULATIONS: (101.4 - EXCEPTION 4 - 126 FEET MAX. ALLOWED FOR BUILDINGS WITH APPROVED AUTOMATIC SPRINKLER SYSTEM)	COMMON PATH OF EGRESS TRAVEL CALCULATIONS: (101.4 - EXCEPTION 4 - 126 FEET MAX. ALLOWED FOR BUILDINGS WITH APPROVED AUTOMATIC SPRINKLER SYSTEM)
UNIT C: TOTAL FLOOR AREA: 808 SF (BUILDING AND ZONING CODE)	UNIT C: TOTAL FLOOR AREA: 808 SF (BUILDING AND ZONING CODE)
UNIT D: TOTAL FLOOR AREA: 770 SF (BUILDING AND ZONING CODE)	UNIT D: TOTAL FLOOR AREA: 770 SF (BUILDING AND ZONING CODE)
UNIT E: TOTAL FLOOR AREA: 226 SF (187 SF ZONING CODE)	UNIT E: TOTAL FLOOR AREA: 226 SF (187 SF ZONING CODE)
UNIT F: TOTAL FLOOR AREA: 631 SF (BUILDING CODE)	UNIT F: TOTAL FLOOR AREA: 631 SF (BUILDING CODE)

COMMON PATH OF EGRESS TRAVEL CALCULATIONS: (TABLE 1016.1 - 250 FEET MAX. ALLOWED FOR BUILDINGS WITH APPROVED AUTOMATIC SPRINKLER SYSTEM)	COMMON PATH OF EGRESS TRAVEL CALCULATIONS: (TABLE 1016.1 - 250 FEET MAX. ALLOWED FOR BUILDINGS WITH APPROVED AUTOMATIC SPRINKLER SYSTEM)
TD-C = OPET-C = 56'-7" < 250'-0"	TD-C = OPET-C = 56'-7" < 250'-0"
TD-D = OPET-D = 49'-3" < 250'-0"	TD-D = OPET-D = 49'-3" < 250'-0"
TD-E = OPET-E = 64'-10" < 250'-0"	TD-E = OPET-E = 64'-10" < 250'-0"
TD-F = OPET-F = 73'-3" < 75'-0" (Basement Table 1021.2)	TD-F = OPET-F = 73'-3" < 75'-0" (Basement Table 1021.2)
TD-G = OPET-G + 15'-0" = 70'-7" + 15'-0" = 85'-7" < 250'-0"	TD-G = OPET-G + 15'-0" = 70'-7" + 15'-0" = 85'-7" < 250'-0"
TD-H = OPET-H + 15'-0" = 43'-7" + 15'-0" = 58'-7" < 250'-0"	TD-H = OPET-H + 15'-0" = 43'-7" + 15'-0" = 58'-7" < 250'-0"
TD-I = OPET-I + 5'-10" = 61'-4" + 5'-10" = 67'-2" < 250'-0"	TD-I = OPET-I + 5'-10" = 61'-4" + 5'-10" = 67'-2" < 250'-0"
TD-J = OPET-J + 34'-6" = 67'-6" + 34'-6" = 102'-0" < 250'-0"	TD-J = OPET-J + 34'-6" = 67'-6" + 34'-6" = 102'-0" < 250'-0"





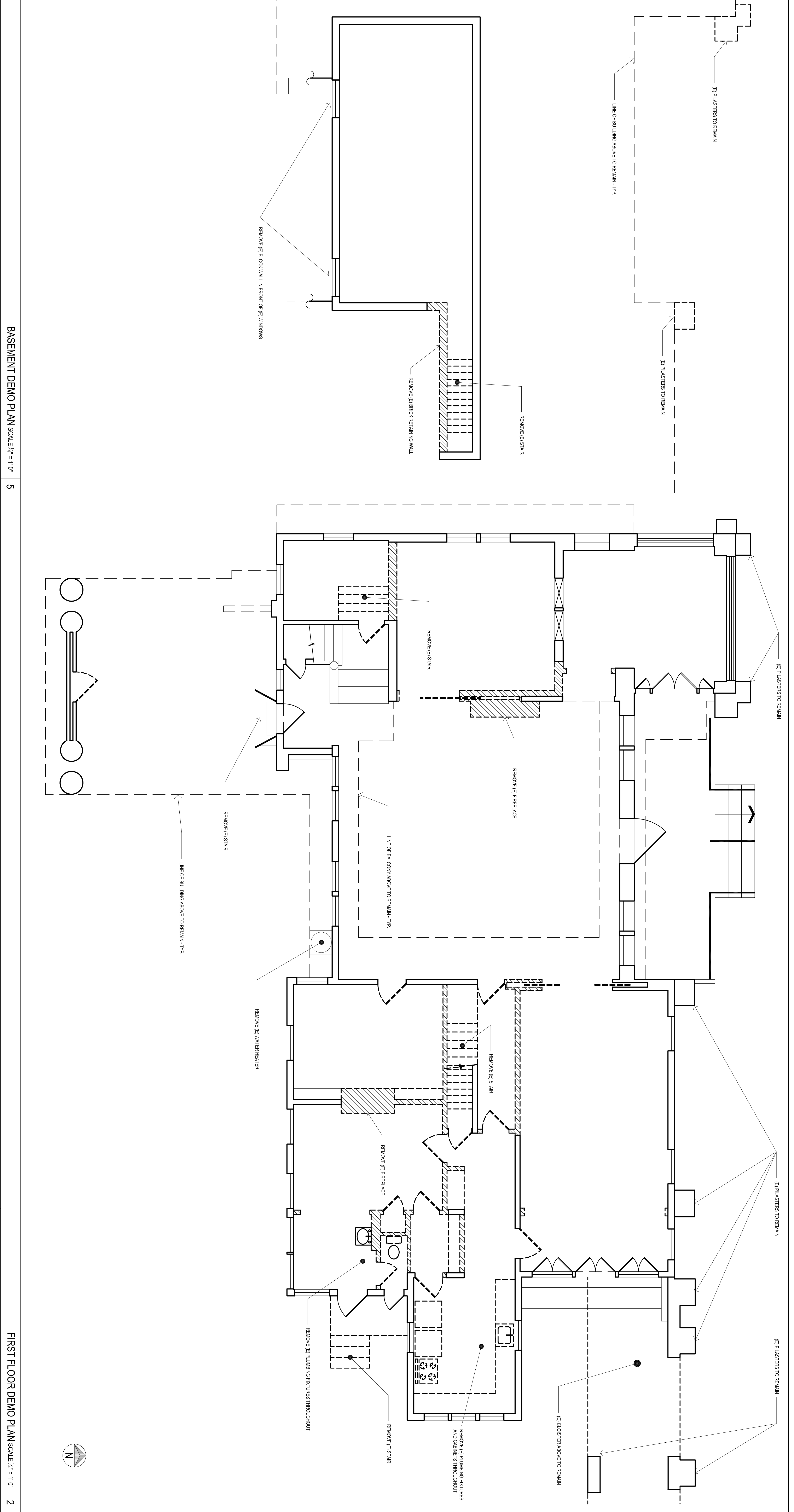
# APARTMENT BUILDING CONVERSION

## 1342 W. ADAMS BLVD LOS ANGELES, CA 90007

NOT FOR CONSTRUCTION

**L.V. Architects Inc.**  
2332 Corner Ave., Suite 303  
West Los Angeles, CA 90064  
T: 310. 914. 5577 | F: 310. 914. 5579

DEMO PLANS	Title	Date	Page
06.05.2013			
<b>A - 1.11</b>	Scale		
1/2" = 1'-0"			



BASEMENT DEMO PLAN SCALE: 1/2" = 1'-0" **5**

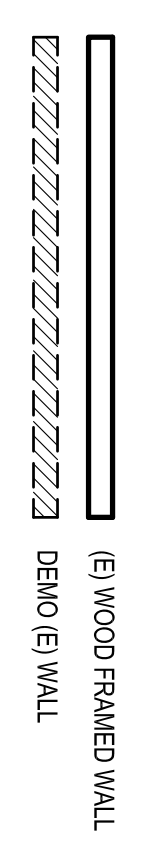
FIRST FLOOR DEMO PLAN SCALE: 1/2" = 1'-0" **2**

- NOTE 1 ALL WATER, GAS, AND SEWER LINES TO BE CAPPED AS REQUIRED IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS REFER TO IN ARCH PLANS FOR ANY ADDITIONAL DEMO REQUIRED.
- NOTE 2 IT'S THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL NECESSARY DEMO WORK IN ORDER TO BID AND CONSTRUCT THE PROJECT PER PLAN. CONTRACTOR SHALL INCLUDE AND PERFORM ALL DEMOLITION WORK REQUIRED TO ACCOMMODATE NEW WORK UNDER THIS CONTRACT.
- NOTE 3 CONSTRUCTION WASTE SHALL BE REDUCED BY 65%. CONTRACTOR TO COMPLY WITH SECTION 06.32 of spec. of the Los Angeles Municipal Code.
- NOTE 4 IT'S THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ALL HAZARDOUS MATERIALS AND REMOVE THEM APPROPRIATELY IN CONFORMANCE WITH ALL APPLICABLE CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
- NOTE 5 THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ARCHITECTURAL, DEMOLITION DRAWINGS AND NOTES WITH HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DRAWINGS AND NOTES. PATCH OR REBUILD ANY AREAS THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DEMOLITION.
- NOTE 6 ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL. PROTECT ALL EXISTING MEANS OF EGRESS, UTILITIES, AND OTHER SERVICES. RETURN ADJACENT AREAS TO CONDITION FOUND PRIOR TO START OF DEMOLITION WORK.
- NOTE 7 PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL CLEAN UP AND REMOVE ALL DEBRIS CAUSED BY DEMOLITION WORK. BEFORE NEW WORK BEGINS, RETURN ADJACENT AREAS TO CONDITION FOUND PRIOR TO START OF DEMOLITION WORK TO IT.
- NOTE 8 UNLESS OTHERWISE INDICATED, DASHED LINES ON THE DEMOLITION PLANS DENOTE COMPONENTS TO BE REMOVED, WHETHER OR NOT ACCOMPANIED BY NOTES.
- NOTE 9 UNLESS OTHERWISE INDICATED, DASHED LINES ON THE DEMOLITION PLANS DENOTE COMPONENTS TO BE REMOVED, WHETHER OR NOT ACCOMPANIED BY NOTES.
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- NOTE 16 UNLESS OTHERWISE INDICATED, DASHED LINES ON THE DEMOLITION PLANS DENOTE COMPONENTS TO BE REMOVED, WHETHER OR NOT ACCOMPANIED BY NOTES.

KEY NOTES SCALE: N.T.S. **4**

DEMO NOTES SCALE: N.T.S. **3**

LEGEND SCALE: N.T.S. **1**



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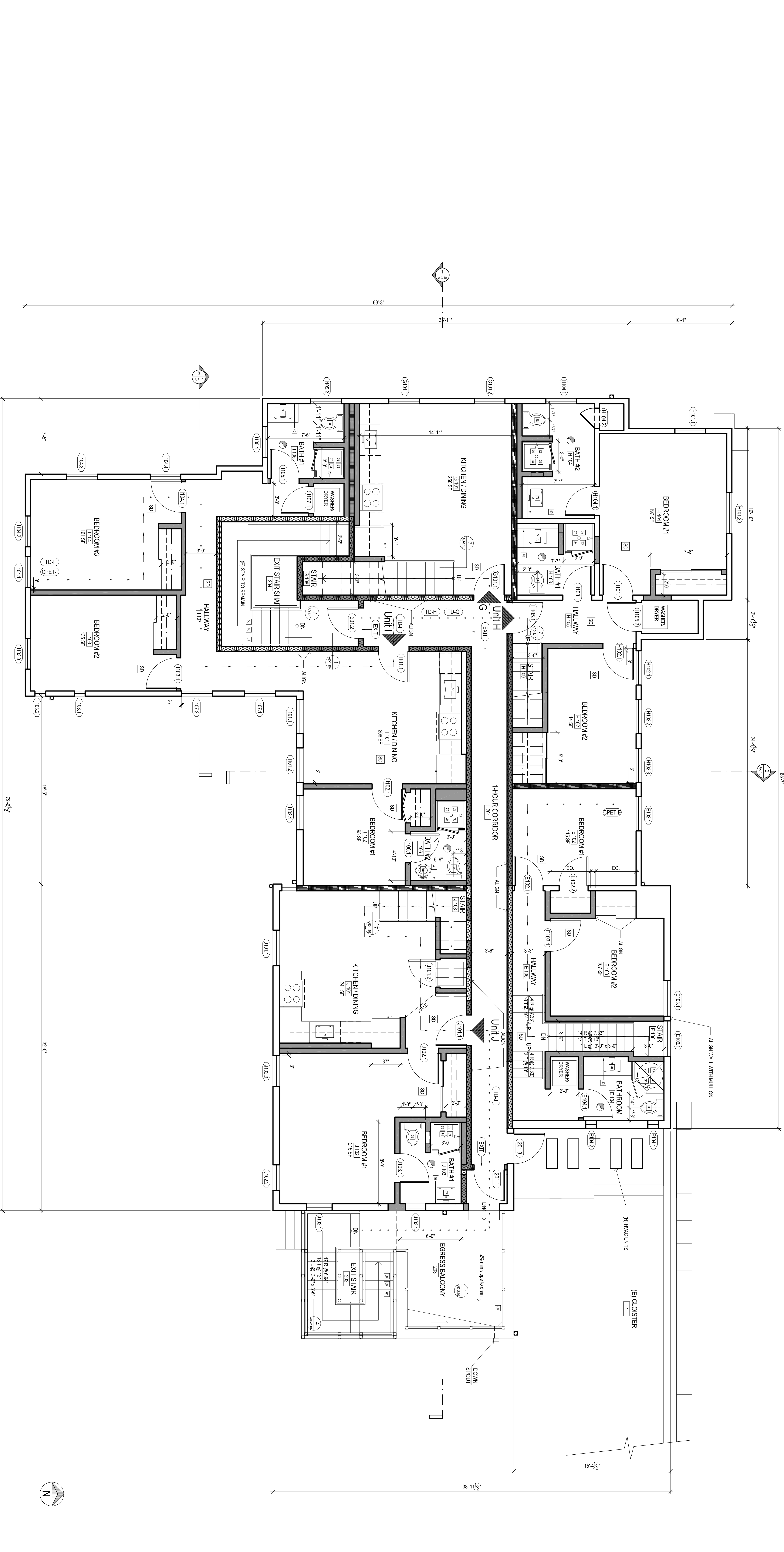
# APARTMENT BUILDING CONVERSION

## 1342 W. ADAMS BLVD

### LOS ANGELES, CA 90007

**NOT FOR CONSTRUCTION**

L.V. Architects, Inc.  
 2333 Corner Ave., Suite 303  
 West Los Angeles, CA 90024  
 P: 310.714.5577 | F: 310.914.5578



SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

1. GAS METERS - Install approved meter per state code values on the main gas line on the down stream side of the utility meter and be easily accessed.
2. ELECTRIC METER - Install approved meter per state code values on the main service line of the building.
3. CLOSET AND LINEN CLOSET - See notes for details.
4. LINEN CLOSET - See notes for details.
5. LINEN CLOSET - See notes for details.
6. GAS SERVICE CHANGERS - PERFORMANCE 80 - MODEL 58181
7. GAS SERVICE CHANGERS - PERFORMANCE 80 - MODEL 58181
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- NOTE: All approved smoke alarm shall be installed in each sleeping room and hallway or sleeping quarters in a sleeping room, and each entry and landing for a dwelling with more than one story. Smoke alarm shall be tested and maintained in accordance with the manufacturer's instructions. The individual testing unit, in no circumstances shall require that primary power source from the building wiring and shall be replaced when battery pack and low battery signal (LBS) is received.
- NOTE: All approved carbon monoxide alarm shall be installed in sleeping rooms and sleeping quarters in a sleeping room, and each entry and landing for a dwelling with more than one story. Carbon monoxide alarm shall be tested and maintained in accordance with the manufacturer's instructions. The individual testing unit, in no circumstances shall require that primary power source from the building wiring and shall be replaced when battery pack and low battery signal (LBS) is received.
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UNIT E:	UNIT F:	UNIT G:	UNIT H:	UNIT I:	UNIT J:
- FIRST FLOOR:	- FIRST FLOOR:	- SECOND FLOOR:	- SECOND FLOOR:	- SECOND FLOOR:	- SECOND FLOOR:
226 SF (187 SF ZONING CODE)	405 SF	300 SF (280 SF ZONING CODE)	603 SF (562 SF ZONING CODE)	889 SF	557 SF (527 SF ZONING CODE)
TOTAL FLOOR AREA:	TOTAL FLOOR AREA:	TOTAL FLOOR AREA:	TOTAL FLOOR AREA:	TOTAL FLOOR AREA:	TOTAL FLOOR AREA:
631 SF (592 SF ZONING CODE)	1,088 SF (1,027 SF ZONING CODE)	1,728 SF (1,078 SF ZONING CODE)	1,088 SF (1,027 SF ZONING CODE)	889 SF	515 SF
					1,027 SF (1,027 SF ZONING CODE)

LEGEND	LEGEND
(E) WOOD FRAMED WALL	(E) COASTER
(N) WOOD FRAMED WALL	(N) HVAC UNITS
(B) BRICK / MASONRY WALL	(E) COASTER
(S) CONCRETE / CMU WALL / SHOTCRETE WALL (PER STRUCTURAL)	(E) COASTER
(P) PARTI WALL - 1 HR. FIRE & SOUND RATED WALL - see (100-110)	(E) COASTER
(R) 1 HR. FIRE & SOUND RATED WALL	(E) COASTER
(M) MECHANICAL VENTILATION - see (100-110)	(E) COASTER
(C) CARBON MONOXIDE DETECTOR	(E) COASTER
(S) SMOKE DETECTOR	(E) COASTER
(K) KEY NOTE	(E) COASTER
(R) ROOM TAG	(E) COASTER
(D) DOOR TAG	(E) COASTER
(W) WINDOW TAG	(E) COASTER
(L) LEVEL CHANGE	(E) COASTER
(F) ENLARGED DRAWING CALLOUT	(E) COASTER
(F) FINISHED FACE TO FINISHED FACE	(E) COASTER
(F) FINISHED FACE TO CENTERLINE OF OPENING	(E) COASTER
(F) COMMON PATH OF EGRESS TRAVEL & TRAVEL DISTANCE	(E) COASTER
(F) ADDITIONAL TRAVEL DISTANCE PATH ONLY	(E) COASTER

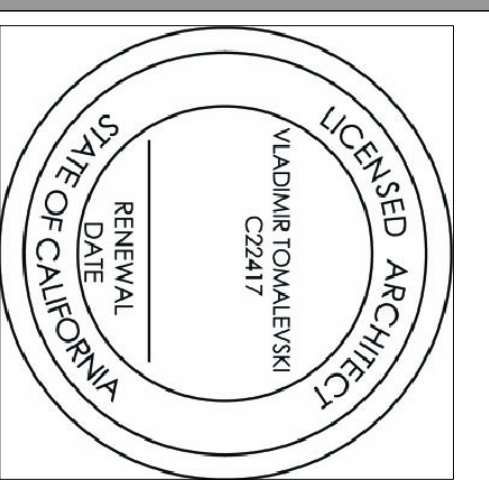
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KEY NOTES SCALE: N.T.S. 6

NOTES SCALE: N.T.S. 4

FLOOR AREA CALCULATIONS SCALE: N.T.S. 3

LEGEND SCALE: N.T.S. 1



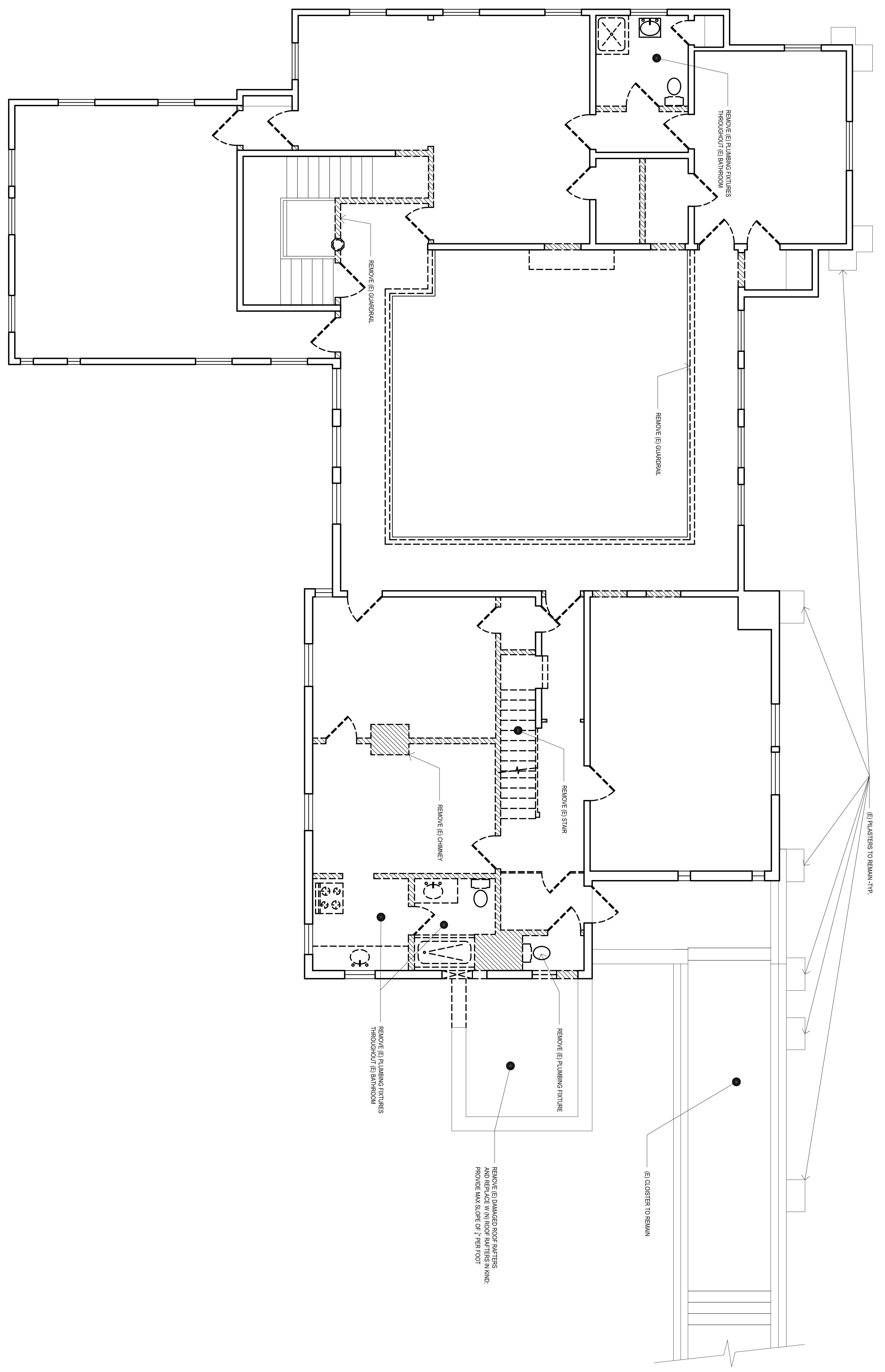
# APARTMENT BUILDING CONVERSION

## 1342 W. ADAMS BLVD LOS ANGELES, CA 90007

**NOT FOR CONSTRUCTION**

**L.V** Architects, Inc.  
2332 Corner Ave., Suite 303  
West Los Angeles, CA 90064  
T: 310.714.5577 | F: 310.914.5578

SECOND FLOOR DEMO PLAN  
06.05.2013  
date  
1/2" = 1'-0"  
scale  
**A - 1.21**  
page



SECOND FLOOR DEMO PLAN SCALE: 1/2" = 1'-0" 2

EI WOOD FRAMED WALL  
 DEMO EI WALL

- NOTE 1 ALL WATER, GAS, AND SEWER LINES TO BE CAPPED AS REQUIRED IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS REFER TO (M) ARCH PLANS FOR ANY ADDITIONAL DEMO REQUIRED
- NOTE 2 IT'S THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL NECESSARY DEMO WORK IN ORDER TO BID AND CONSTRUCT THE PROJECT PER PLAN. CONTRACTOR SHALL INCLUDE AND PERFORM ALL DEMOLITION WORK REQUIRED TO ACCOMMODATE NEW WORK UNDER THIS CONTRACT
- NOTE 3 CONSTRUCTION WASTE SHALL BE REDUCED BY 50%. CONTRACTOR TO COMPLY WITH SECTION 66.22 of title 24 of the Los Angeles Municipal Code.
- NOTE 4 IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ALL HAZARDOUS MATERIALS AND REMOVE THEM APPROPRIATELY IN CONFORMANCE WITH ALL APPLICABLE CITY, COUNTY, STATE, AND FEDERAL REGULATIONS
- NOTE 5 THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALTERNATIVE. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES WITH HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DRAWINGS AND NOTES. PATCH OR REBUILD ANY AREAS THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DEMOLITION.
- NOTE 6 ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL, THROUGHOUT CLEAN WORK AREAS OF DUST, DEBRIS CAUSED BY DEMOLITION WORK. BEFORE NEW WORK BEGINS, RETURN ADJACENT AREAS TO CONITION FOUND PRIOR TO START OF DEMOLITION WORK.
- NOTE 7 PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ADJACENT AREAS AND SHALL BE RESPONSIBLE TO PREVENT COLLAPSE, SUBSIDENCE, DETENTION OR ANY OTHER TYPE OF DAMAGE. REPAIR SPRAY FIREPROOFING DAMAGED DURING DEMOLITION WORK TO IT
- NOTE 8 UNLESS DETAILED OR SCHEDULED OTHERWISE, ALL AREAS AFFECTED BY DEMOLITION WORK SHALL BE PATCHED AND/OR REPAIRED TO MATCH EXISTING ADJACENT SURFACES AND FINISHES. REPAIR AFFECTED AREAS AS REQUIRED TO RECEIVE NEW WORK. ALL FILLING OF OPENINGS AND REPAIR WORK SHALL MATCH EXISTING ADJACENT SURFACE.
- NOTE 9 REMOVE ALL EXISTING MECHANICAL DUCTS, PLUMBING, ELECTRICAL, AND ANY OTHER ITEMS THAT ARE AFFECTED AND REPAIR WORK SHALL MATCH EXISTING ADJACENT SURFACE AND ELECTRICAL WORK. CONTRACTOR SHALL VACUUM CLEAN THE AREA PRIOR TO INSTALLATION OF ANY NEW ITEM.
- NOTE 10 BEFORE SUBMITTING BID PROPOSAL, GENERAL CONTRACTOR TO VISIT THE SITE OF THE WORK AND FULLY INFORM HIMSELF OF EXISTING CONDITIONS AND LIMITATIONS.
- NOTE 11 DEMOLITION PLANS ARE INCLUDED FOR THE CONVENIENCE OF THE CONTRACTOR AND ONLY GENERALLY INDICATE THOSE BUILDING ELEMENTS THAT MUST BE DEMOLISHED TO COMPLETE THE WORK. REMOVE FINISHES AND COMPONENTS CUT AND PATCH CONCRETE SLABS, WALLS, FLOORS AND CEILINGS AS REQUIRED TO COMPLETE WORK OF THIS CONTRACT, WHETHER OR NOT INDICATED ON DEMOLITION DRAWINGS.
- NOTE 12 PROTECT FROM DAMAGE EXISTING COMPONENTS / FINISHES THAT ARE TO REMAIN OR TO BE SALVAGED
- NOTE 13 UNLESS OTHERWISE INDICATED, DAMAGED LINES ON THE DEMOLITION PLANS DENOTE COMPONENTS TO BE REMOVED, WHETHER OR NOT ACCOMPANIED BY NOTES
- NOTE 14 CONTRACTOR SHALL PATCH AND REPAIR AS NECESSARY ALL FLOOR AND CEILING SURFACES / FINISHES DAMAGED DURING DEMOLITION
- NOTE 15 WALLS AND OTHER COMPONENTS INDICATED TO BE REMOVED ARE PRESUMED TO BE NON-LOAD BEARING UNLESS OTHERWISE NOTED. PRIOR TO PERFORMING DEMOLITION, CONTRACTOR SHALL VERIFY WHETHER OR NOT WALLS OR OTHER COMPONENTS TO BE REMOVED ARE LOAD BEARING AND IF SO, NOTIFY ARCHITECT
- NOTE 16

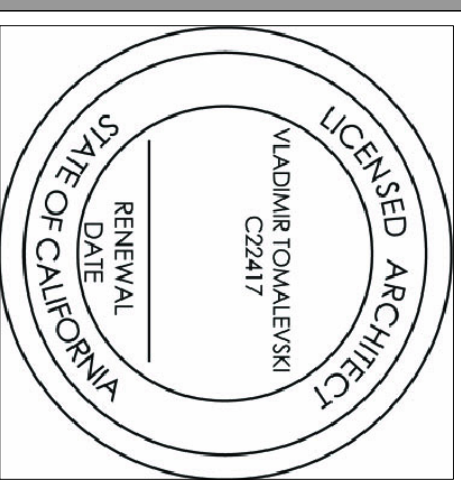
KEY NOTES SCALE: N.T.S. 4

DEMO NOTES SCALE: N.T.S. 3

LEGEND SCALE: N.T.S. 1







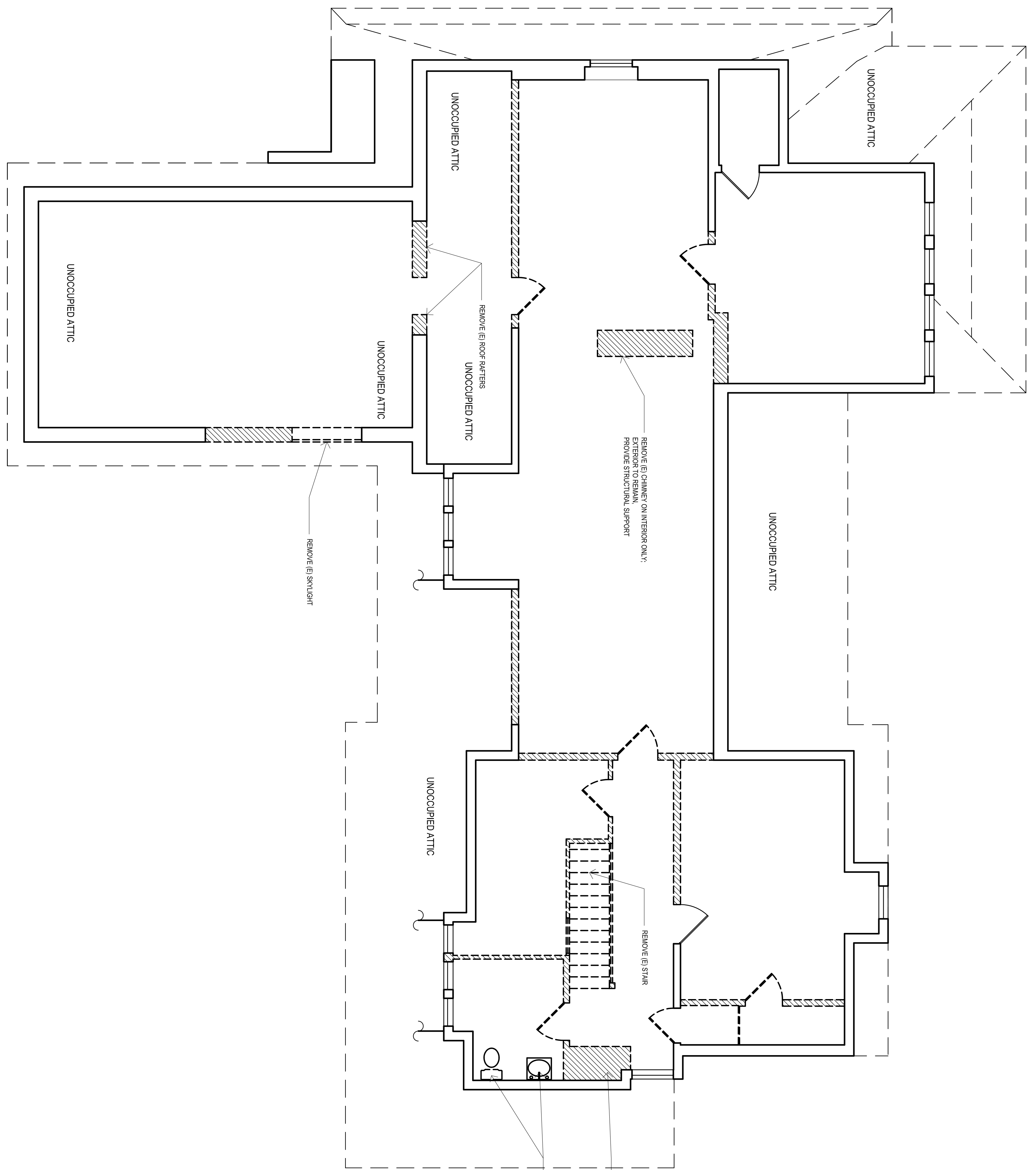
# APARTMENT BUILDING CONVERSION

## 1342 W. ADAMS BLVD LOS ANGELES, CA 90007

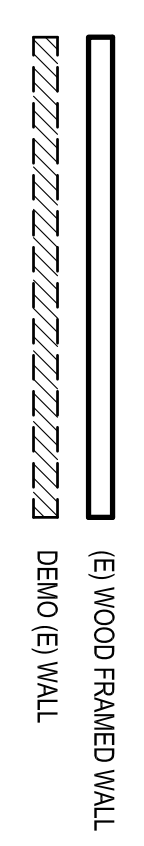
NOT FOR CONSTRUCTION

**LVA**rchitects Inc.  
 2332 Corner Ave., Suite 303  
 West Los Angeles, CA 90064  
 T: 310. 914. 5577 | F: 310. 914. 5578

THIRD FLOOR DEMO PLAN    title  
 06.05.2013    date  
 1/2" = 1'-0"    scale  
**A - 1.31**    page



THIRD FLOOR DEMO PLAN SCALE: 1/2" = 1'-0"    2



**KEY NOTES SCALE: N.T.S.    4**

**DEMO NOTES SCALE: N.T.S.    3**

**LEGEND SCALE: N.T.S.    1**

NOTE 1 ALL WATER, GAS, AND SEWER LINES TO BE CAPPED AS REQUIRED IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS REFER TO IN ARCH PLANS FOR ANY ADDITIONAL DEMO REQUIRED

NOTE 2 IT'S THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL NECESSARY DEMO WORK IN ORDER TO BID AND CONSTRUCT THE PROJECT PER PLAN. CONTRACTOR SHALL INCLUDE AND PERFORM ALL DEMOLITION WORK REQUIRED TO ACCOMMODATE NEW WORK UNDER THIS CONTRACT

NOTE 3 CONSTRUCTION WASTE SHALL BE REDUCED BY 65%. CONTRACTOR TO COMPLY WITH SECTION 06.32.01 *et seq.* of the Los Angeles Municipal Code.

NOTE 4 IT'S THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ALL HAZARDOUS MATERIALS AND REMOVE THEM APPROPRIATELY IN CONFORMANCE WITH ALL APPLICABLE CITY, COUNTY, STATE, AND FEDERAL REGULATIONS

NOTE 5 THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ARCHITECTURAL, DEMOLITION DRAWINGS AND NOTES WITH HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DRAWINGS AND NOTES. PATCH OR REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DEMOLITION.

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NOTE 8 UNLESS OTHERWISE INDICATED, DASHED LINES ON THE DEMOLITION PLANS DENOTE COMPONENTS TO BE REMOVED, WHETHER OR NOT ACCOMPANIED BY NOTES

NOTE 9 CONTRACTOR SHALL PATCH AND REPAIR AS NECESSARY ALL FLOOR AND CEILING SURFACES. FINISHERS DAMAGED DURING DEMOLITION.

NOTE 10 REMOVE ALL EXISTING MECHANICAL DUCTS, PLUMBING, ELECTRICAL, AND ANY OTHER ITEMS THAT ARE AFFECTED OR RENDERED OBSOLETE BY NEW MECHANICAL, PLUMBING AND ELECTRICAL WORK. CONTRACTOR SHALL VACUUM CLEAN THE AREA PRIOR TO INSTALLATION OF ANY NEW ITEM.

NOTE 11 BEFORE SUBMITTING BID PROPOSAL, GENERAL CONTRACTOR TO VISIT THE SITE OF THE WORK AND FULLY INFORM HIMSELF OF EXISTING CONDITIONS AND LIMITATIONS.

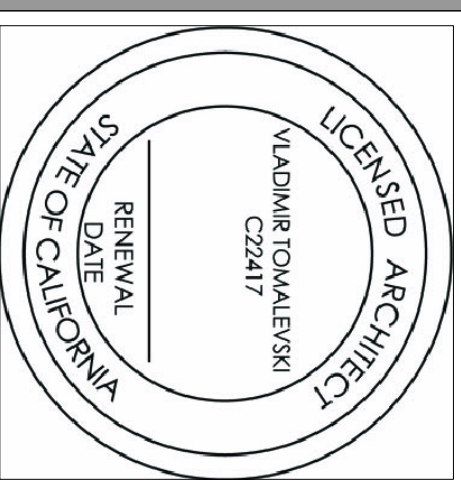
NOTE 12 DEMOLITION PLANS ARE INCLUDED FOR THE CONVENIENCE OF THE CONTRACTOR AND ONLY GENERALLY INDICATE THOSE BUILDING ELEMENTS THAT MUST BE DEMOLISHED TO COMPLETE THE WORK. REMOVE FINISHERS AND COMPONENTS, CUT AND PATCH CONCRETE SLABS, WALLS, FLOORS AND CEILINGS AS REQUIRED TO COMPLETE WORK OF THIS CONTRACT, WHETHER OR NOT INDICATED ON DEMOLITION DRAWINGS.

NOTE 13 PROTECT FROM DAMAGE EXISTING COMPONENTS/ FINISHERS THAT ARE TO REMAIN OR TO BE SALVAGED

NOTE 14 UNLESS OTHERWISE INDICATED, DASHED LINES ON THE DEMOLITION PLANS DENOTE COMPONENTS TO BE REMOVED, WHETHER OR NOT ACCOMPANIED BY NOTES

NOTE 15 CONTRACTOR SHALL PATCH AND REPAIR AS NECESSARY ALL FLOOR AND CEILING SURFACES. FINISHERS DAMAGED DURING DEMOLITION.

NOTE 16 WALLS AND OTHER COMPONENTS INDICATED TO BE REMOVED ARE PRESUMED TO BE NON-LOAD BEARING UNLESS OTHERWISE NOTED. PRIOR TO PERFORMING DEMOLITION, CONTRACTOR SHALL VERIFY WHETHER OR NOT WALLS OR OTHER COMPONENTS TO BE REMOVED ARE LOAD BEARING AND IF SO, NOTIFY ARCHITECT

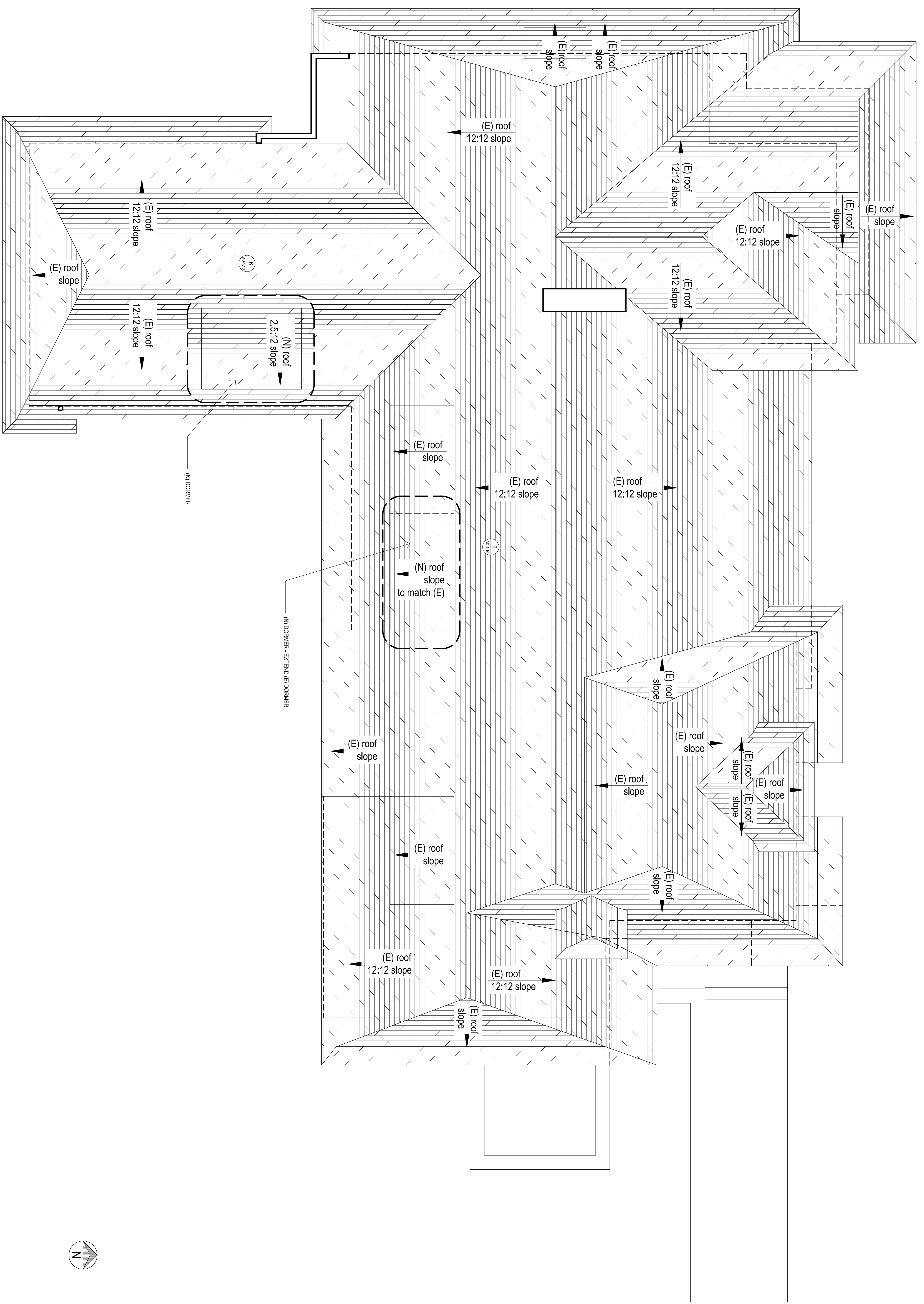


**APARTMENT BUILDING CONVERSION**  
**1342 W. ADAMS BLVD**  
**LOS ANGELES, CA 90007**

**NOT FOR CONSTRUCTION**

L.V. Architects Inc.  
 2332 Corner Ave., Suite 303  
 West Los Angeles, CA 90064  
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ROOF PLAN	Title
06.05.2013	date
1/2" = 1'-0"	scale
<b>A - 1.40</b>	page



(E) ROOF PLAN W/ PROPOSED TWO (N) DORMERS SCALE: 1/2" = 1'-0"

	(N) WOOD FRAMED WALL
	(E) BRICK MASONRY WALL
	(N) CONC. / CMU WALL / SHOTCRETE WALL (PER STRUCTURAL)
	(N) 2x FLAT FRAMED WALL
	PARTY WALL - FR. FIRE & SOUND
	1-HR. FIRE & SOUND RATED WALL
	1-HR. FIRE & SOUND RATED WALL -see (IND. 1, 10)
	MECHANICAL VENTILATION - CAPABLE OF PROVIDING 90 CFM
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	KEY NOTE
	ROOM NAME
	ROOM TAG
	DOOR TAG
	WINDOW TAG
	LEVEL CHANGE

ENLARGED DRAWING CALLOUT

MINIMUM CLEAR DIMENSION 4'-4"

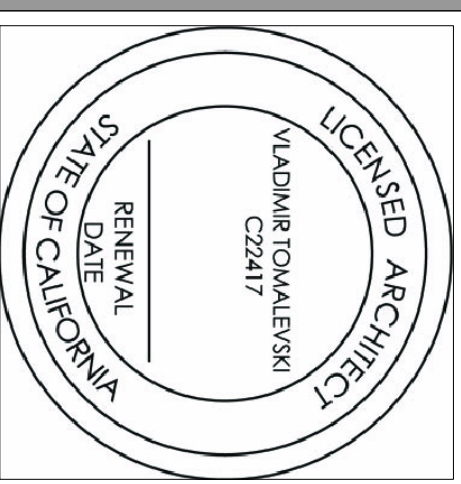
MINIMUM FINISHED FACE TO CENTERLINE OF OPENING 4'-4"

COMMON PATH OF EGRESS TRAVEL & TRAVEL DISTANCE

ADDITIONAL TRAVEL DISTANCE PATH ONLY

NOTES 3

4



**APARTMENT BUILDING CONVERSION**  
**1342 W. ADAMS BLVD**  
**LOS ANGELES, CA 90007**

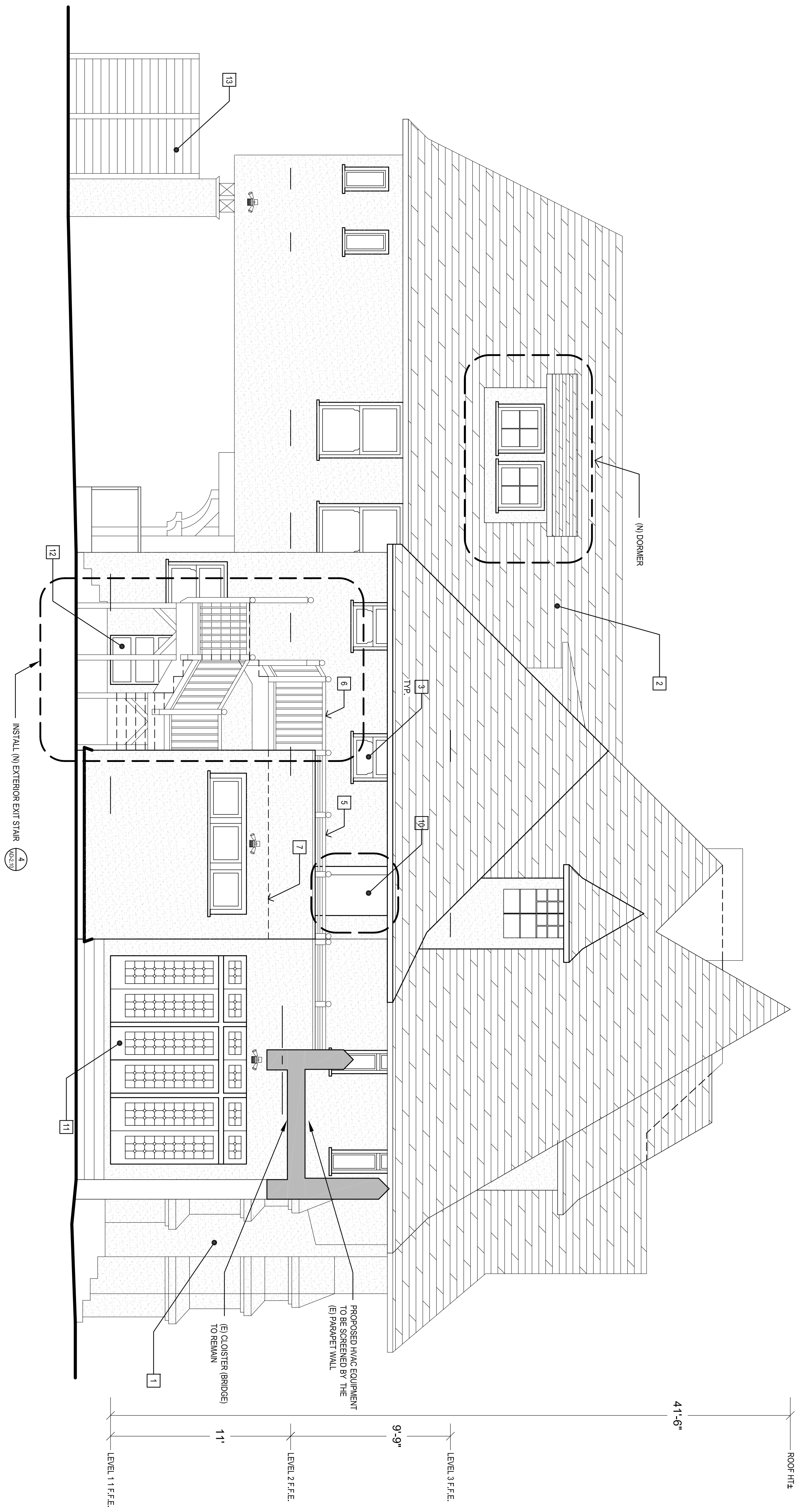
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 West Los Angeles, CA 90064  
 T: 310.714.5577 | F: 310.714.5578

**ELEVATIONS**

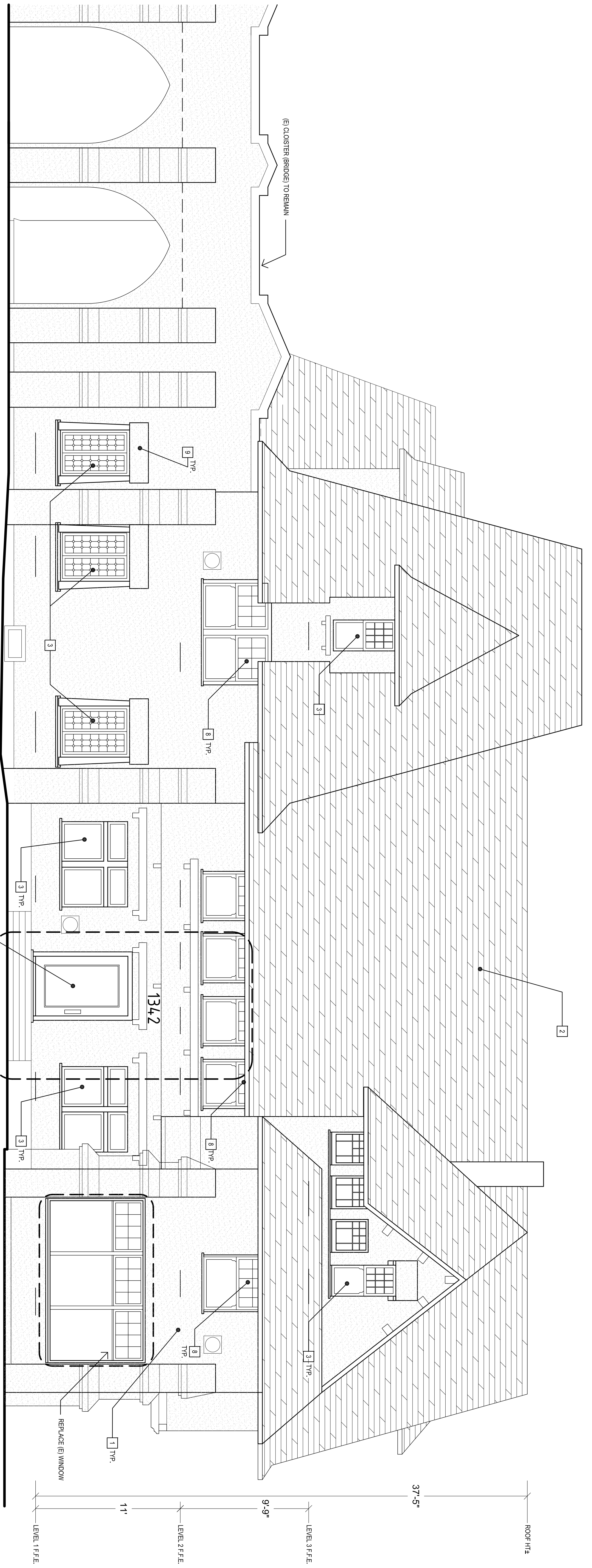
06.05.2013  
 1/2" = 1'-0"  
 date  
 scale

**A - 2.10**  
 page



**EAST ELEVATION SCALE 1/2" = 1'-0"**

**5**



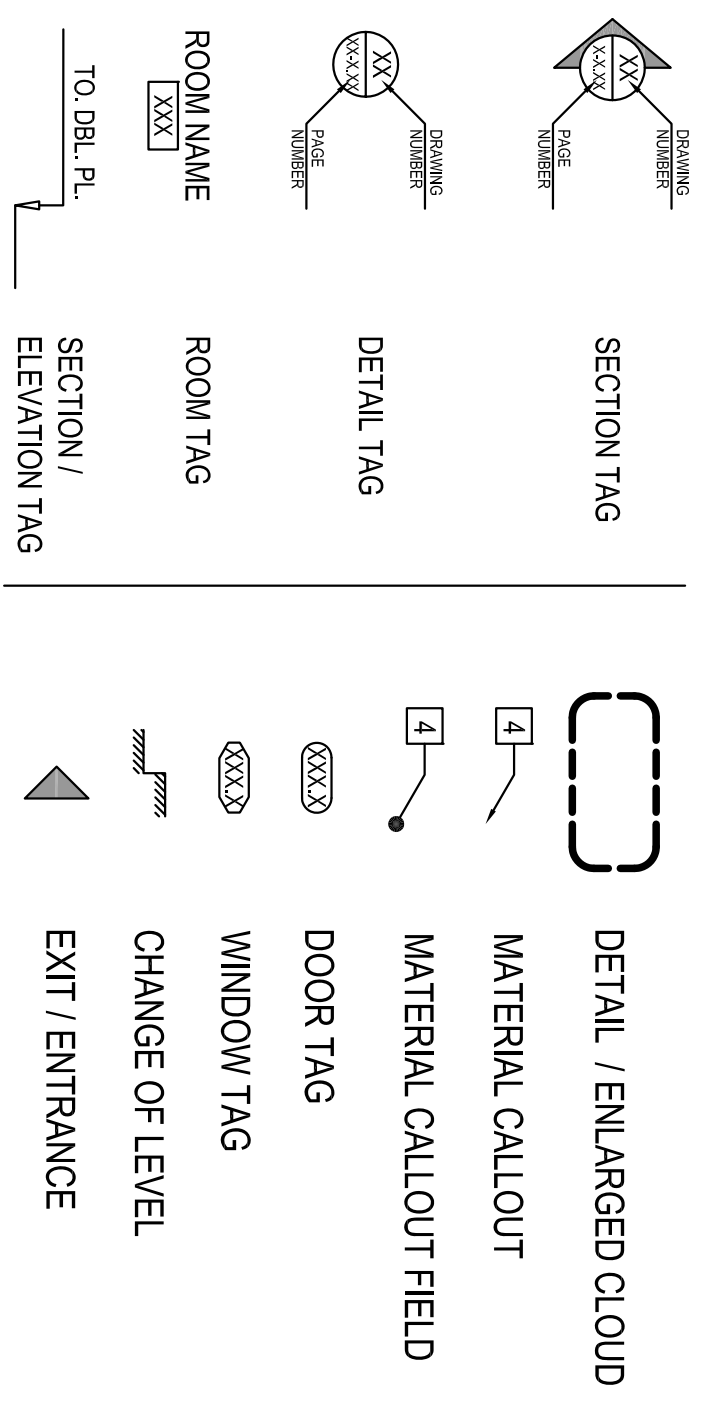
**NORTH ELEVATION SCALE 1/2" = 1'-0"**

**3**

- ☐ (E) STUCCO TO REMAIN - REPAIR IN PLACE - PAINT
- ☐ REPLACE (E) ROOF COVERING - PROVIDE (N) COPPER SINGLE ROOF COVERING - MIN. OF CLASS 'C' RATING - 'MALARKEY' HIGH PROFILE LAMINATE SINGLETS - MIDNIGHT BLACK, RR 25751 - #1 G - 4.20
- ☐ (E) WINDOW TO REMAIN - REPAIR AS REQUIRED - USE BONDO TO FILL ANY DAMAGED AREAS - REPLACE SASH WITH LIKE MATERIALS AND PROFILE IF REQUIRED - PAINT - SHERWIN WILLIAMS HISTORIC COLLECTION - 'ROYCROFT YELLOW' - SW2833
- ☐ (E) WOOD TRIM / ARCHITECTURAL FEATURE - REPAIR AS NECESSARY - USE BONDO TO FILL ANY DAMAGED AREAS - PAINT - SHERWIN WILLIAMS HISTORIC COLLECTION - 'ROYCROFT YELLOW' - SW2833
- ☐ (N) GUARDRAIL @ EXT DECK - SEE DETAIL #8, AD-2.10
- ☐ (N) SHERWIN WILLIAMS HISTORIC COLLECTION - 'ROYCROFT YELLOW' - SW2833
- ☐ (N) GUARDRAIL @ (N) EXT STAIR - SEE DETAIL #9, #4, AD-2.10
- ☐ (N) SHERWIN WILLIAMS HISTORIC COLLECTION - 'ROYCROFT YELLOW' - SW2833
- ☐ LINE OF (N) DECK FINISHED FLOOR - SEE ARCHITECTURAL SECTIONS AND STRUCTURAL DETAIL #9, AD-1.10 - REPAIR (E) UPPER SASH WITH (N) DIVIDED LIGHT SASH PER DETAIL #9, AD-1.10 - REPAIR OTHER PARTS OF WINDOW AS REQUIRED (SEE #9 ABOVE)
- ☐ (E) ROOF ACCEST - (E) STUCCO TO REMAIN REPAIR IN PLACE AS REQUIRED AND PAINT
- ☐ (N) EXTERIOR DOOR IN PLACE OF (E) WINDOW
- ☐ (N) (E) DOOR & LEADED GLASS IN PLACE - PAINT TO MATCH TRIM
- ☐ (E) DOOR TO REMAIN REPAIR IN PLACE AS REQUIRED - PAINT
- ☐ (N) HYDRO RETILING ENCLOSURE - 8'-9" HIGH - SEE DETAIL #9, AD-1.10; #8, A-6.10
- ☐ REPAIR (E) GUTTERS & DOWNSPOUTS

**KEY NOTES SCALE N.T.S.**

**4**



**SYMBOLS LEGEND SCALE N.T.S.**

**3**

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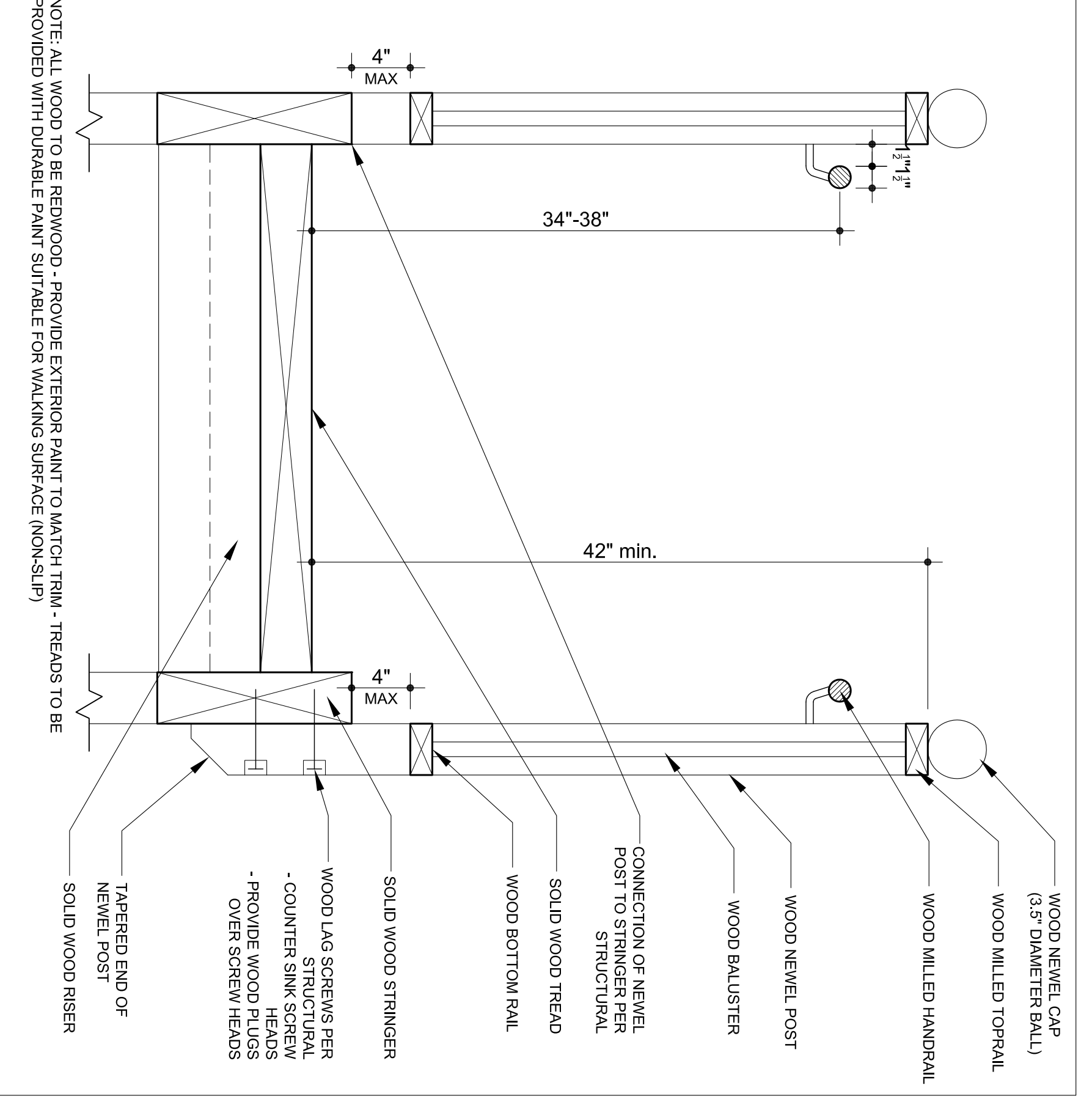
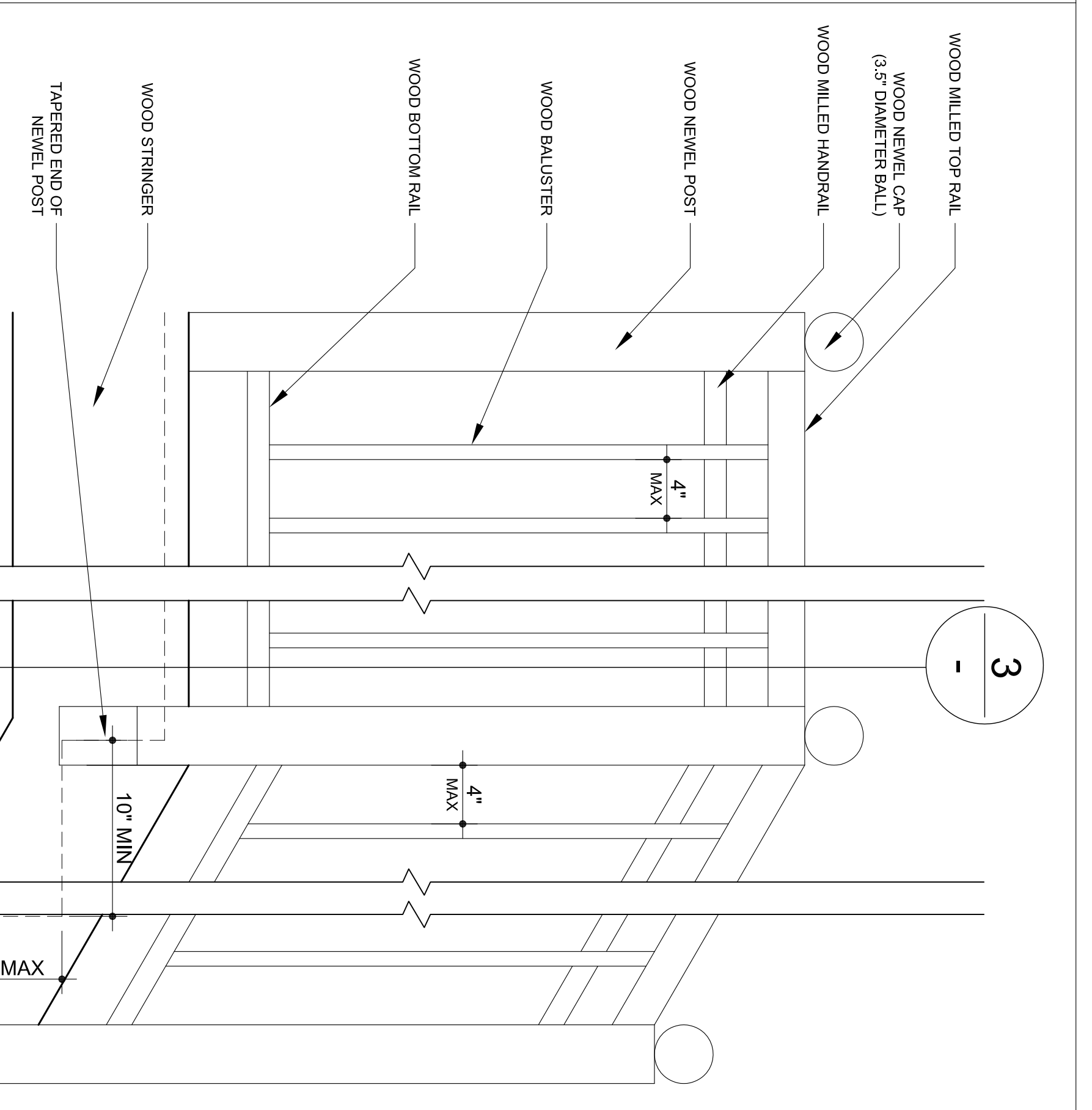
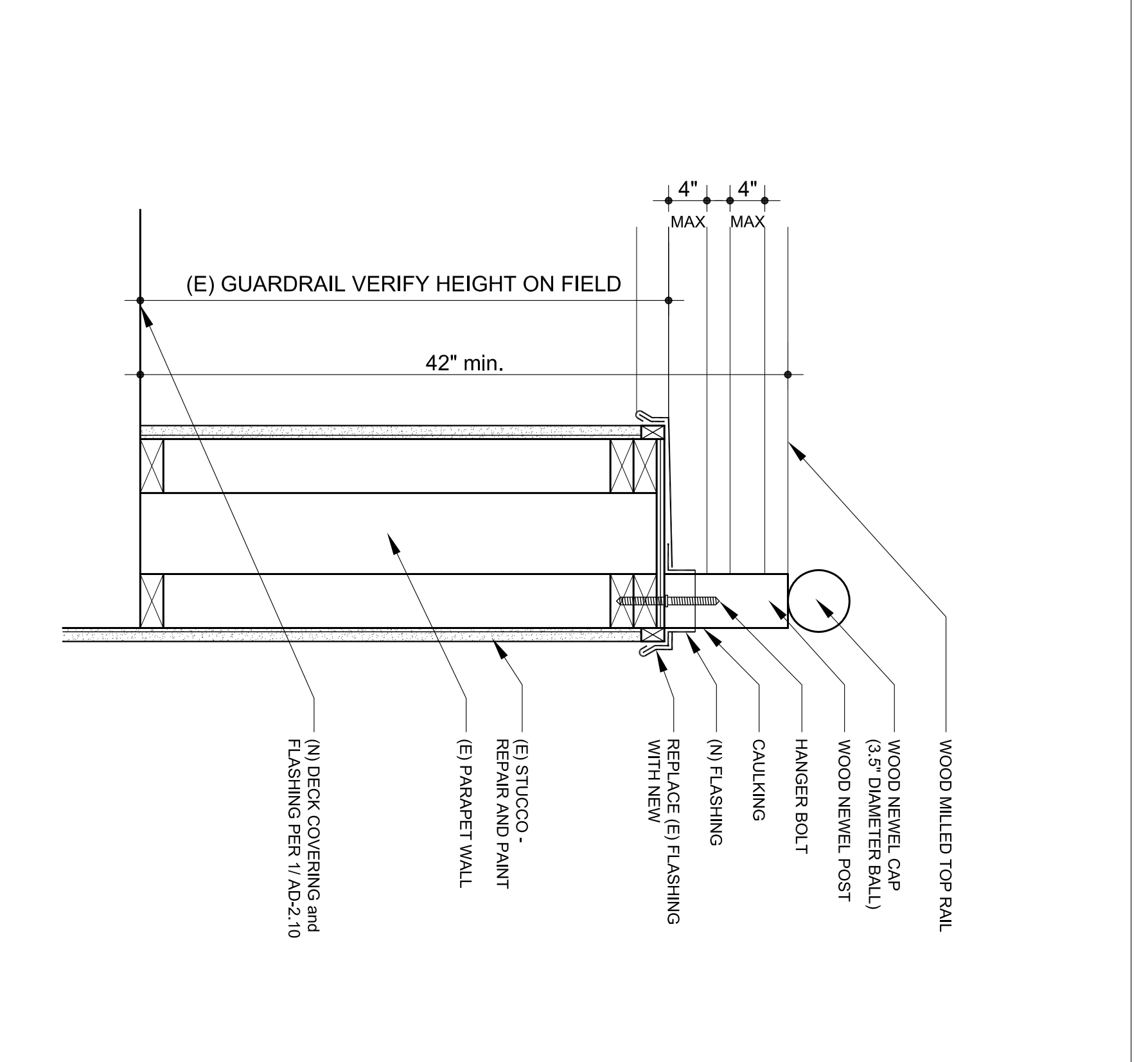
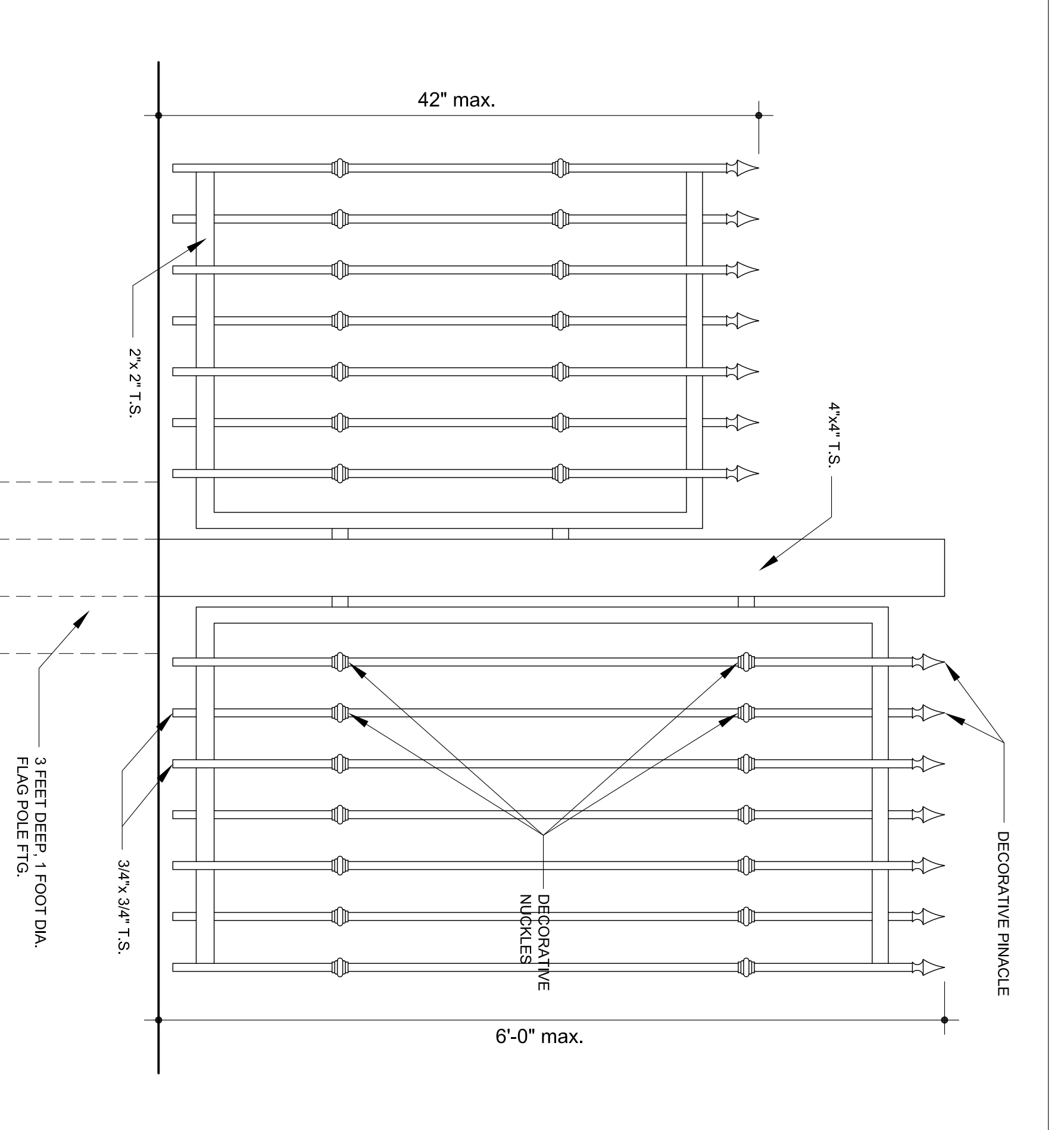






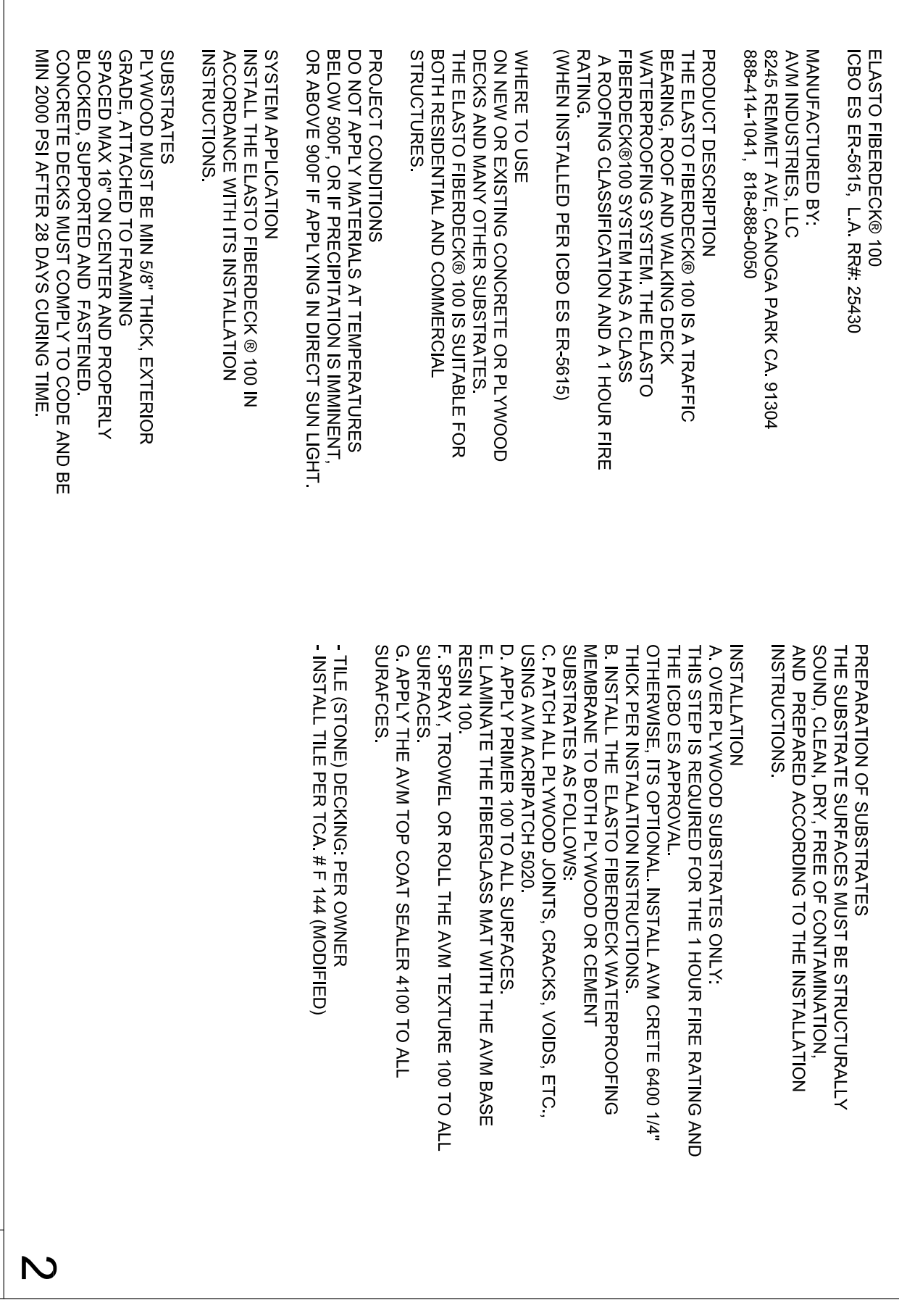
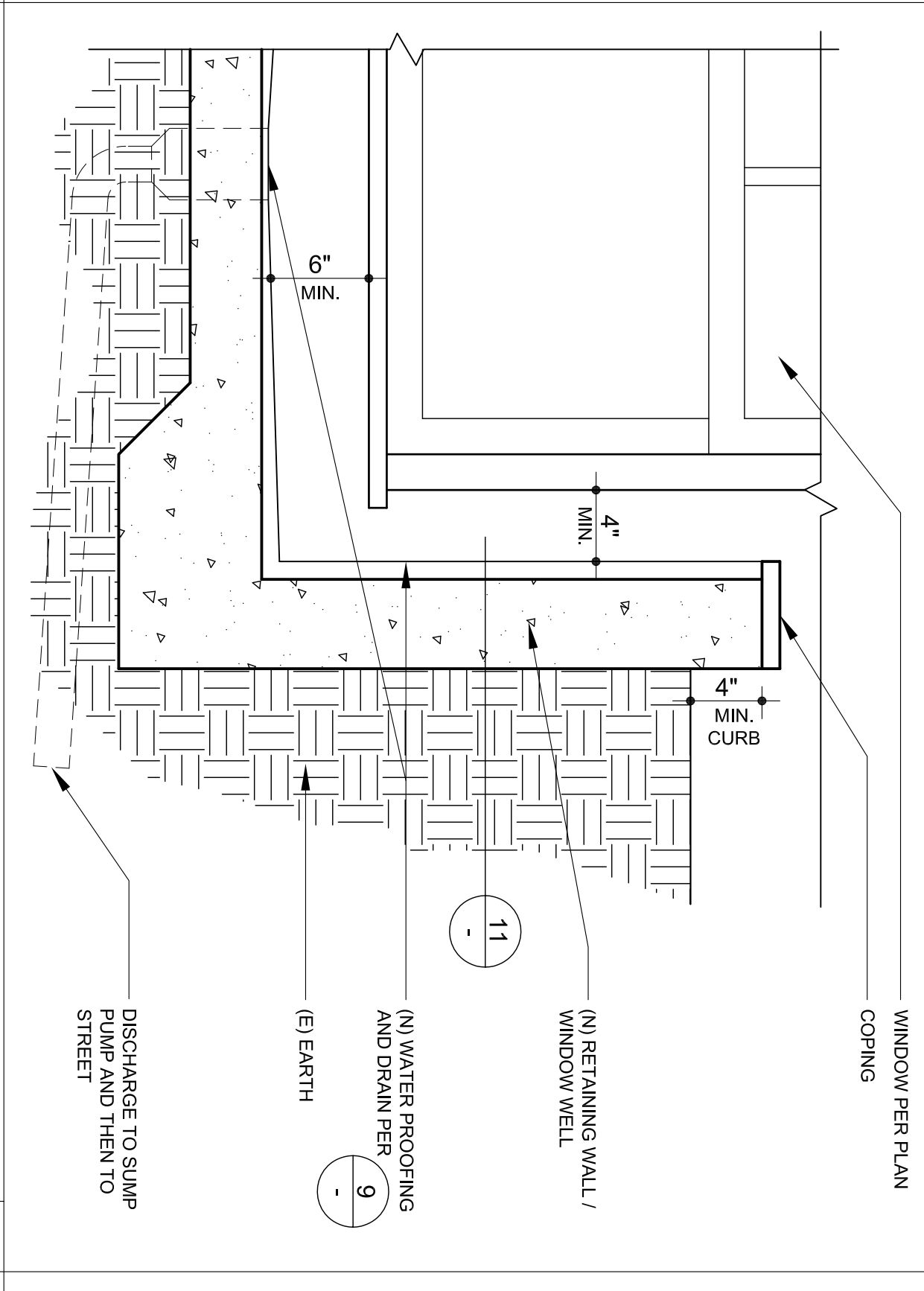
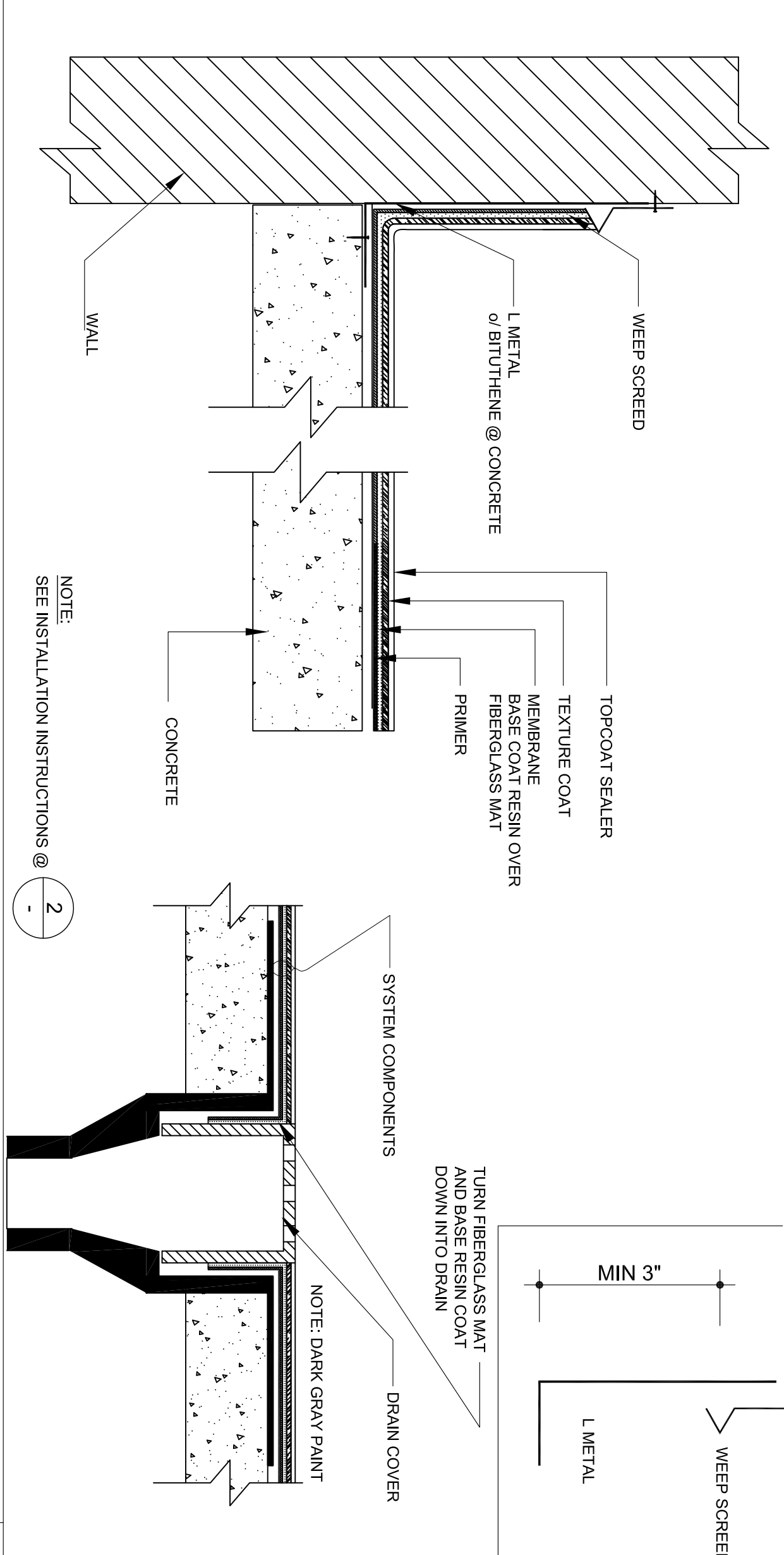






NEW 42" / 60" W.I. FENCE 10 (N) GUARDRAIL ON TOP OF (E) PARAPET WALL 8

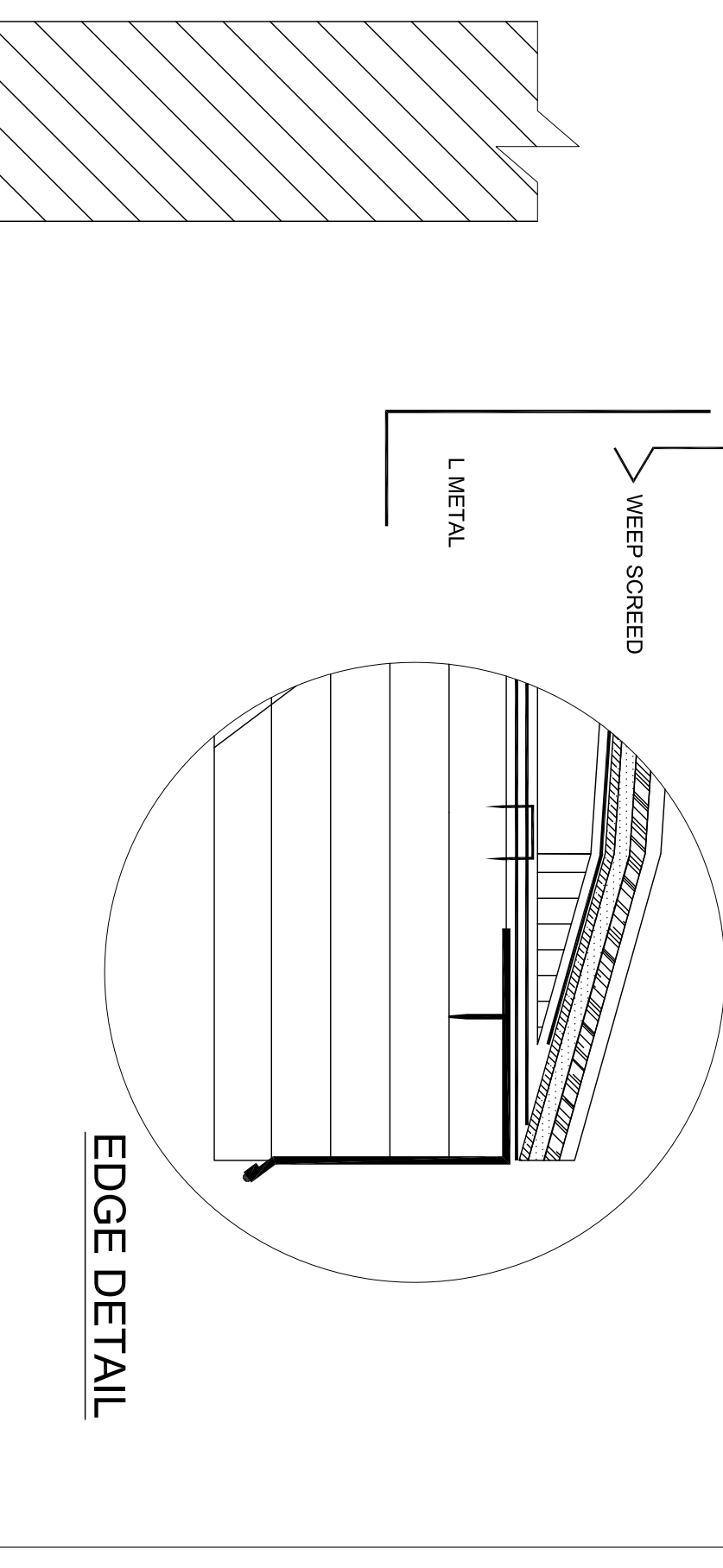
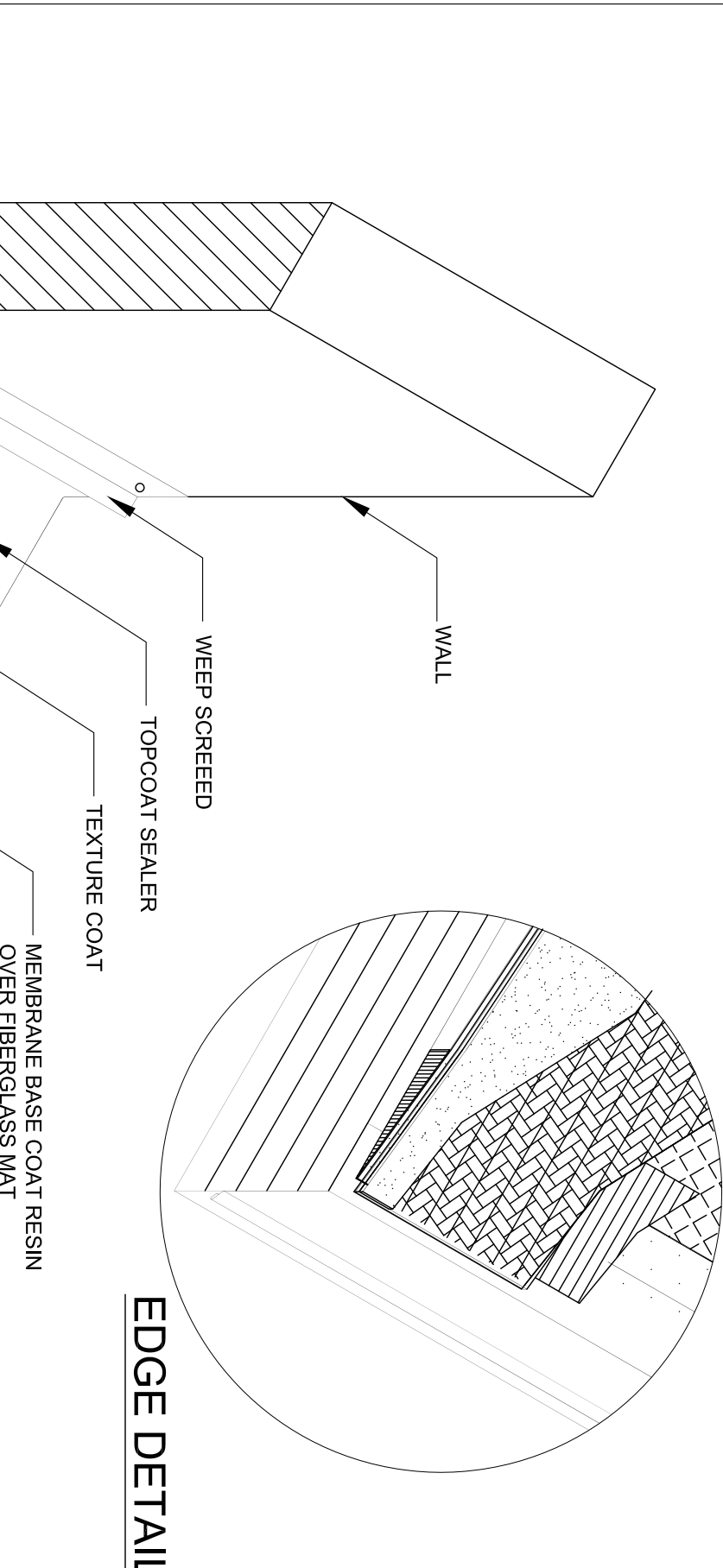
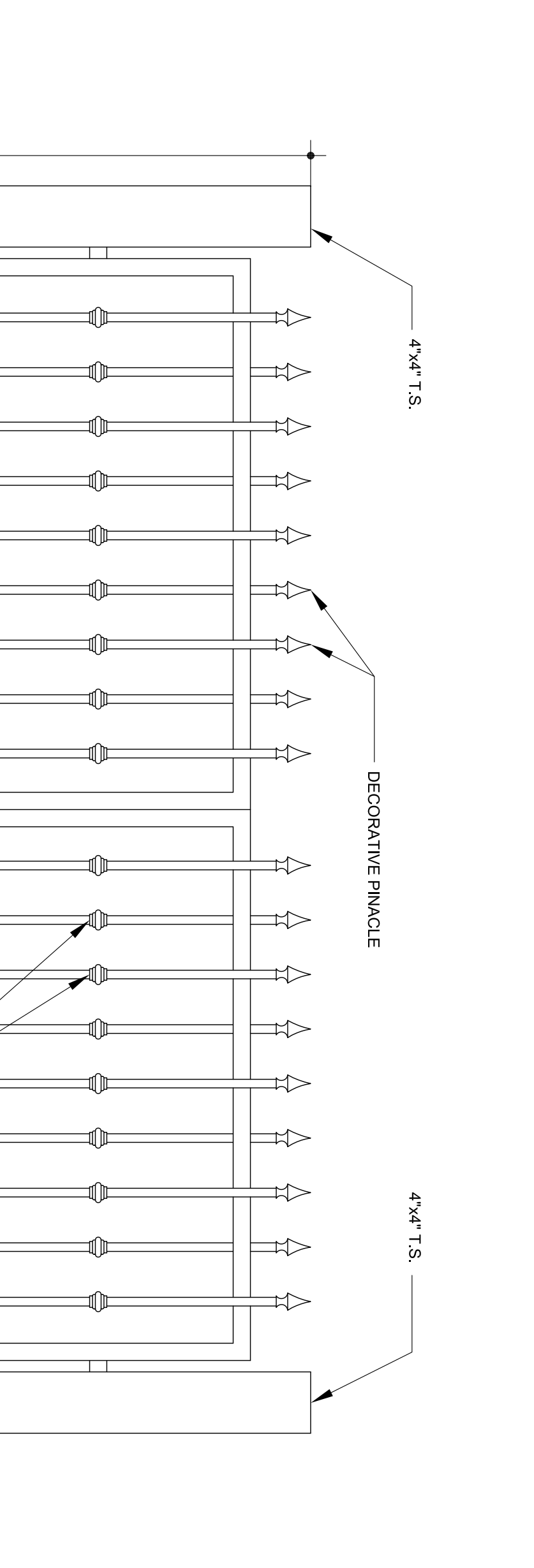
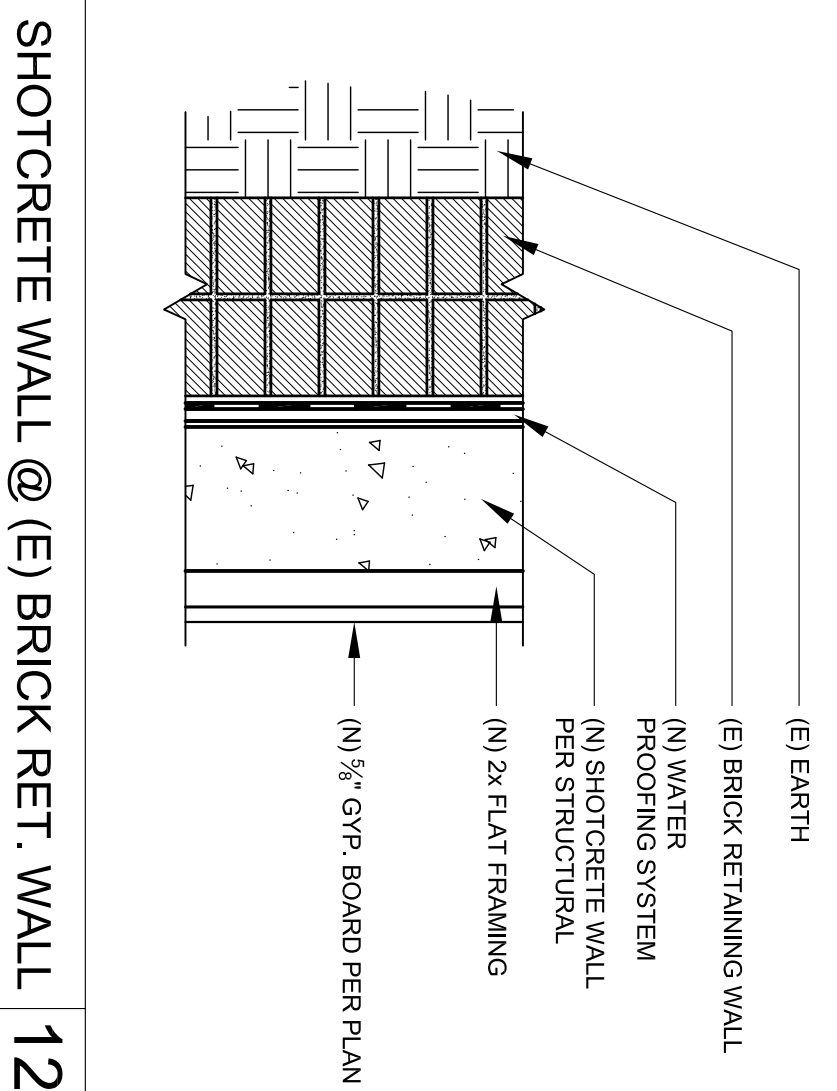
STAIR | GUARDRAIL DETAIL - CROSS SECTION 3



AVM SYSTEM 100 ELASTO FIBERDECK OVER CONCRETE ER-5615, L.A.R.R. #25430 9

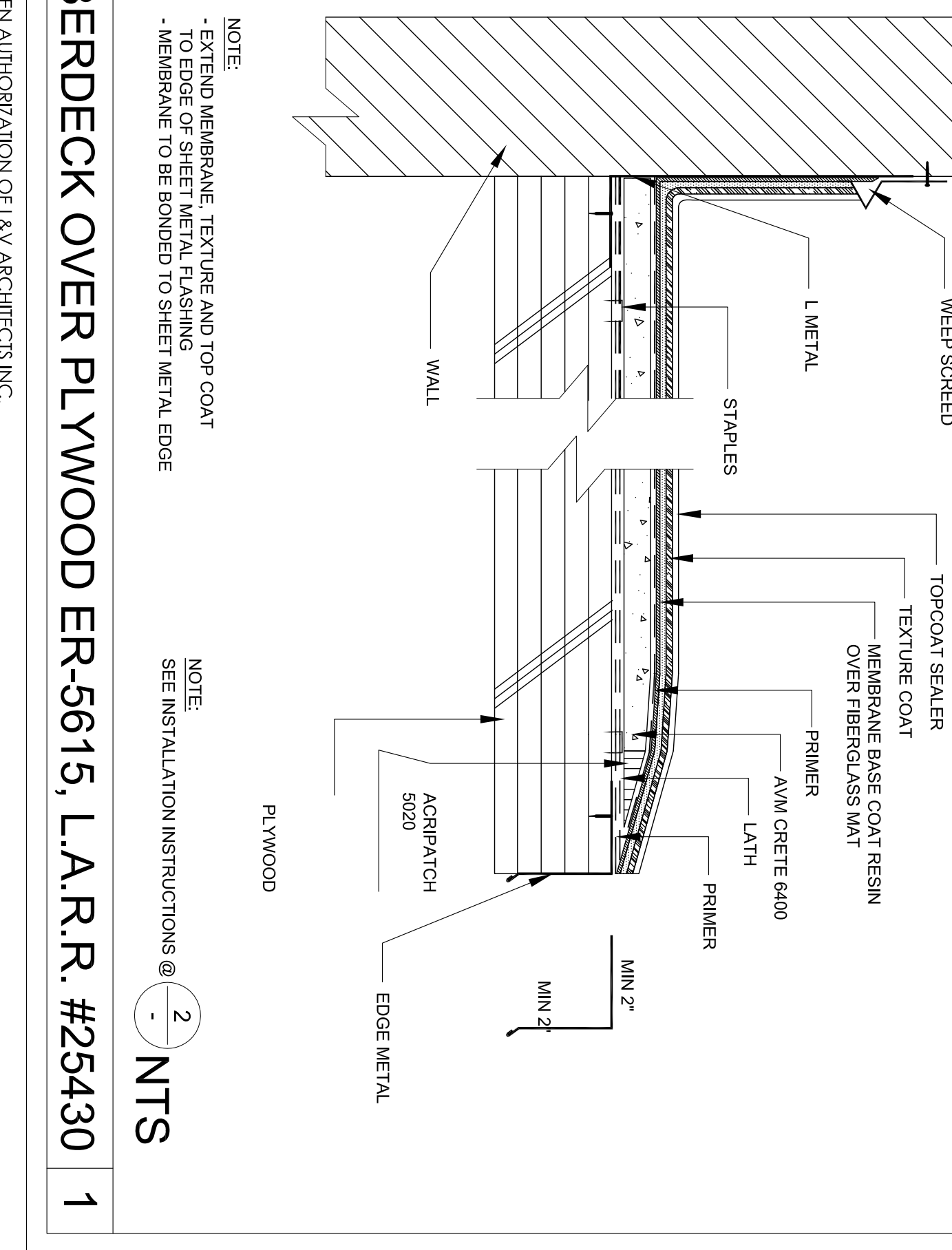
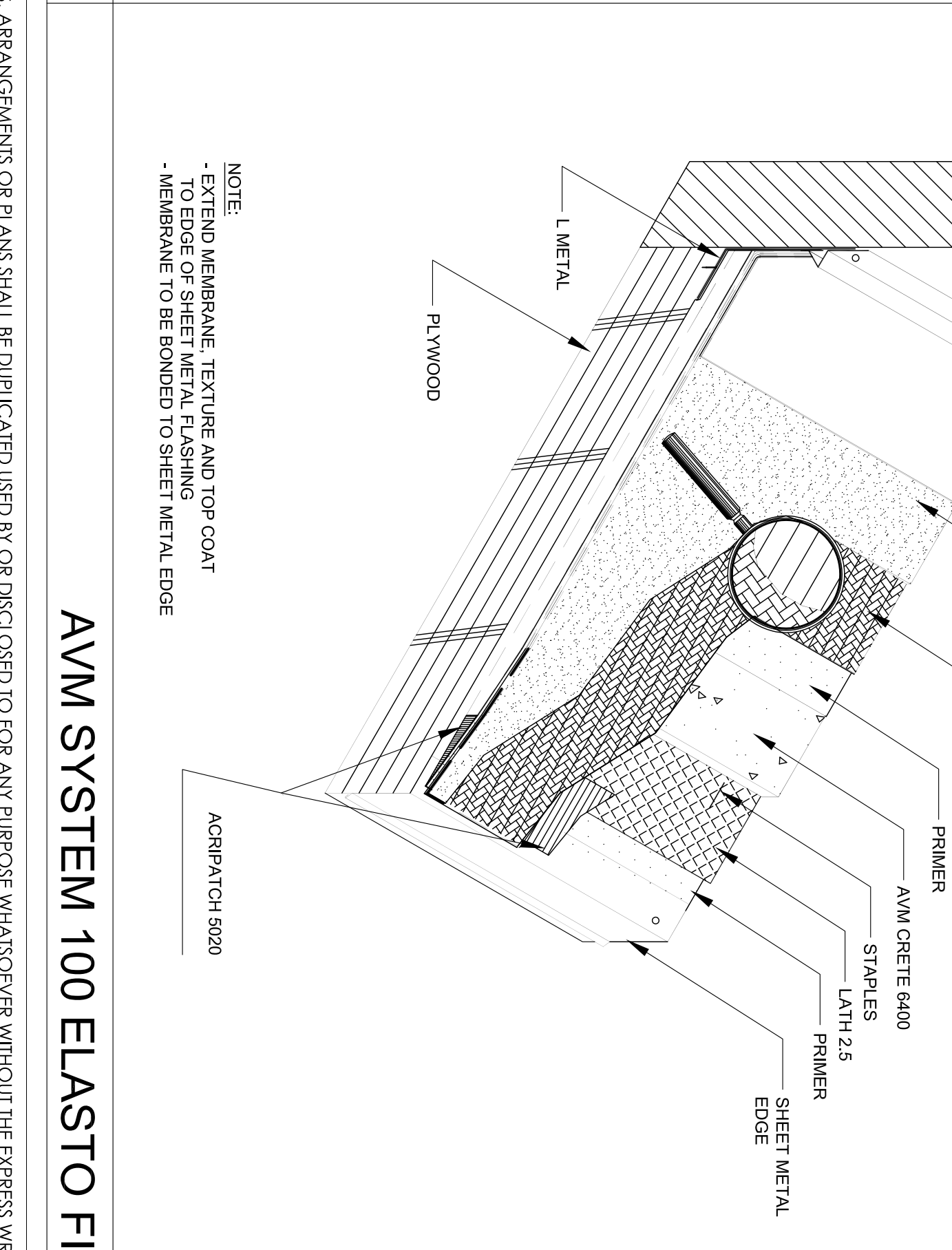
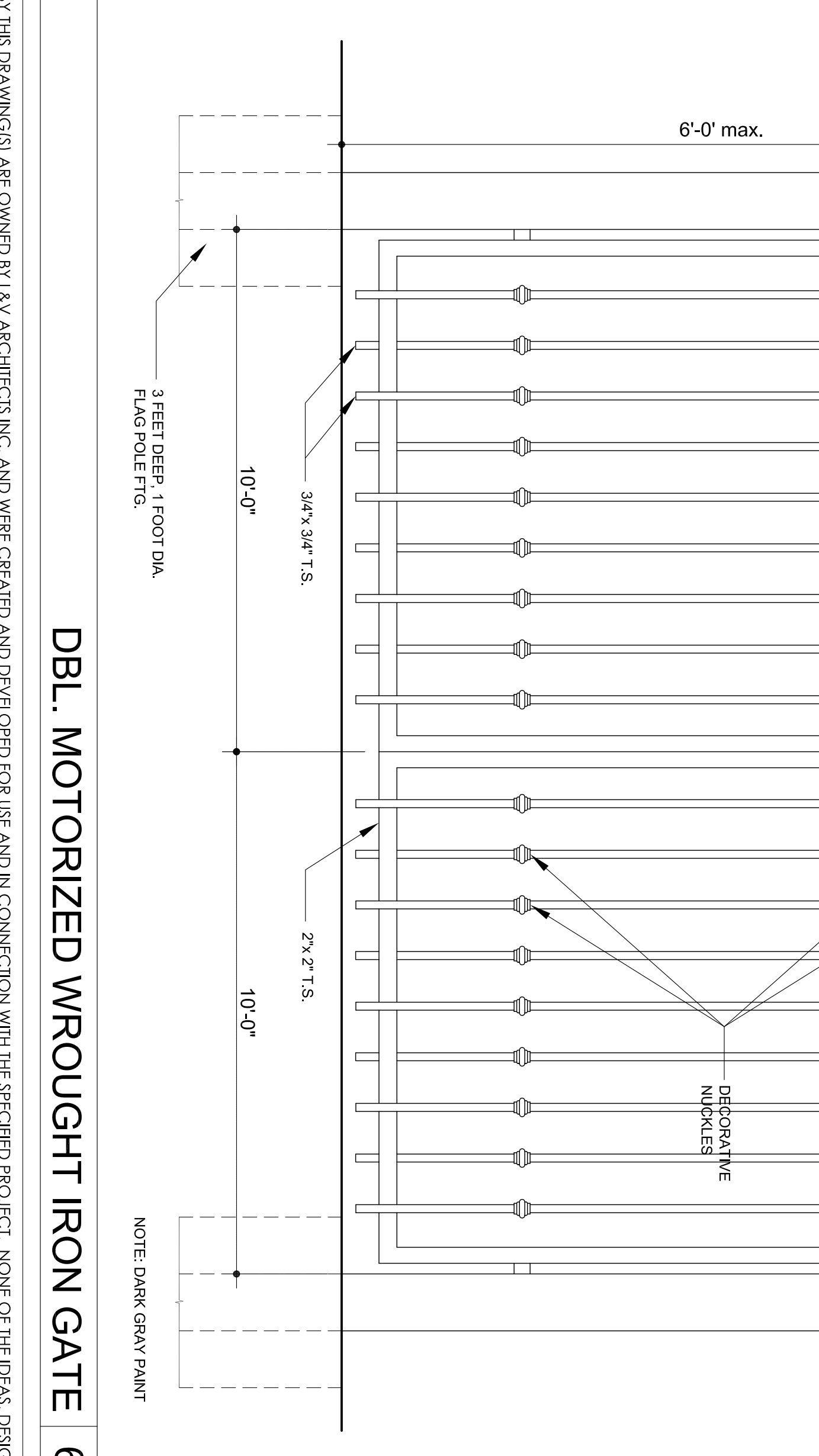
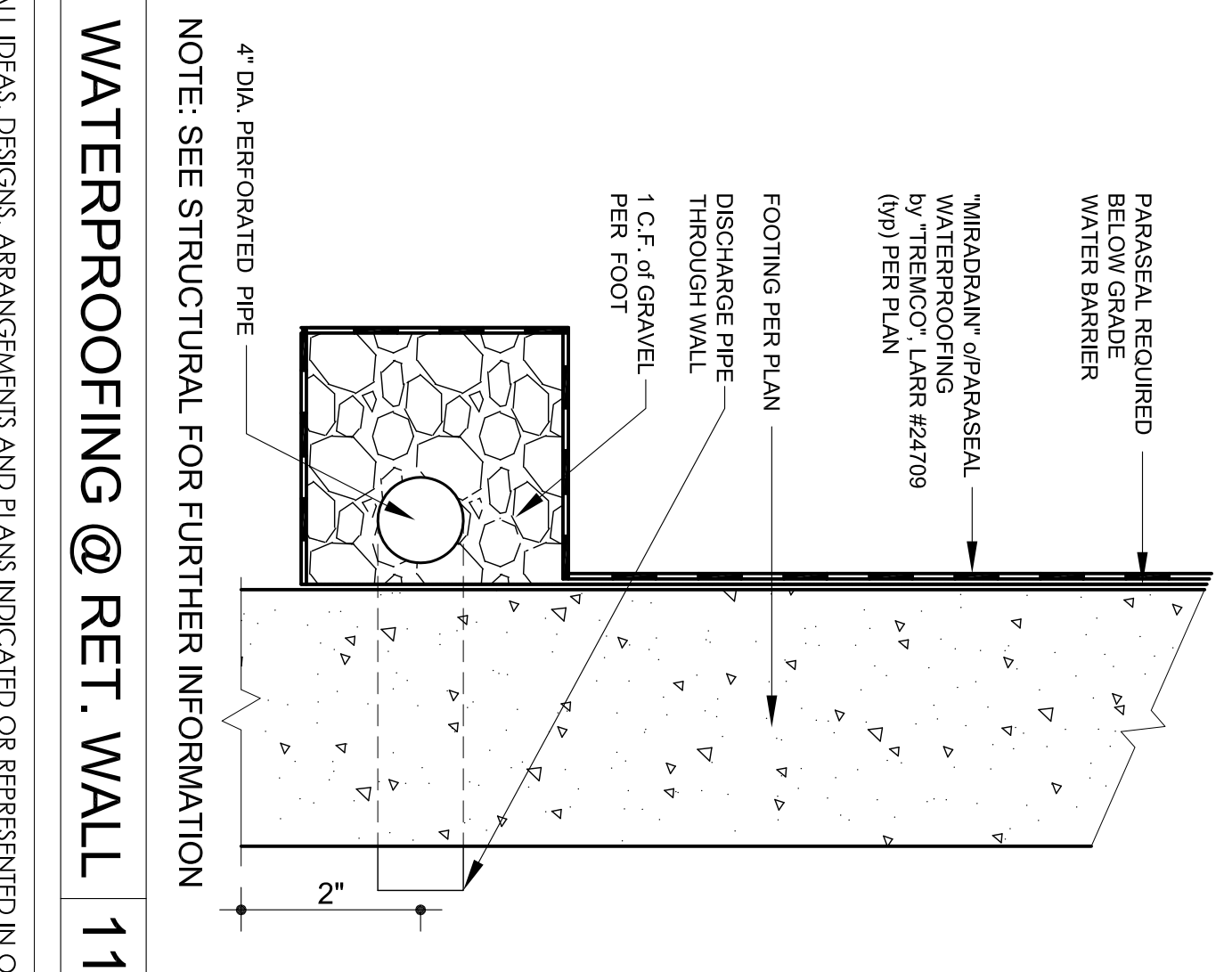
WINDOW WELLS @ BASEMENT 7 STAIR | GUARDRAIL DETAIL - ELEVATION 4

AVM SYSTEM 100 ELASTO FIBERDECK - LEGEND 2



SHOTCRETE WALL @ (E) BRICK RET. WALL 12

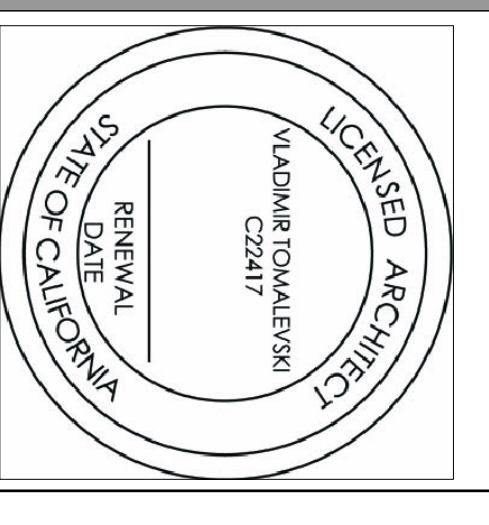
AVM SYSTEM 100 ELASTO FIBERDECK OVER PLYWOOD ER-5615, L.A.R.R. #25430 1



WATERPROOFING @ RET. WALL 11

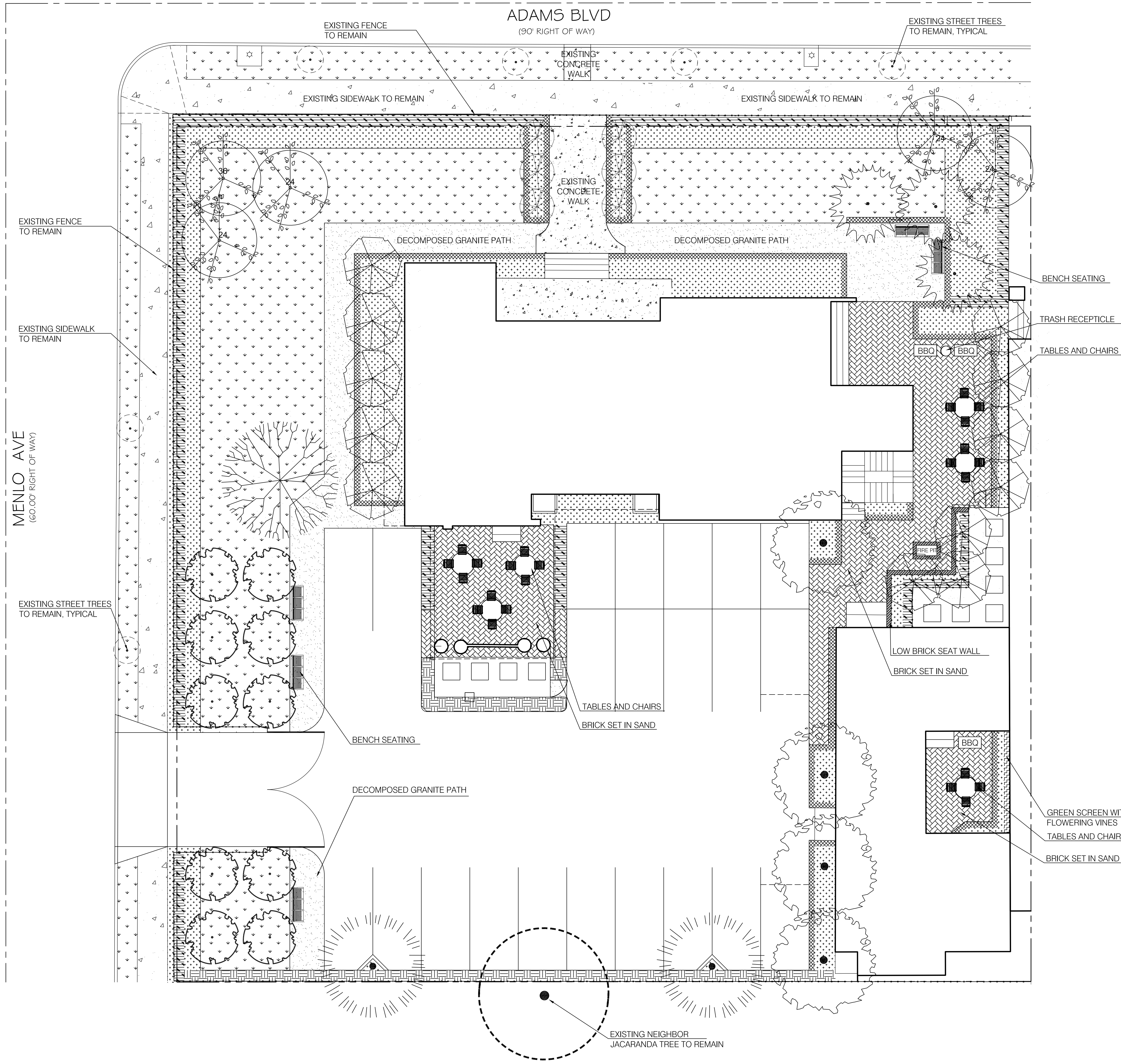
DBL. MOTORIZED WROUGHT IRON GATE 6

AVM SYSTEM 100 ELASTO FIBERDECK OVER PLYWOOD ER-5615, L.A.R.R. #25430 1



APARTMENT BUILDING CONVERSION  
1342 W. ADAMS BLVD  
LOS ANGELES, CA 90007

NOT FOR CONSTRUCTION



**PRELIMINARY TREE LEGEND**

Genus Species Name	Common Name	Box/Container Size	Height and Width at Planting	Height and Width at Maturity	Time to Maturity	Quantity	
	Cedrus atlantica 'Glaucu'	Blue Atlas Cedar	48" Box - Low Branching	13-15' High X 6-8' Wide	50-60' High X 30' Wide	30 Years	1
	Citrus varieties to be determined		24" Box - Standard	To be determined			10
	Ginkgo biloba 'Saratoga'	Saratoga Ginkgo biloba	24" Box - Standard	8-10' High X 3-4" Wide	25-30' High X 15-20' Wide	10 Years	4
	Lagerstroemia indica x faurei 'Arapahoe'	Arapahoe Crape Myrtle	36" Box - Multi Trunk	8-10' High X 6-7" Wide	15-20' High X 10-15' Wide	15 Years	3
	Magnolia grandiflora 'Little Gem'	Little Gem Dwarf Southern Magnolia	24" Box Tree - Low Branch	7-8' High X 4-5' Wide	20-25' High X 10-15' Wide	15 Years	12
	Platanus acerifolia 'Columbia'	Columbia London Plane Tree	24" Box - Standard	10-12' High X 4-5' Wide	35-50' High X 25-40' Wide	20 Years	2
	Platanus racemosa	California Sycamore (California Native Tree)	24" Box - Standard 36" Box - Standard	10-12' High X 4-5' Wide 13-15' High X 6-8' Wide	50-70' High X 25-50' Wide	30 Years	3 1
	Existing Trees to Remain and be Protected in Place						Final quantity to be determined

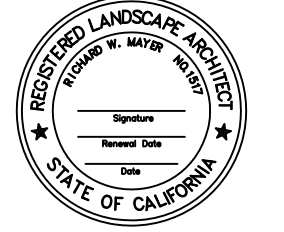
**PRELIMINARY PLANTING LEGEND**

Symbol	Plant type	Notes
	Topiary	60" Tall Topiary with Round Ball - Final variety of plant to be determined
	Screening Hedge	42" High Screening Shrub
	Screening Hedge	60" High Screening Shrub
	Low Boxwood Hedge	12-18" High Low Boxwood Type Hedge
	Shrubs and Groundcover	6-36" High - Heights Vary Per Plant - Plant Varieties To Be Determined
	Flowering Vines	10-15' High - Vines To Grow On Green Screen Structure
	Turf Sod	Turf Sod - Play Field Quality To Withstand Heavy Foot Traffic

**1342 W. ADAMS BLVD  
LOS ANGELES, CA 90007**

**NOT FOR CONSTRUCTION**

Troller Mayer Associates, Inc.  
Landscape Architecture Planning Urban Design  
1403 Kenneth Road, Suite #  
Owensboro, California 92304-1411  
Ph: (951) 958-8101 Fax: (951) 958-0120



L.V. Architects Inc.  
2332 Cotner Ave., Suite 303  
West Los Angeles, CA 90064  
t: 310. 914. 5577; f: 310. 914. 5578

**PRELIMINARY  
LANDSCAPE  
PLAN**

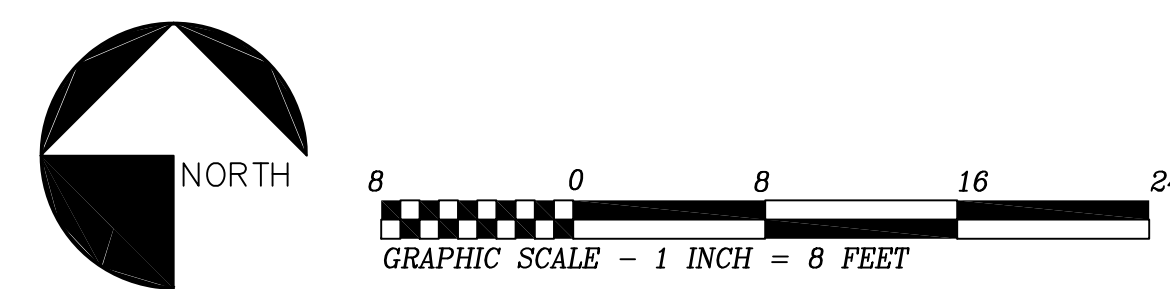
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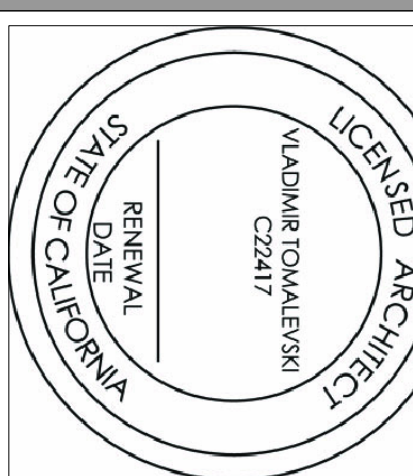
11.07.2012 date

scale

**L1.0**

page





# DUPLEX 1342 W. ADAMS BLVD LOS ANGELES, CA 90007

**NOT FOR CONSTRUCTION**

**L.V. Architect, Inc.**  
 2332 Corner Ave., Suite 303  
 West Los Angeles, CA 90064  
 F: 310.914.5577 | 310.914.5578

TITLE SHEET \_\_\_\_\_ Title  
 06.05.2013 \_\_\_\_\_ Date  
 N.T.S. \_\_\_\_\_ Scale

**T-1.10**  
 page

PROPOSED BUILDING AREA BREAKDOWN	
<b>UNIT A</b>	AREA = 837 SF (BUILDING CODE) 793 SF (ZONING CODE)
3 BEDROOMS	
3 BATHROOM	
<b>UNIT B</b>	AREA = 1019 SF (BUILDING CODE) 972 SF (ZONING CODE)
3 BEDROOMS	
2 BATHROOMS	

LEGAL DESCRIPTION	
ADDRESS: 1342 W. ADAMS BLVD.	
APN	5955008011
LOT	1
LOT SIZE	7,488.2 SQ. FT.
TRACT	ROWLEY TRACT
BLOCK	NONE
ASS	NONE

ZONING INFORMATION	
ZONE	RA-1-L-O
USE	CHURCH

BUILDING INFORMATION	
FLOOR AREA TABULATION	
ACCESSORY BUILDING (E) FLOOR AREA	1,805 SQ. FT.
ACCESSORY BUILDING PROPOSED ADDITION	184 SQ. FT.
BUILDING CODE FLOOR AREA	1,989 SQ. FT.
ZONING CODE FLOOR AREA	1,797 SQ. FT.
BUILDING HEIGHT	APPROX. 25'-2"
NO. OF STORIES	2 STORY

HEIGHT	
EXISTING TO REMAIN	
<b>YARDS</b>	
FRONT YARD SETBACK (existing to remain)	EXISTING TO REMAIN
SIDE YARD SETBACK (existing to remain)	EXISTING TO REMAIN
REAR YARD SETBACK (existing to remain)	EXISTING TO REMAIN
<b>PARKING</b>	
REQUIRED	4 SPACES
PROVIDED	4 SPACES
OCCUPANCY	A / E
EXISTING	
PROPOSED	R-3

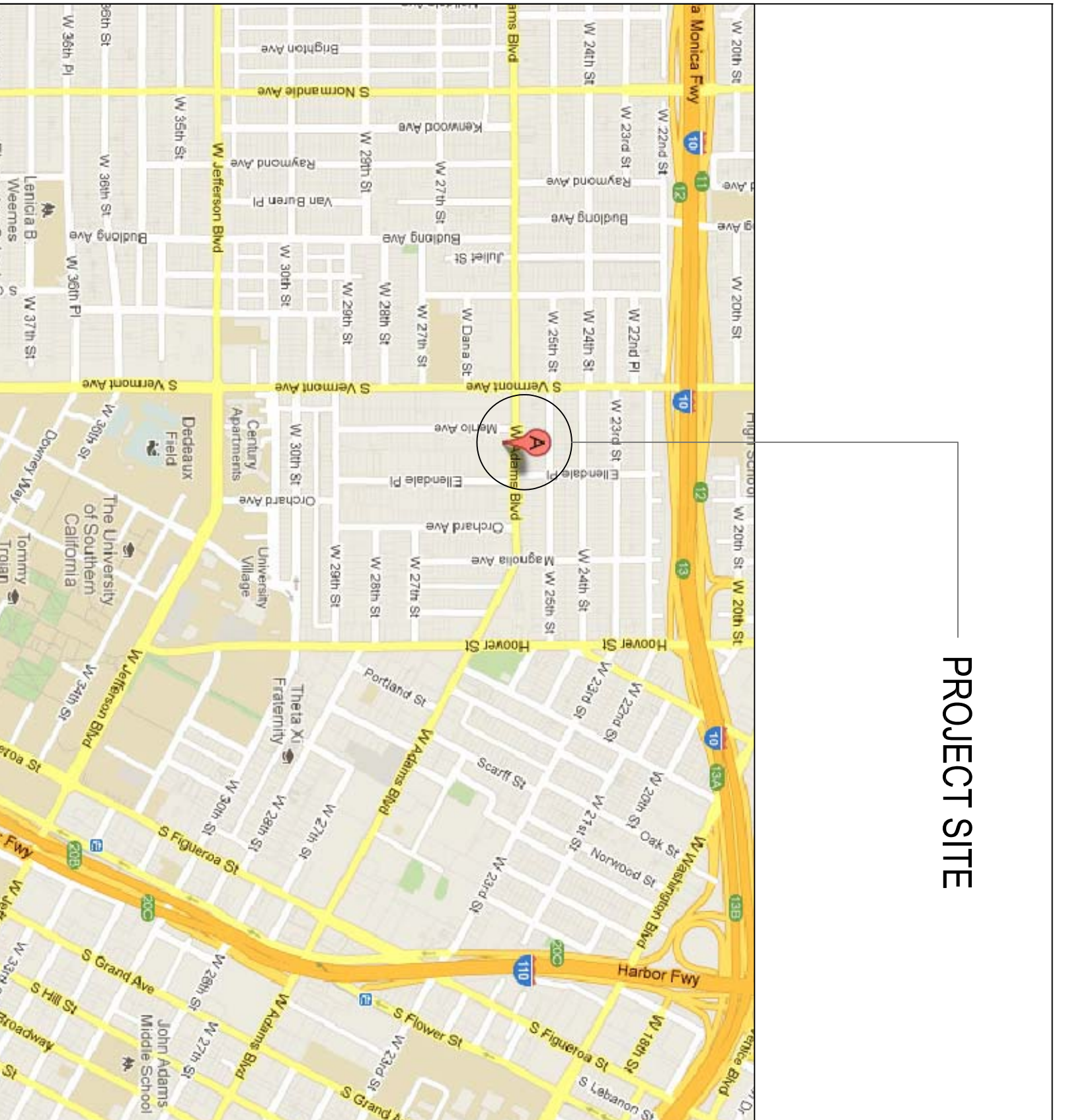
SCOPE OF WORK	
- CHANGE OF USE FROM SUNDAY SCHOOL TO DUPLEX	
- INTERIOR REMODEL TO CREATE TWO NEW RESIDENTIAL UNITS	
- ADDITION OF 184 SQ. FT. AT (E) SECOND STORY	
- REPAIR (E) STUCCO IN PLACE	
- REPAIR ORIGINAL ARCHITECTURAL DETAILS	
- REPLACE EXISTING INTERIOR PARTS PER SPECIFICATIONS	
- REPLACE (E) ROOF COVERING PER SPECIFICATION	
- REPAIR 22 (E) WINDOWS	
- INSTALL 2 (N) WINDOWS AT DOORWAYS	
- INSTALL 5 (N) EXTERIOR DOORS	
- (N) PARKING LOT AND LANDSCAPE - PER SEPARATE PERMIT	

CODE REFERENCES	
BUILDING AND SAFETY	2010 CALIFORNIA RESIDENTIAL CODE - BASED ON THE 2009 INTERNATIONAL RESIDENTIAL CODE
PLANNING AND ZONING	LOS ANGELES - PLANNING AND ZONING MUNICIPAL CODE CHAPTER 11

\* PROVIDE A FULLY AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OF THE CRC OR NFPA13D.  
 \* THE SPRINKLER SYSTEM SHALL BE APPROVED BY THE PLUMBING DIVISION PRIOR TO INSTALLATION.

5

PROJECT INFORMATION | 2



VICINITY MAP | 7

SYMBOLS	6
	SECTION TAG
	DETAIL TAG
	ROOM TAG
	SECTION / ELEVATION TAG
	DETAIL / ENGAGED CLOUD
	MATERIAL CALLOUT FIELD
	DOOR TAG
	WINDOW TAG
	CHANGE OF LEVEL
	EXIT / ENTRANCE

ABBREVIATIONS	4
A.B. - ANCHOR BOLT	M.D.G. - HOLDING
ADJ. - ADJACENT	M.L. - METAL
ADJ. - ADJACENT	(N) - OVER
ADJ. - ADJACENT	O.C. - ON CENTER
ADJ. - ADJACENT	PL. - PLATE
ADJ. - ADJACENT	PL.N. - PLANT
ADJ. - ADJACENT	PL.WD. - PLANT WOOD
ADJ. - ADJACENT	P.S.P. - PER SEPARATE PERMIT
ADJ. - ADJACENT	P.T.D. - PRESSURE TREATED DOUGLAS FIR
ADJ. - ADJACENT	P.U.E. - PUBLIC UTILITY EMBELEMNT
ADJ. - ADJACENT	R. - RADIUS
ADJ. - ADJACENT	RECD. - REQUIRED
ADJ. - ADJACENT	R.N. - RECYCLED NAIL
ADJ. - ADJACENT	R.B. - ROOF RAFTER
ADJ. - ADJACENT	SCHD. - SCHEDULE
ADJ. - ADJACENT	SHTNG. - SHEATHING
ADJ. - ADJACENT	SO. - SQUARE
ADJ. - ADJACENT	STG. - STAGGERED
ADJ. - ADJACENT	STL. - STEEL
ADJ. - ADJACENT	STRUC. - STRUCTURAL
ADJ. - ADJACENT	S.W.S. - SHEAR WALL SCHEDULE
ADJ. - ADJACENT	T&G. - TONGUE AND GROOVE
ADJ. - ADJACENT	THK. - THICK
ADJ. - ADJACENT	T.O. - TOP OF
ADJ. - ADJACENT	T.W. - TOP OF WALL
ADJ. - ADJACENT	T.V. - THROUGH
ADJ. - ADJACENT	U.F. - UNDER
ADJ. - ADJACENT	VER. - VERTICAL
ADJ. - ADJACENT	WD. - WITH
ADJ. - ADJACENT	WM. - WATER METER

OWNER
1342 W. ADAMS HOLDING LLC. 8350 WEST SHARARA AVE. # 210 LAS VEGAS, NV 89117 E: (823) 731-1034
ARCHITECT
L.V. ARCHITECTS INC. 2332 Corner Avenue, Suite 303 West Los Angeles, CA 90064 E: (310) 914-5577 F: (310) 914-5578 WWW.LVARCH.COM
STRUCTURAL ENGINEER
LEE & LEE STRUCTURAL ENGINEERING, INC. 3550 WILSHIRE BLVD #480 Los Angeles, CA 90010 E: (213) 388-0034

ARCHITECTURAL SET:
T-1.10 TITLE SHEET
G-1.10 GENERAL NOTES / SPECIFICATIONS
G-2.10 TITLE 24
G-2.20 TITLE 24
A-1.10 FLOOR PLANS
A-2.10 ELEVATIONS
A-3.10 REFLECTED CEILING PLANS
A-4.10 SCHEDULES
A-5.10 ARCHITECTURAL DETAILS
AD-1.10 ARCHITECTURAL DETAILS
LANDSCAPING:
L-1.0 PRELIMINARY LANDSCAPING PLAN
STRUCTURAL:
S-1 STRUCTURAL TITLE SHEET / DETAILS
S-2 FOUNDATION, SECOND FLOOR FRAMING AND ROOF FRAMING PLANS
S-3 STRUCTURAL DETAILS

SYMBOLS | 6

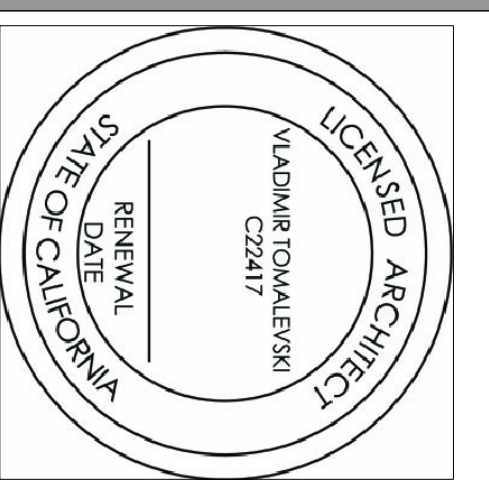
ABBREVIATIONS | 4

PROJECT TEAM | 3

SHEET INDEX | 1

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# DUPLEX

## 1342 W. ADAMS BLVD

### LOS ANGELES, CA 90007

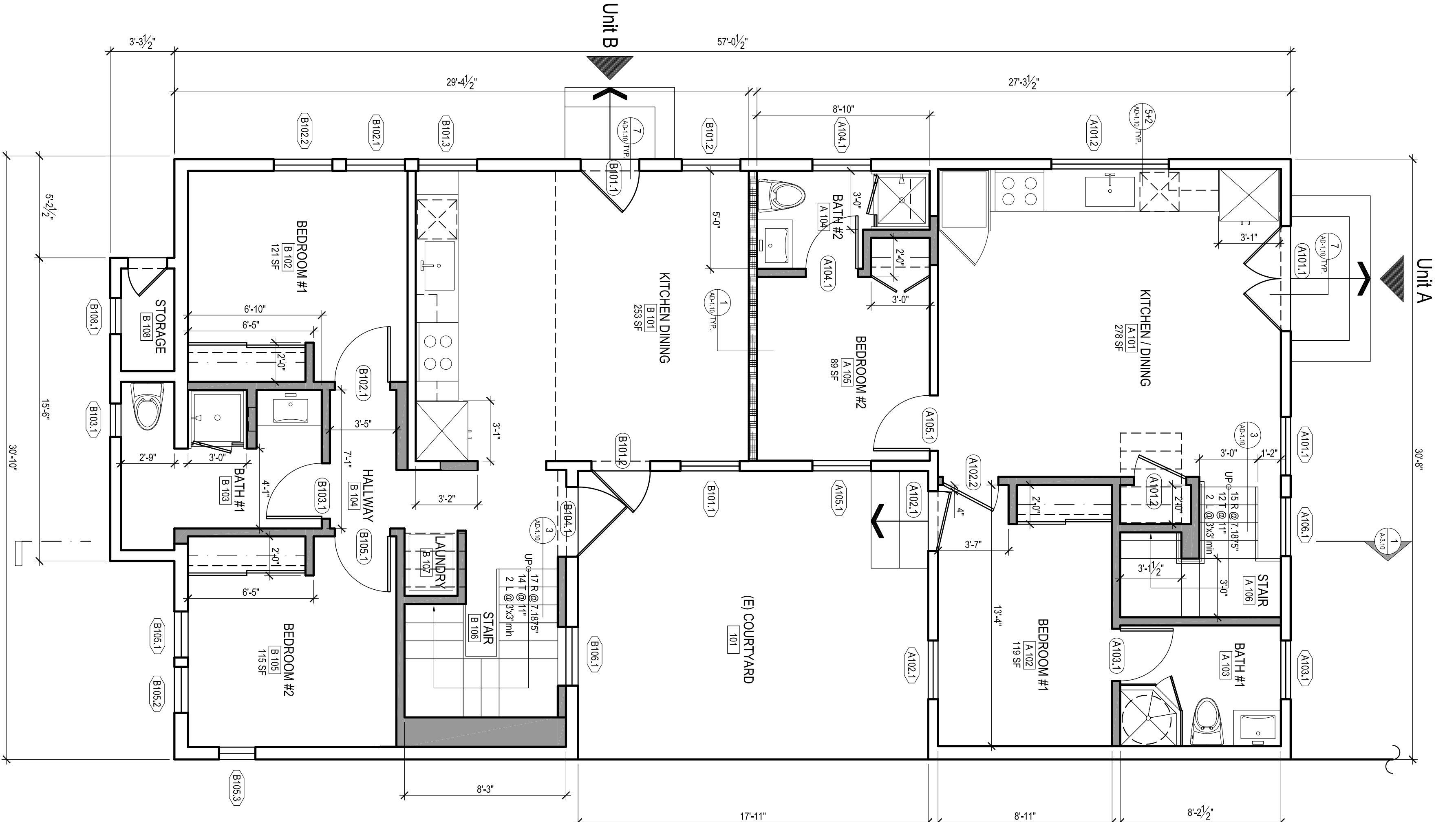
NOT FOR CONSTRUCTION

**L.V. Architects Inc.**  
 2333 Corner Ave., Suite 303  
 West Los Angeles, CA 90024  
 F: 310.714.5577 | 310.714.5578

ACCESSORY BUILDING  
 FLOOR PLANS  
 06.05.2013

Scale: 1/2" = 1'-0"

page



**LEGEND SCALE: N.T.S.**

	EXISTING WOOD FRAMED WALL
	DEMO WALL
	NEW WOOD FRAMED WALL
	EXISTING CMU/CMU WALL
	NEW CMU/CMU WALL
	DOWNSPOUT
	MECHANICAL VENTILATION
	CHARGE OF PROVIDING CO/CM CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	KEY NOTE
	FRENCH DRAIN
	ROOM TAG
	DOOR TAG
	WINDOW TAG
	LEVEL CHANGE
	ENLARGED FRAMING CALLOUT
	DIMENSION FACE OF STUD TO FACE OF STUD
	DIMENSION FACE OF STUD TO DIMENSION
	DIMENSION FACE OF STUD TO CENTERLINE OF OPENING

**FLOOR AREA CALCULATIONS SCALE: N.T.S.**

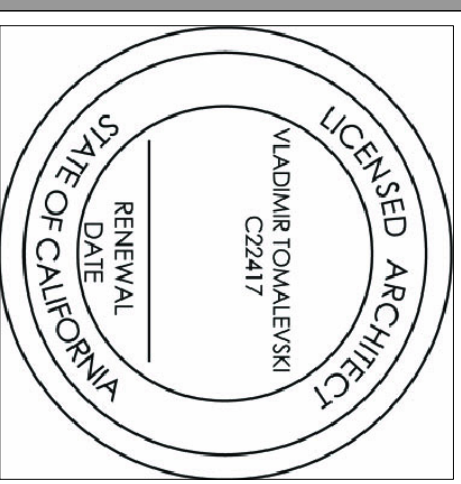
<b>UNIT A:</b>	<b>654 SF</b>
- FIRST FLOOR:	183 SF
- SECOND FLOOR:	837 SF (BUILDING CODE)
<b>TOTAL FLOOR AREA:</b>	<b>793 SF (ZONING CODE)</b>

**KEY NOTES SCALE: N.T.S.**

<b>NOTES SCALE: N.T.S.</b>	<b>4</b>
<b>NOTES SCALE: N.T.S.</b>	<b>5</b>
<b>KEY NOTES SCALE: N.T.S.</b>	<b>6</b>

- KEY NOTES SCALE: N.T.S.**
68. 100 SQ. IN. MIN. OPENINGS 18" IN. 12" MIN. HORIZ. & VERT. FOR THE ENCLOSURE FOR CONDENSATE. DOCS SERVING THE COMPONENT SHALL BE AT LEAST 24" WIDE.
  69. 1/2" MIN. CLEARANCE TO THE TOP OF THE UNIT SHALL BE MAINTAINED AT ALL TIMES.
  70. HALLWAY OR OTHER TRAFFIC ACCESSIBLE SPACES.
  71. 12"x12" ACCESS PANEL TO BATH #1 (UB) UNLESS PLUMBING IS WITHOUT SLP (SLIP) PC.
  72. Opening into floor, attic, or other enclosed areas shall not exceed 144 sq. inches and shall be covered by a cover not less than 1/2" thick.
  73. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  74. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  75. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  76. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  77. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  78. Showwood treatment for min. 20 gallons per minute.
  79. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  80. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  81. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  82. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  83. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  84. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  85. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  86. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
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  98. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  99. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.
  100. 2x4 FLOOR FRAMING: Use 11 D. Or (Equivalent) for protection (190) at once.

1. GAS METERS - Install approved meter per state and values on the floor plan line on the down stream side of the utility meter and be rigidly connected to the gas line.
2. ELECTRIC METERS -
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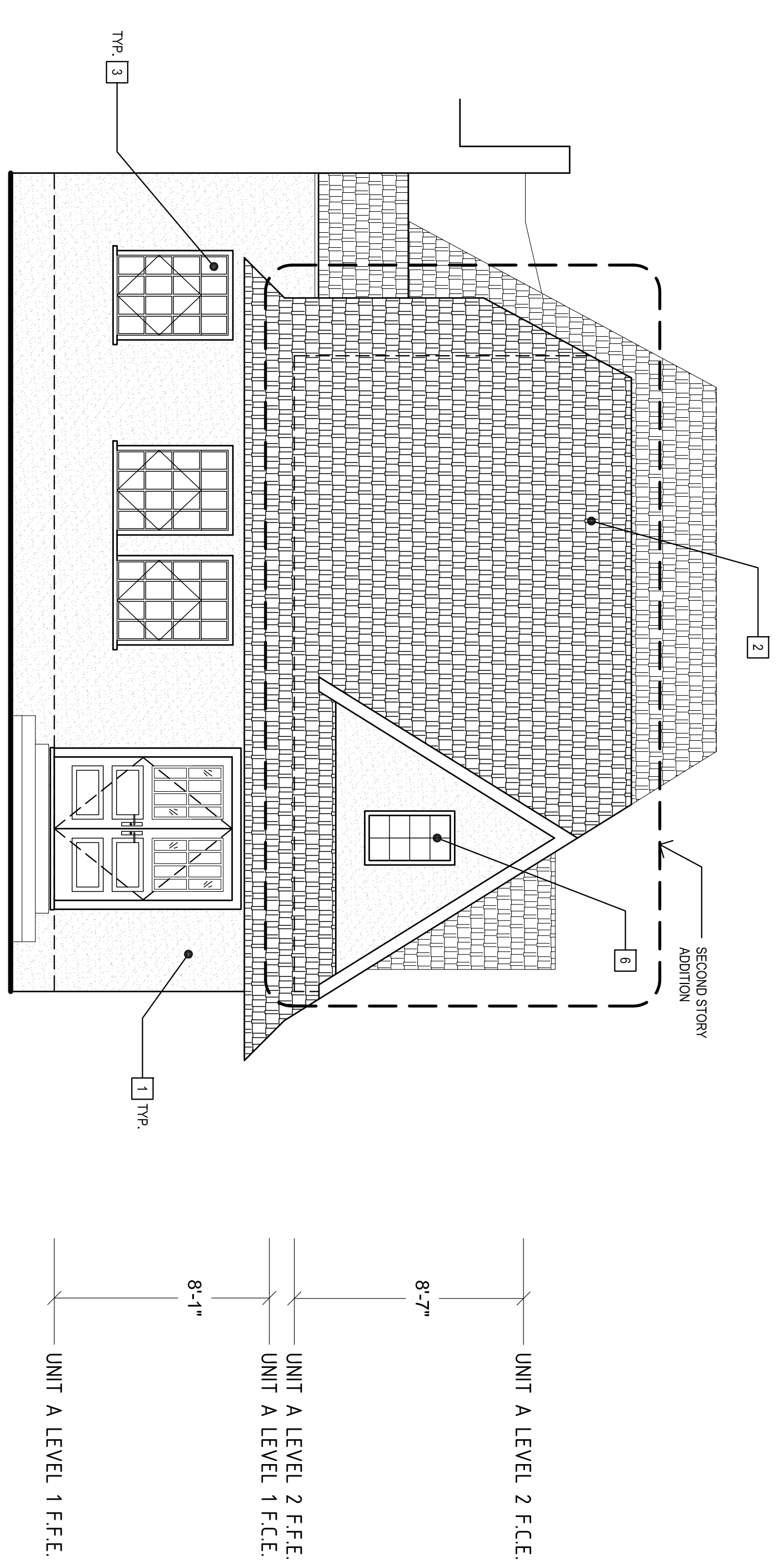
**DUPLEX**  
**1342 W. ADAMS BLVD**  
**LOS ANGELES, CA 90007**

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 West Los Angeles, CA 90064  
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ACCESSORY BUILDING  
 ELEVATIONS  
 title  
 06.05.2013  
 date  
 1/2" = 1'-0"  
 scale  
**A - 2.10**  
 page

6

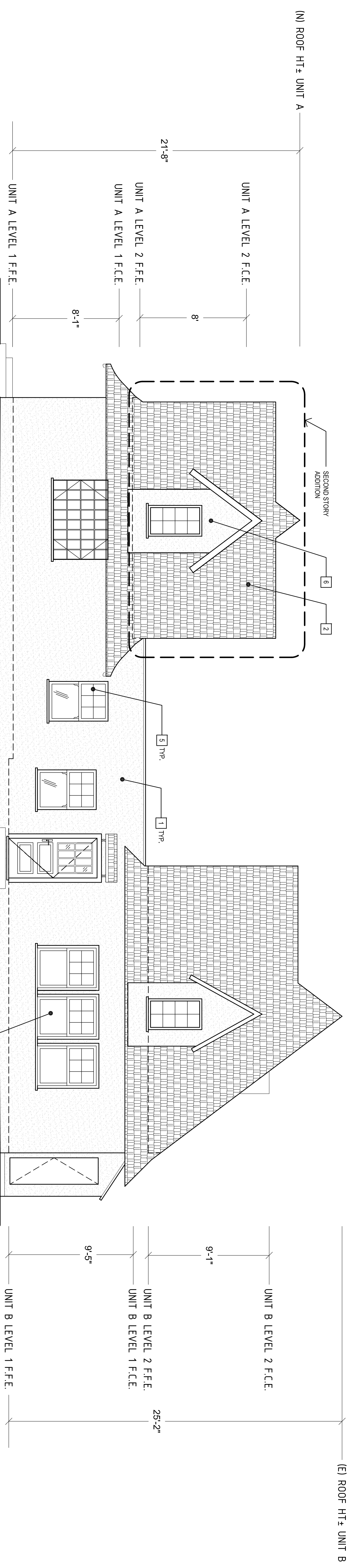
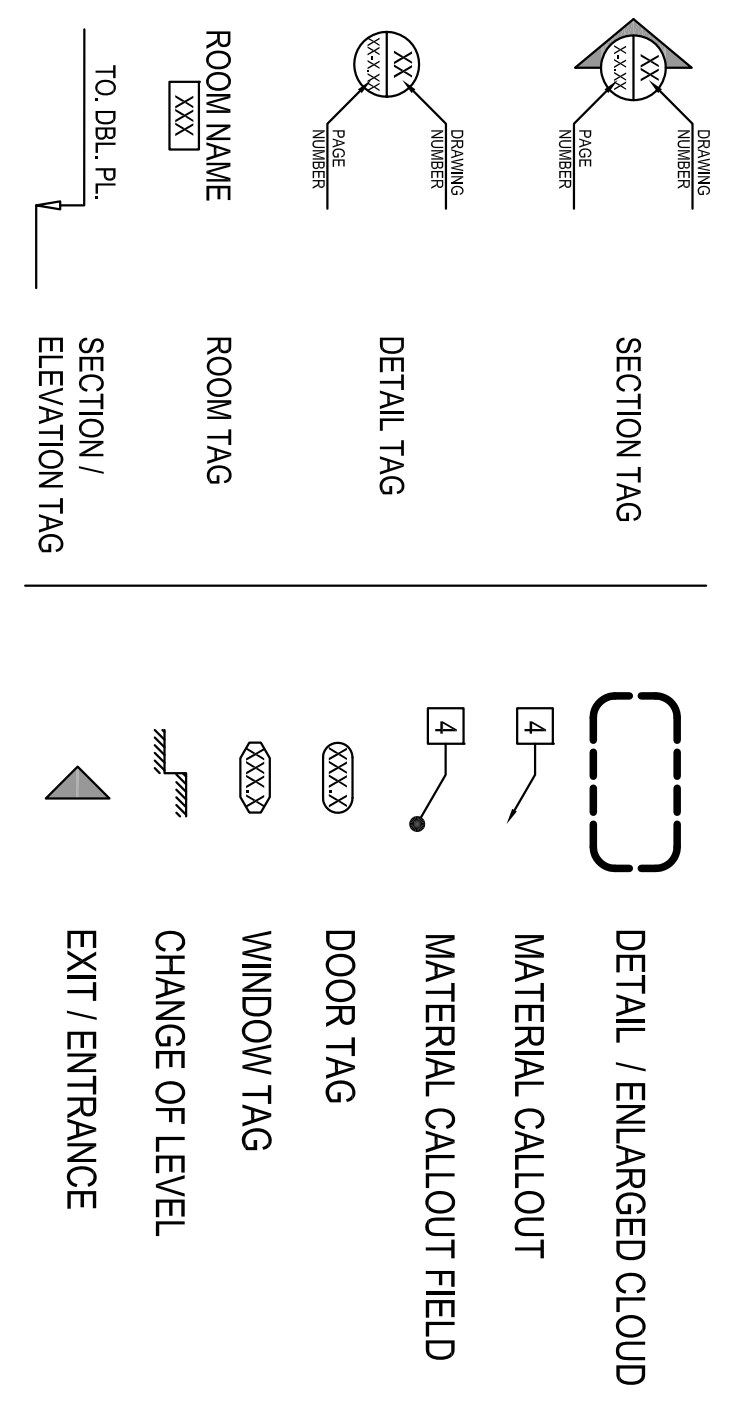


5

NORTH ELEVATION SCALE: 1/2" = 1'-0"

- (E) STUCCO TO REMAIN - REPAIR IN PLACE - PAINT
- REPLACE (E) ROOF COVERING - PROVIDE (N) COMP SHINGLE ROOF COVERING - (MIN. OF CLASS 'C' RATINGS) - "MALIBU" HIGH PROFILE LAMINATE SHINGLES - MINDIGHT BLACK
- (E) WINDOW TO REMAIN - REPAIR AS REQUIRED - USE BONDIC TO FILL ANY DAMAGED AREAS - REPLACE SASH WITH LIKE MATERIALS AND PROFILE IF REQUIRED - PAINT - SHERWIN WILLIAMS HISTORIC COLLECTION - "ROTOROFF" YELLOW - SW2833
- (E) WOOD TRIM / ARCHITECTURAL FEATURE - REPAIR AS NECESSARY - USE BONDIC TO FILL ANY DAMAGED AREAS - PAINT - ROYGROFT YELLOW - SW2833
- SHERWIN WILLIAMS HISTORIC COLLECTION - "ROTOROFF" YELLOW - SW2833
- (E) WINDOW TO REMAIN - REPLACE (E) UPPER SASH WITH (N) DIVIDED LIGHT SASH PER DETAIL (#5 AD-1-10) - REPAIR OTHER PARTS OF WINDOW AS REQUIRED (SEE #3 ABOVE)
- (N) DORMER

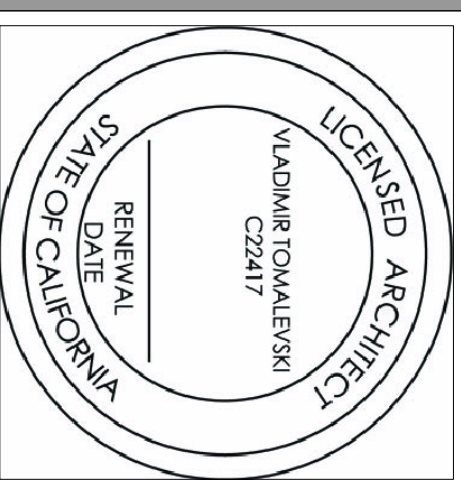
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SYMBOLS LEGEND SCALE: 1/2" = 1'-0"

3

WEST ELEVATION SCALE: 1/2" = 1'-0"



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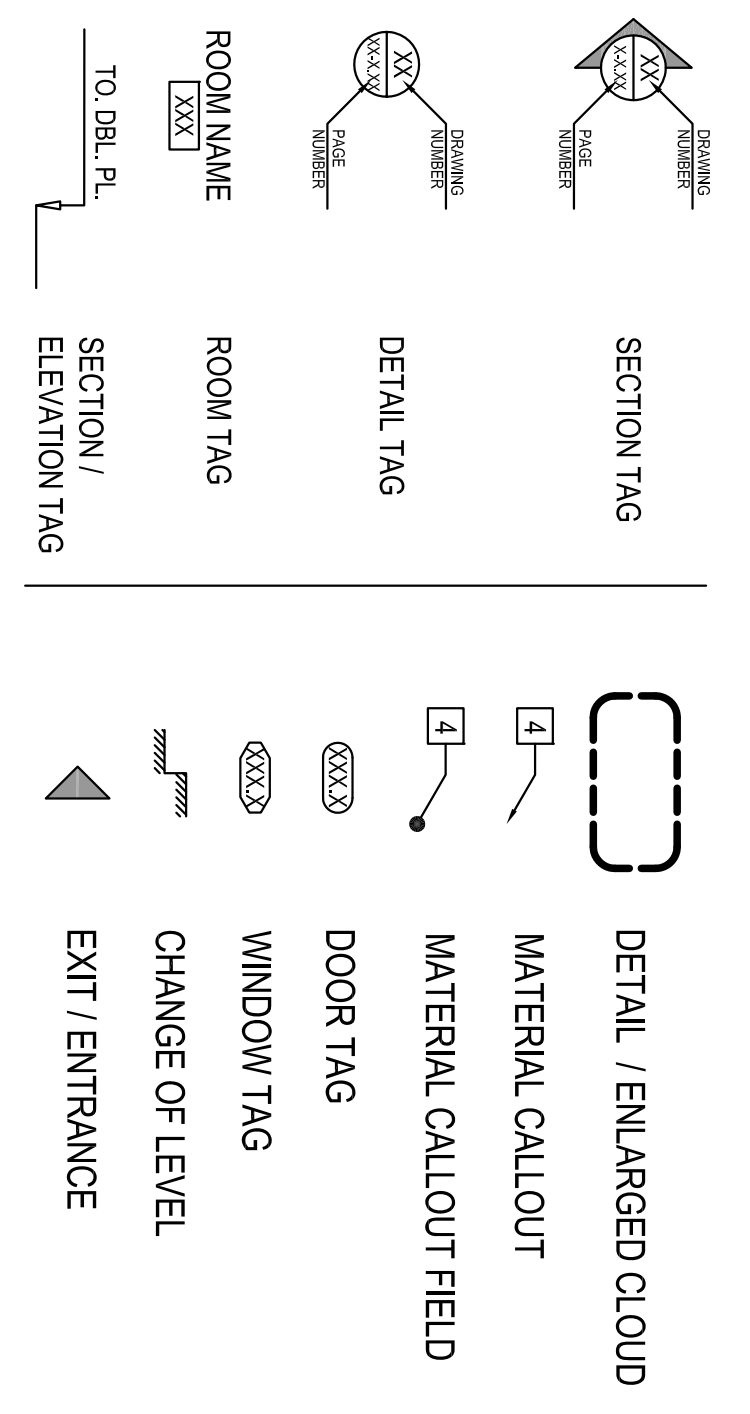
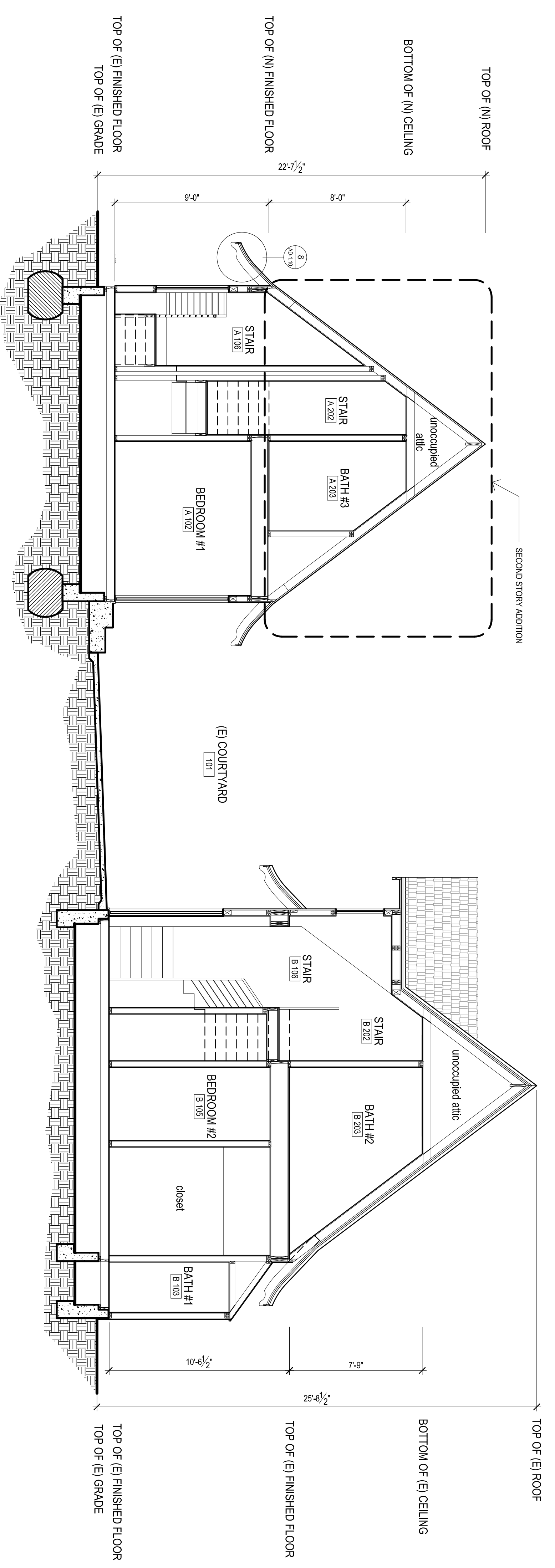
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ACCESSORY BUILDING  
 SECTIONS

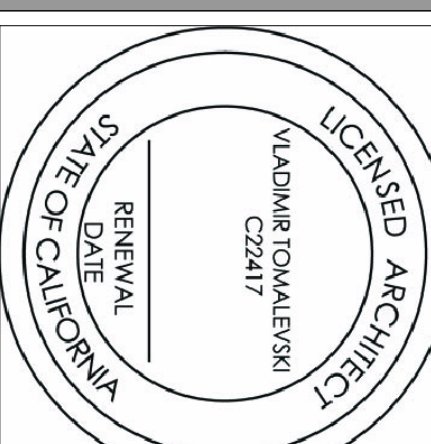
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**A - 3.10**  
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SYMBOLS LEGEND SCALE: N.T.S.

CROSS SECTION SCALE: 1/2" = 1'-0"



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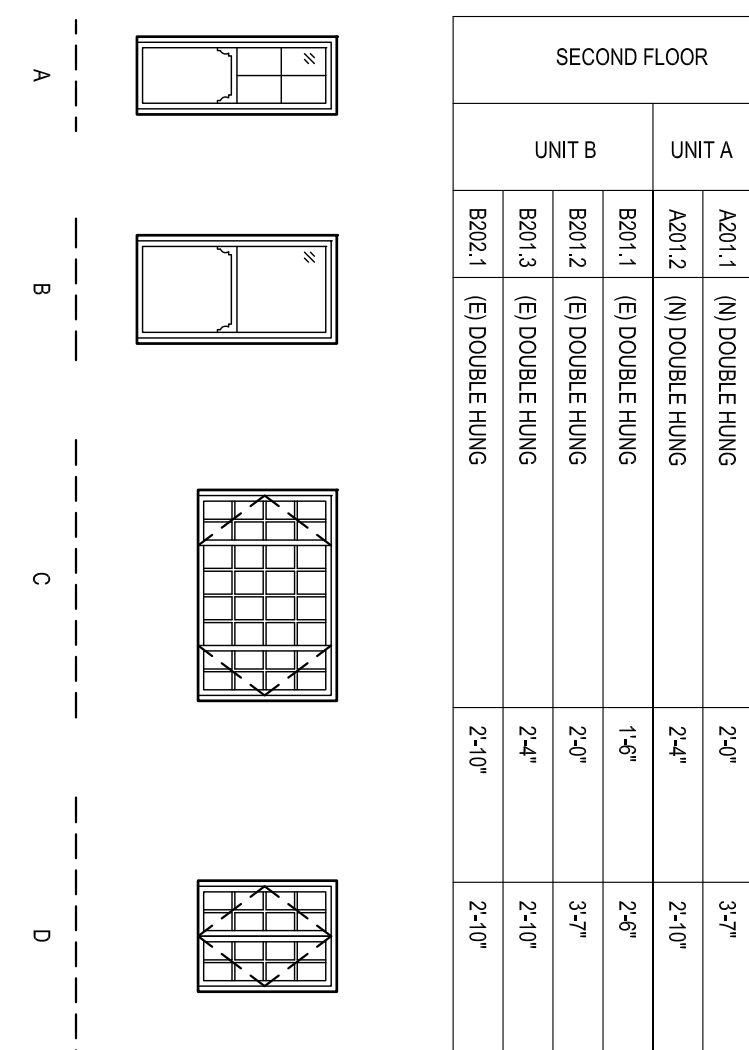
SCHEDULES \_\_\_\_\_ title

06.05.2013 \_\_\_\_\_ date

1/2" = 1'-0" \_\_\_\_\_ scale

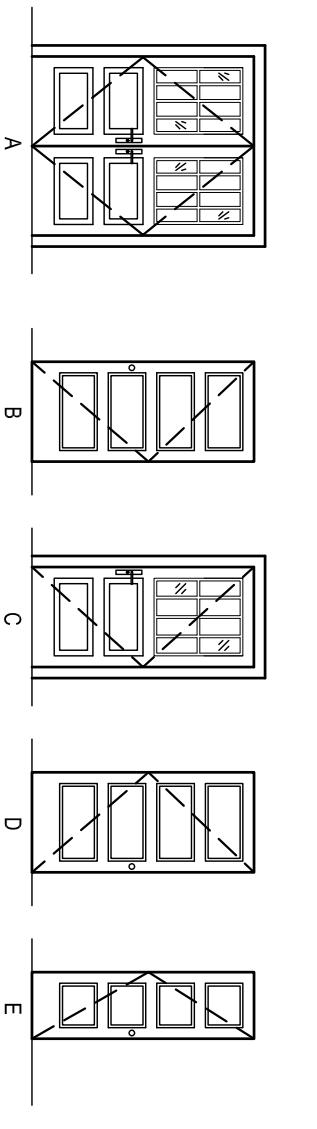
**A - 6.10** \_\_\_\_\_ page

FLOOR	UNIT	DESCRIPTION	ROUGH OPENING SIZE			REMARKS	EGRESS WINDOW	
			W	H	DEPTH			
FIRST FLOOR	UNIT A	A011	6'-0"	4'-0"	B		NO	
		A012	6'-0"	4'-0"	C		NO	
		A013	5'-0"	4'-0"	D		YES	
	UNIT B	B011	3'-0"	4'-0"	B	REMOVE EL UPPER SASH IN EXISTING LIFT SASH	NO	
		B012	3'-0"	4'-0"	D		NO	
		B013	3'-0"	4'-0"	D		NO	
	SECOND FLOOR	UNIT A	A011	2'-0"	3'-0"	A	TOSHUBI	NO
			A012	2'-0"	2'-0"	A	TOSHUBI	YES
			A013	1'-6"	2'-6"	A	TOSHUBI	NO
		UNIT B	B011	2'-0"	2'-0"	A	TOSHUBI	NO
			B012	2'-0"	2'-0"	A	TOSHUBI	NO
			B013	2'-0"	2'-0"	A	TOSHUBI	NO



**WINDOW SCHEDULE** 6

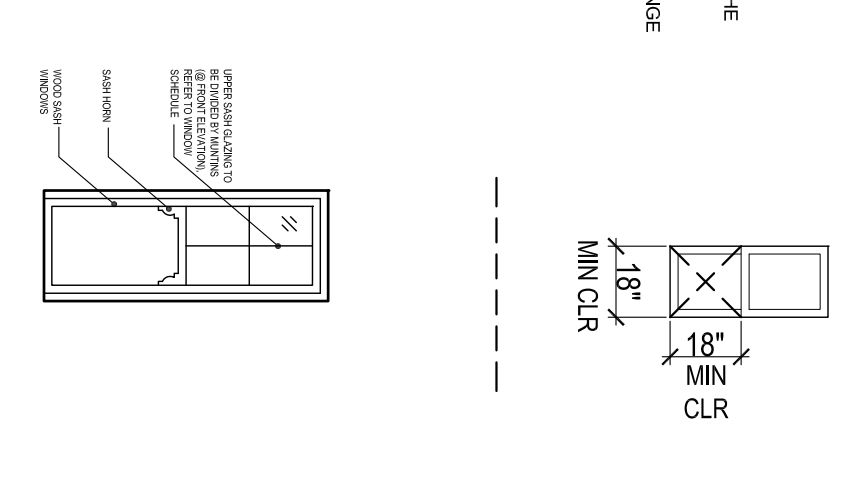
FLOOR	DESCRIPTION	DOOR LEAF SIZE			REMARKS	
		W	H	DEPTH		
FIRST FLOOR	A101	5'-0"	6'-0"	1'-0"	A	EXISTING DOOR, SPLIT FRAME, WOODEN TRIMMS
	A102	2'-0"	6'-0"	1'-0"	B	
	A103	2'-0"	6'-0"	1'-0"	C	
	A104	2'-0"	6'-0"	1'-0"	D	
	A105	2'-0"	6'-0"	1'-0"	B	
	A106	2'-0"	6'-0"	1'-0"	B	
	A107	2'-0"	6'-0"	1'-0"	B	
	A108	2'-0"	6'-0"	1'-0"	C	EXISTING DOOR, SPLIT FRAME, WOODEN TRIMMS
	A109	2'-0"	6'-0"	1'-0"	B	
	A110	2'-0"	6'-0"	1'-0"	D	
	A111	2'-0"	6'-0"	1'-0"	D	
	A112	2'-0"	6'-0"	1'-0"	D	
SECOND FLOOR	B101	2'-0"	6'-0"	1'-0"	B	EXISTING DOOR
	B102	2'-0"	6'-0"	1'-0"	D	
	B103	2'-0"	6'-0"	1'-0"	D	



**DOOR SCHEDULE** 5

FLOOR	UNIT	NO.	ROOM	FLOOR MATERIAL	BASE	WALLS	CEILING	HEIGHT	REMARKS	
FIRST FLOOR	UNIT A	A01	KITCHEN DINING	EL CONCRETE	NA	NA	NA	NA		
		A02	BEDROOM #1	LAMINATE WOOD	4" WOOD	GYPS BOARD	/ FINISH COFFER	EXISTING	REMOVE EXISTING DOOR, RELOCATE TO NEW POSITION, 10'-0" X 6'-0" (SEE PLAN)	
		A03	BATHROOM #1	LAMINATE WOOD	4" WOOD	/ FINISH COFFER	/ FINISH COFFER	EXISTING	REMOVE EXISTING DOOR, RELOCATE TO NEW POSITION, 6'-0" X 6'-0" (SEE PLAN)	
	UNIT B	B01	HALLWAY	LAMINATE WOOD	4" WOOD	GYPS BOARD	/ FINISH COFFER	EXISTING	REMOVE EXISTING DOOR, RELOCATE TO NEW POSITION, 6'-0" X 6'-0" (SEE PLAN)	
		B02	BEDROOM #2	LAMINATE WOOD	4" WOOD	GYPS BOARD	/ FINISH COFFER	EXISTING	REMOVE EXISTING DOOR, RELOCATE TO NEW POSITION, 10'-0" X 6'-0" (SEE PLAN)	
		B03	BATHROOM #2	LAMINATE WOOD	4" WOOD	GYPS BOARD	/ FINISH COFFER	EXISTING	REMOVE EXISTING DOOR, RELOCATE TO NEW POSITION, 6'-0" X 6'-0" (SEE PLAN)	
	SECOND FLOOR	UNIT A	A01	STAIR	LAMINATE WOOD	4" WOOD	GYPS BOARD	/ FINISH COFFER	EXISTING	REMOVE EXISTING DOOR, RELOCATE TO NEW POSITION, 6'-0" X 6'-0" (SEE PLAN)
			A02	BATHROOM #3	LAMINATE WOOD	4" WOOD	GYPS BOARD	/ FINISH COFFER	EXISTING	REMOVE EXISTING DOOR, RELOCATE TO NEW POSITION, 6'-0" X 6'-0" (SEE PLAN)
			A03	BATHROOM #4	LAMINATE WOOD	4" WOOD	GYPS BOARD	/ FINISH COFFER	EXISTING	REMOVE EXISTING DOOR, RELOCATE TO NEW POSITION, 6'-0" X 6'-0" (SEE PLAN)
		UNIT B	B01	STAIR	LAMINATE WOOD	4" WOOD	GYPS BOARD	/ FINISH COFFER	EXISTING	REMOVE EXISTING DOOR, RELOCATE TO NEW POSITION, 6'-0" X 6'-0" (SEE PLAN)
			B02	BEDROOM #5	LAMINATE WOOD	4" WOOD	GYPS BOARD	/ FINISH COFFER	EXISTING	REMOVE EXISTING DOOR, RELOCATE TO NEW POSITION, 10'-0" X 6'-0" (SEE PLAN)
			B03	BATHROOM #5	LAMINATE WOOD	4" WOOD	GYPS BOARD	/ FINISH COFFER	EXISTING	REMOVE EXISTING DOOR, RELOCATE TO NEW POSITION, 6'-0" X 6'-0" (SEE PLAN)

**FINISH SCHEDULE** 4



**WINDOW NOTES** 1

**DOOR NOTES** 2

**WINDOW NOTES** 3

**WINDOW NOTES** 4

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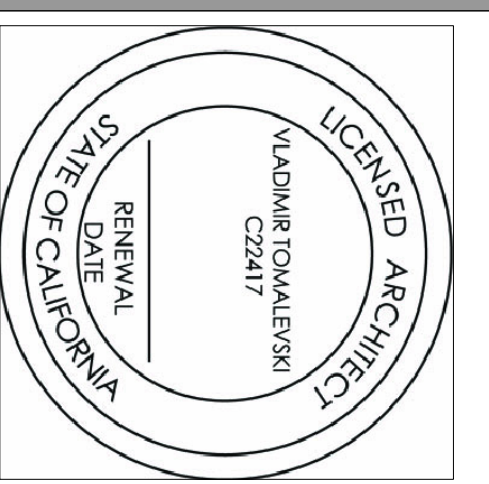
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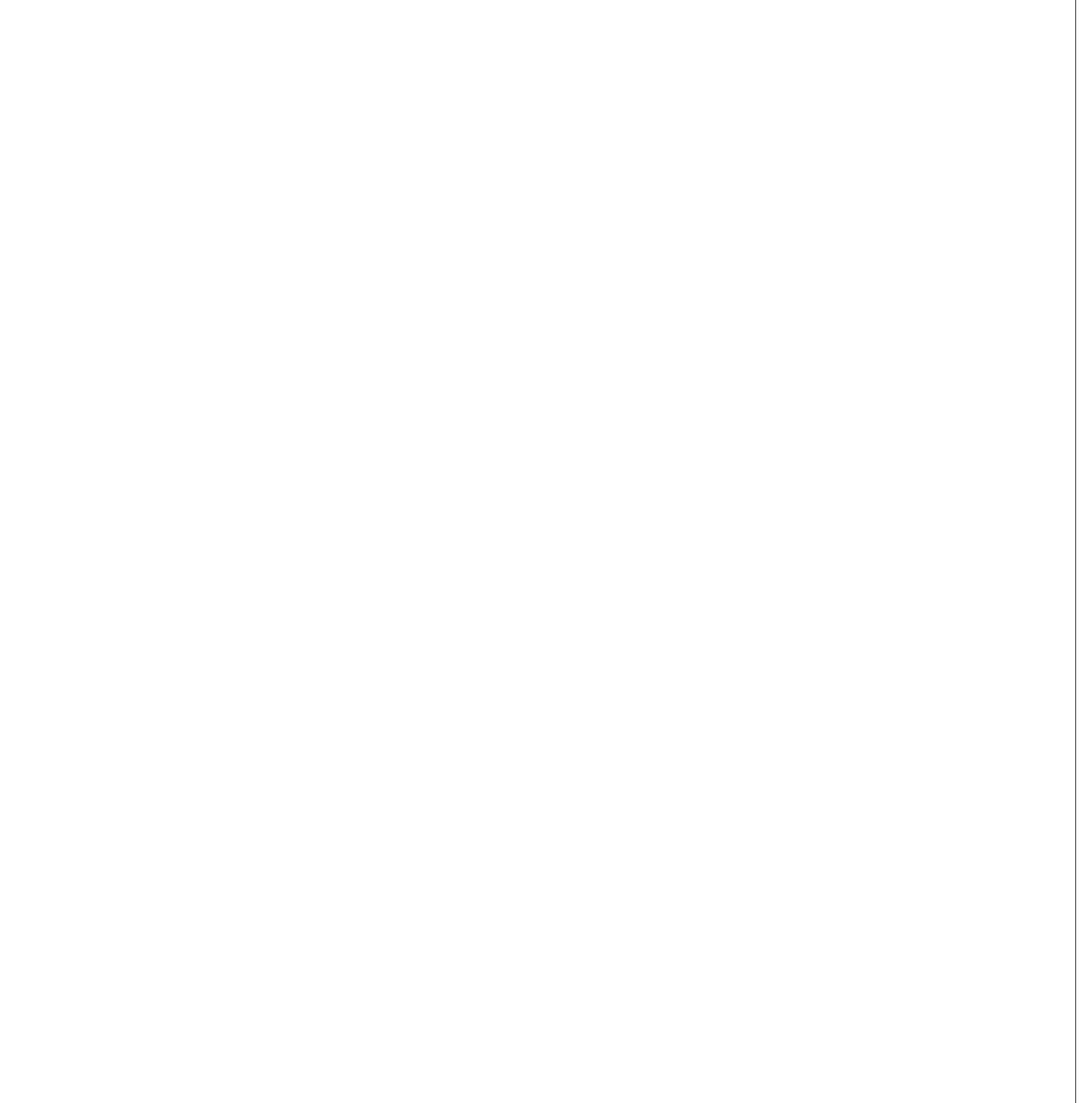


**DUPLEX**  
**1342 W. ADAMS BLVD**  
**LOS ANGELES, CA 90007**

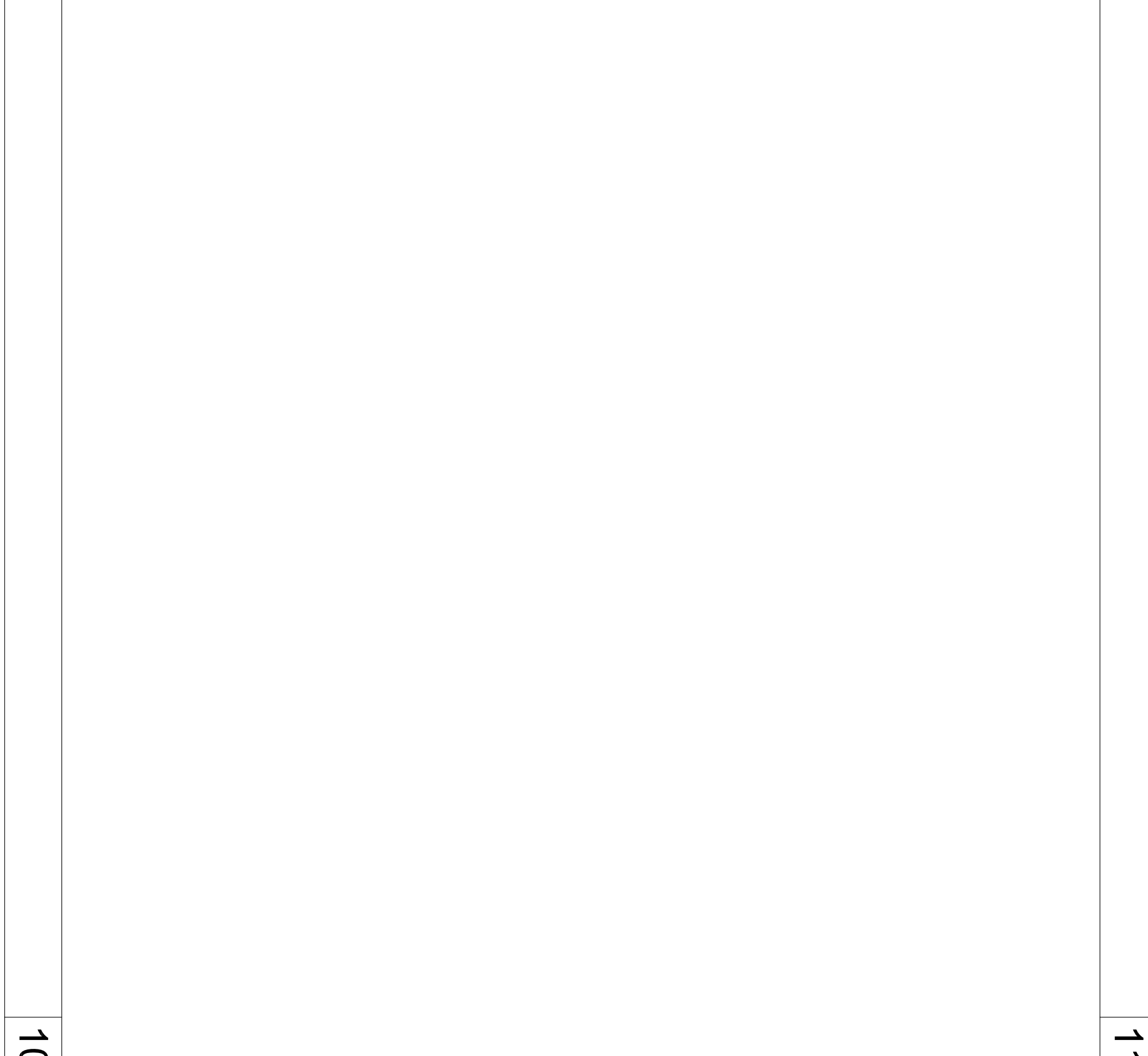
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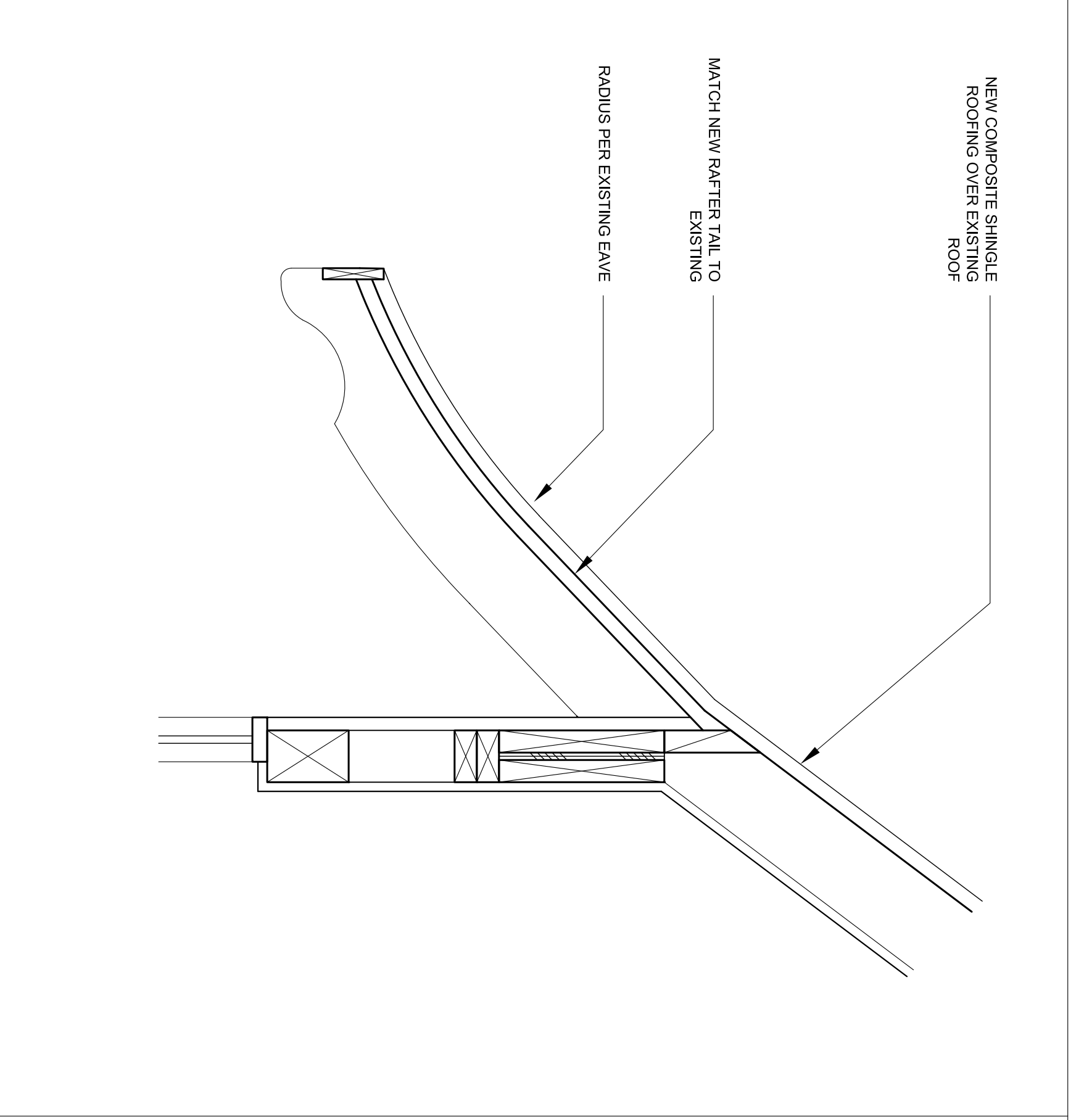
ARCHITECTURAL DETAILS title  
 06.05.2013 date  
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**AD - 1.10** page



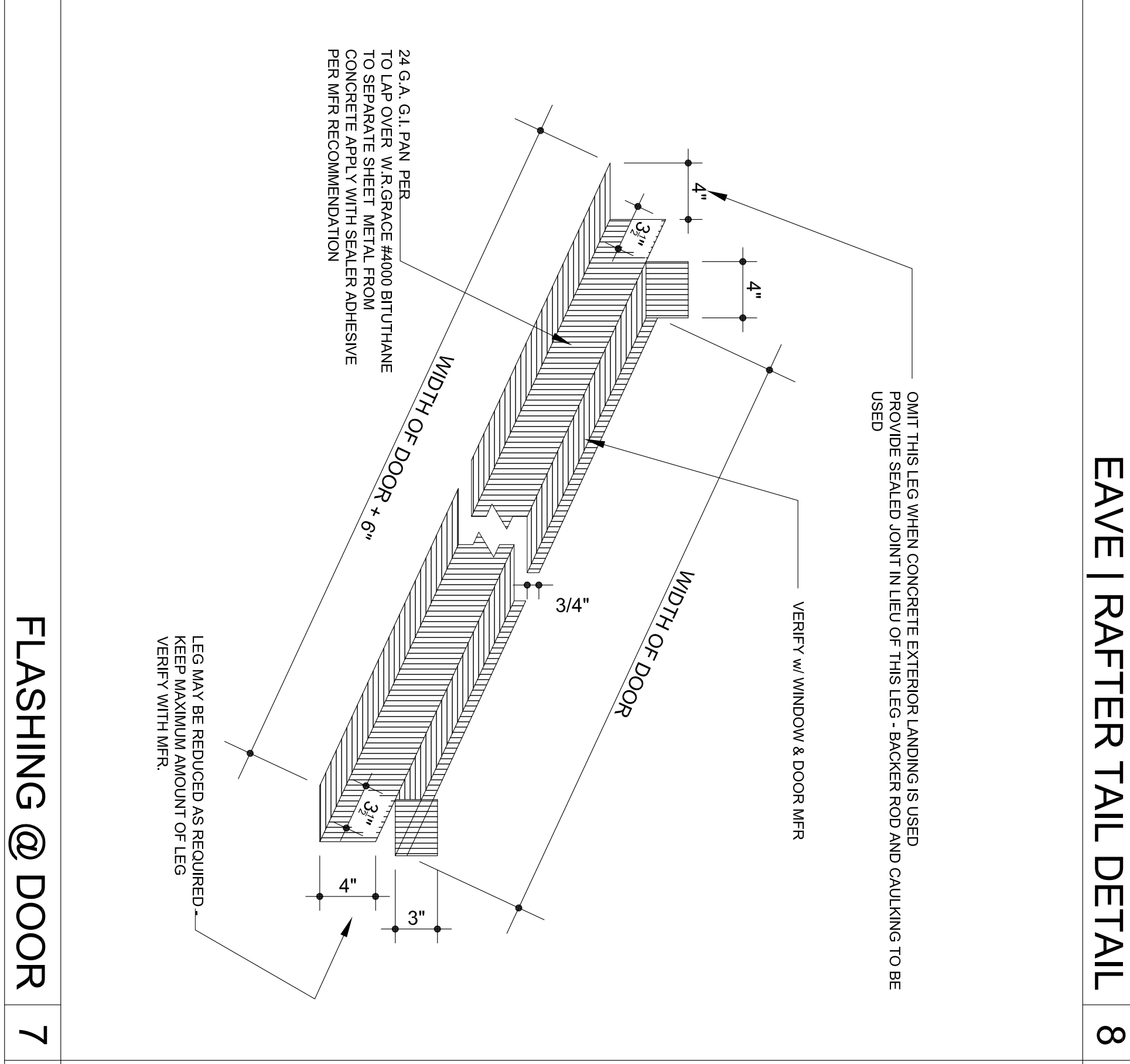
11 EAVE | RAFTER TAIL DETAIL 8



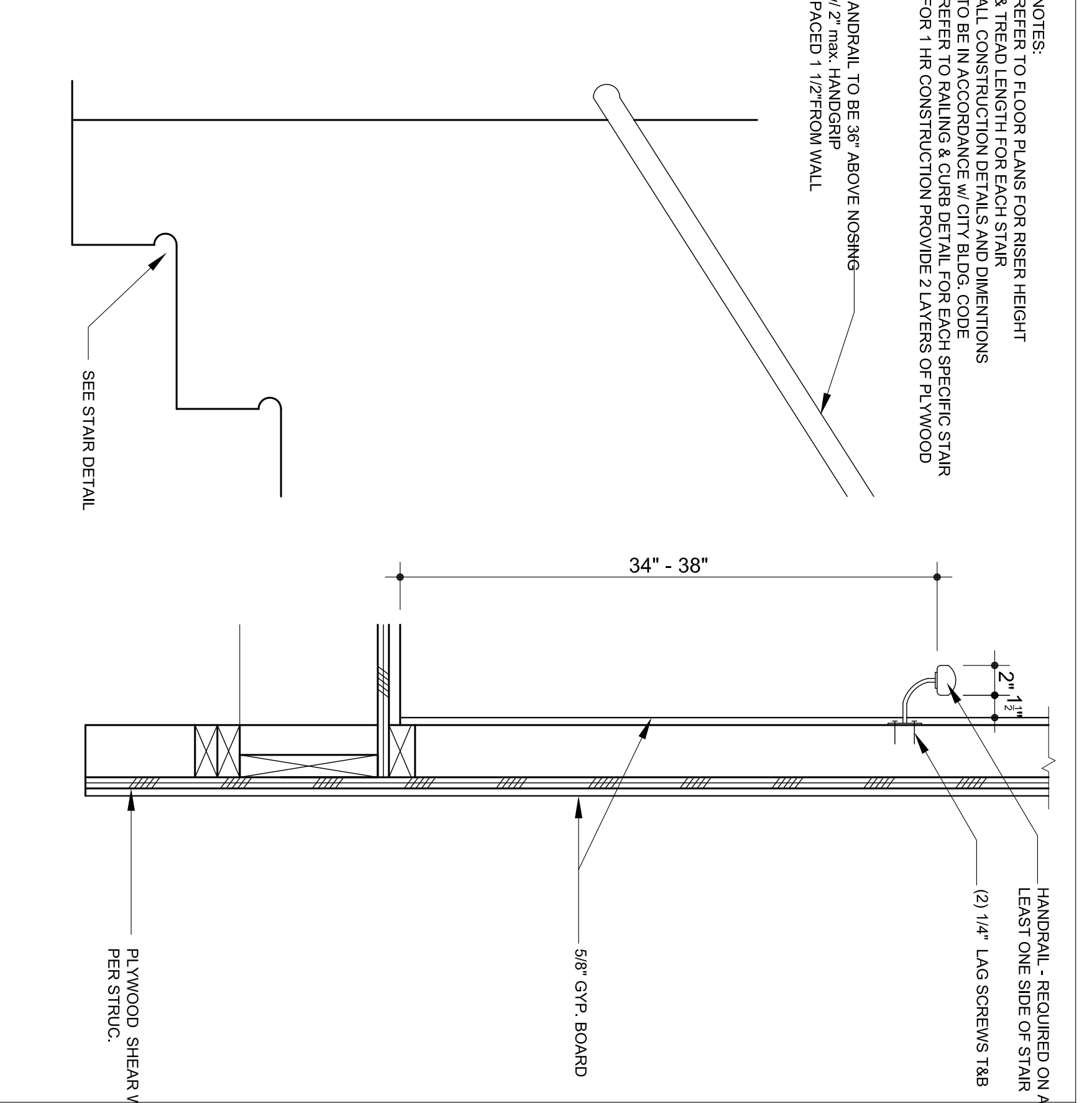
10 FLASHING @ DOOR 7



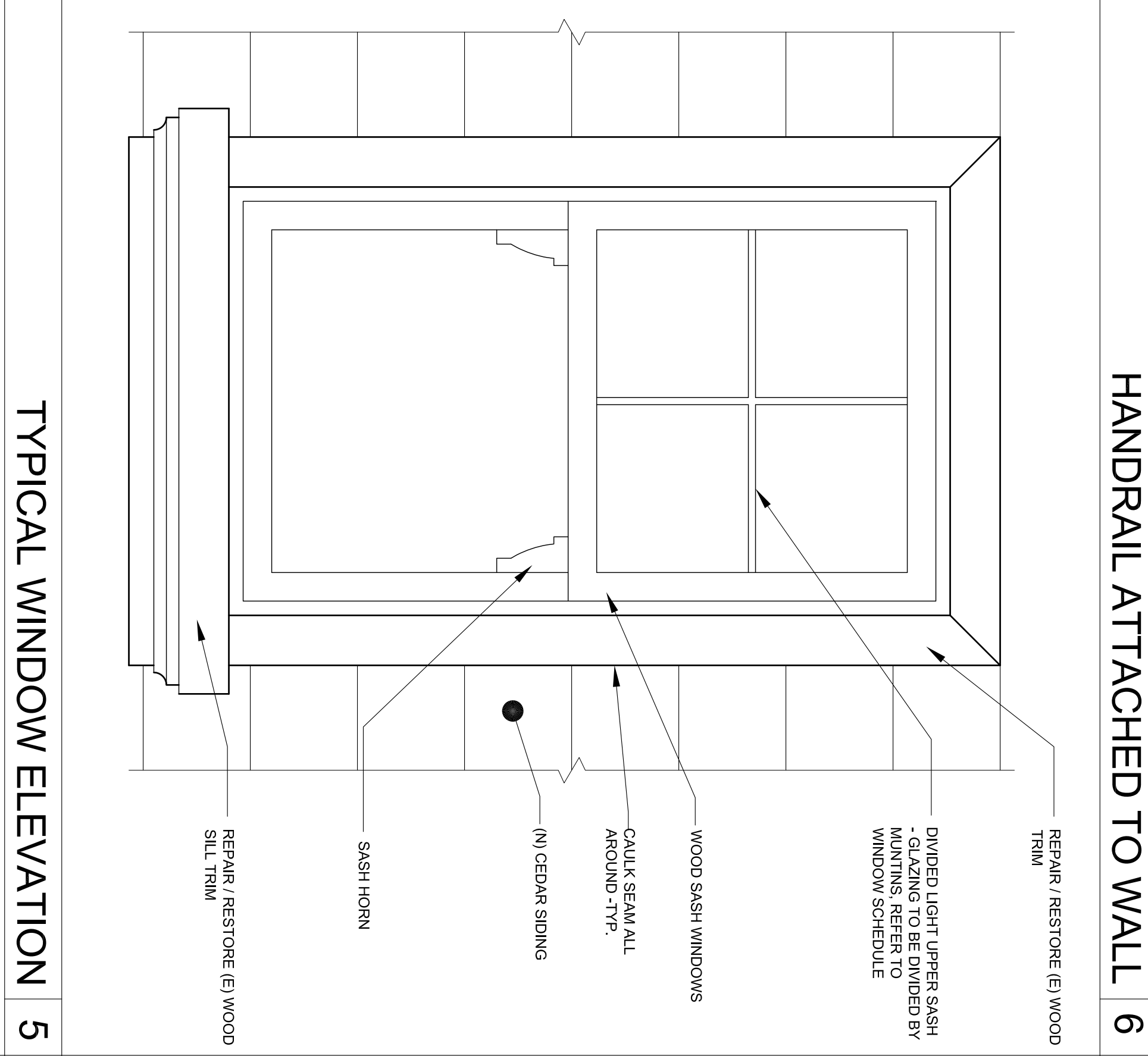
8 HANDRAIL ATTACHED TO WALL 6



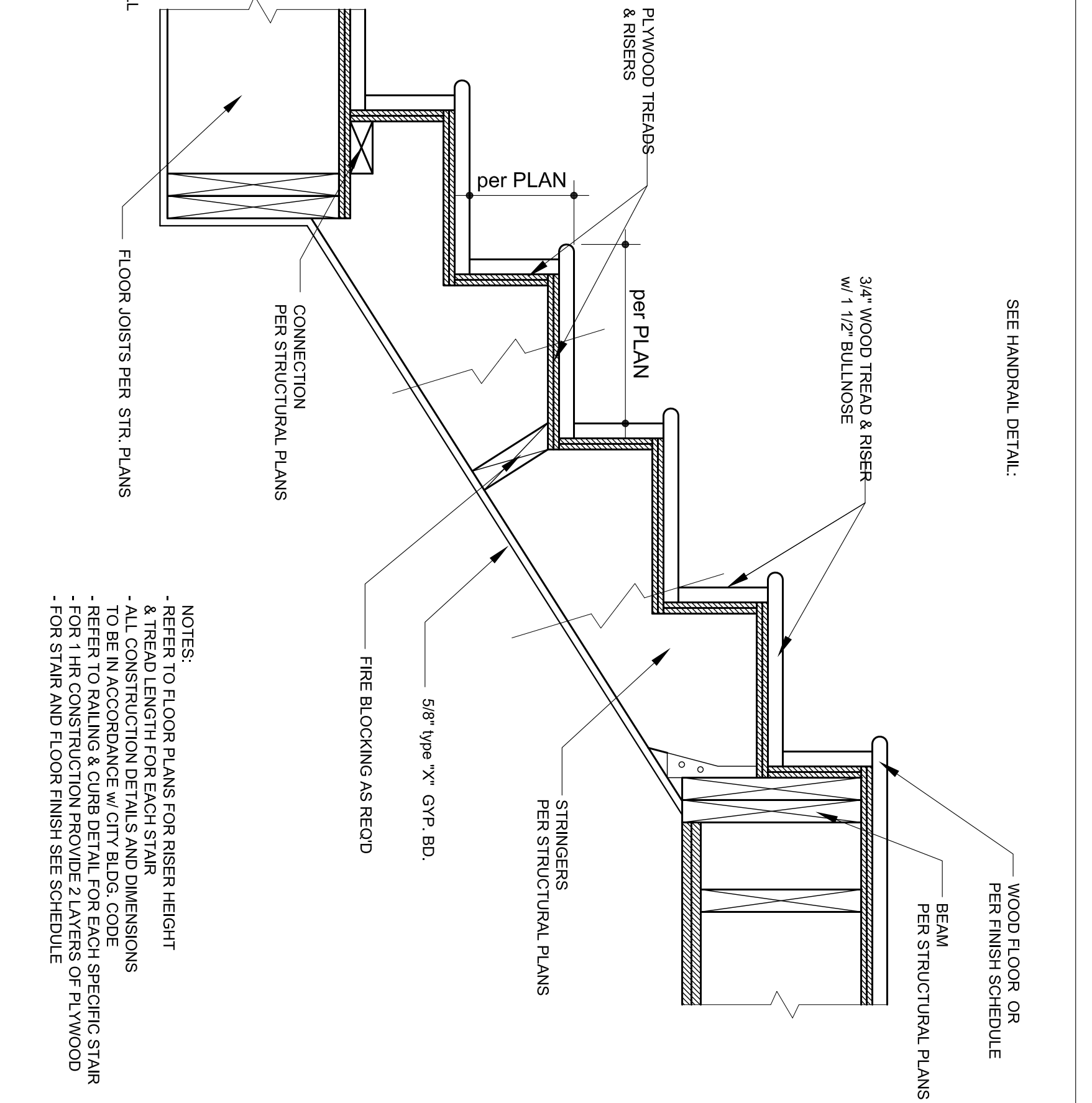
5 TYPICAL WINDOW ELEVATION 5



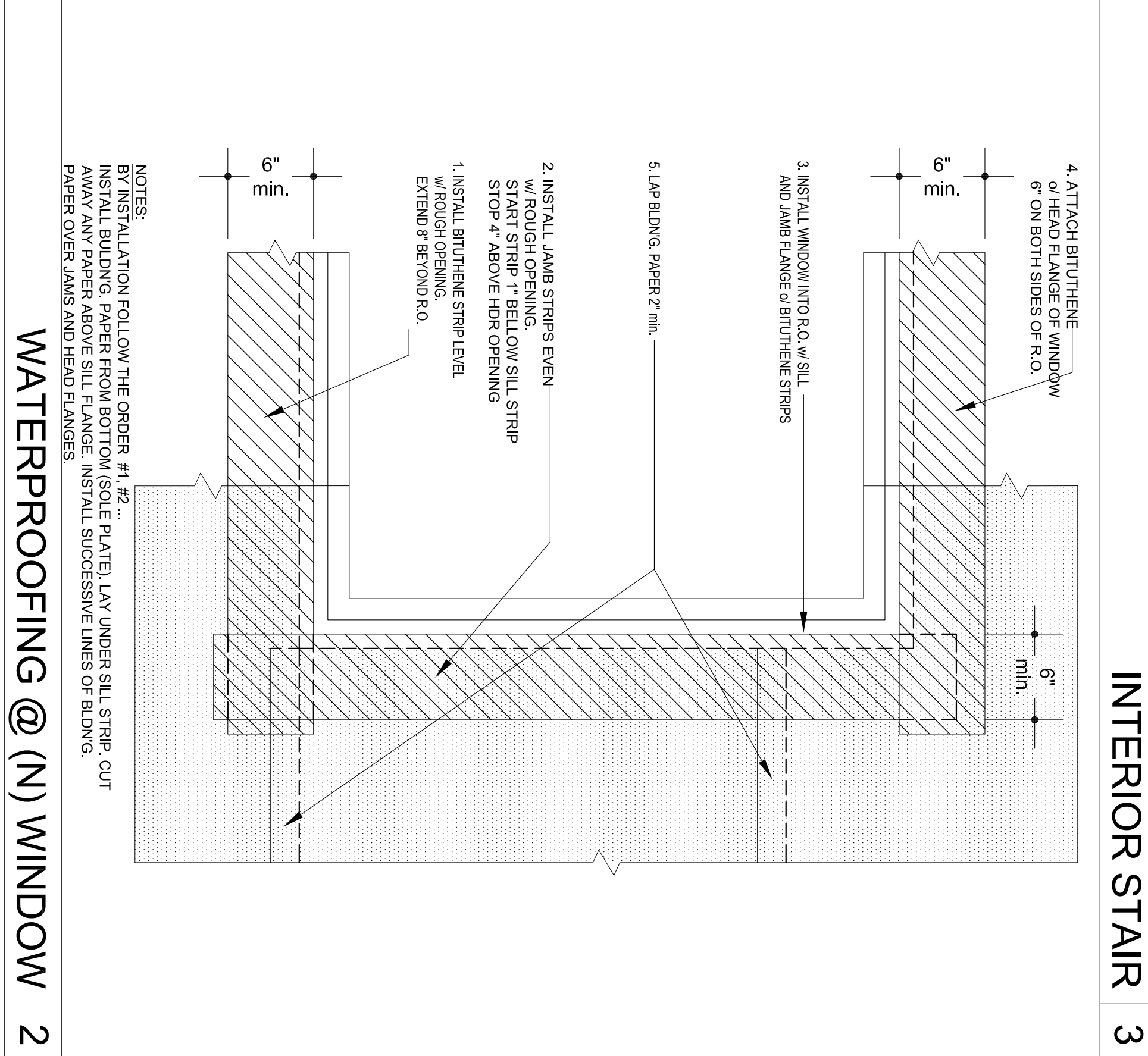
3 INTERIOR STAIR 3



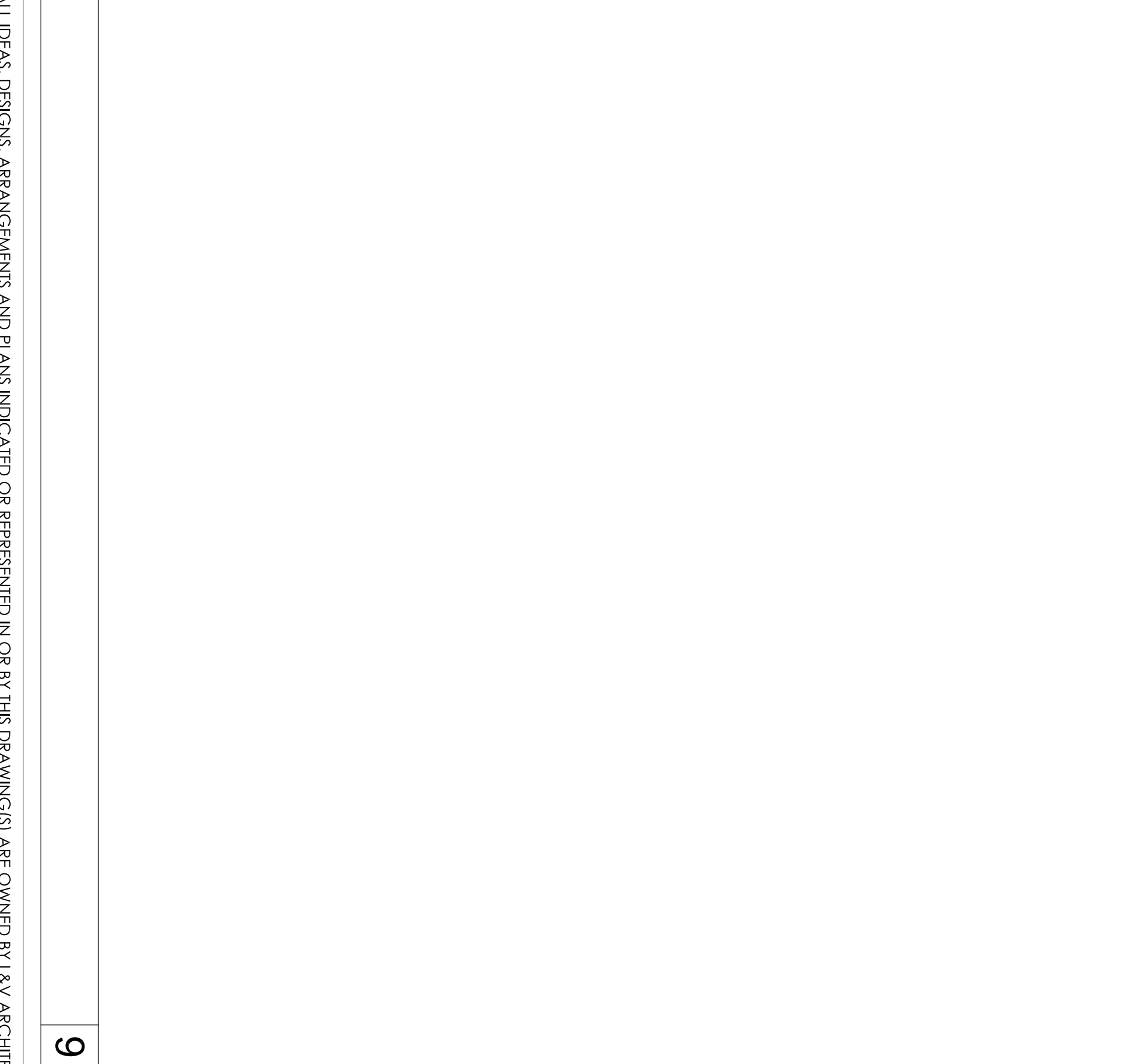
2 WATERPROOFING @ (N) WINDOW 2



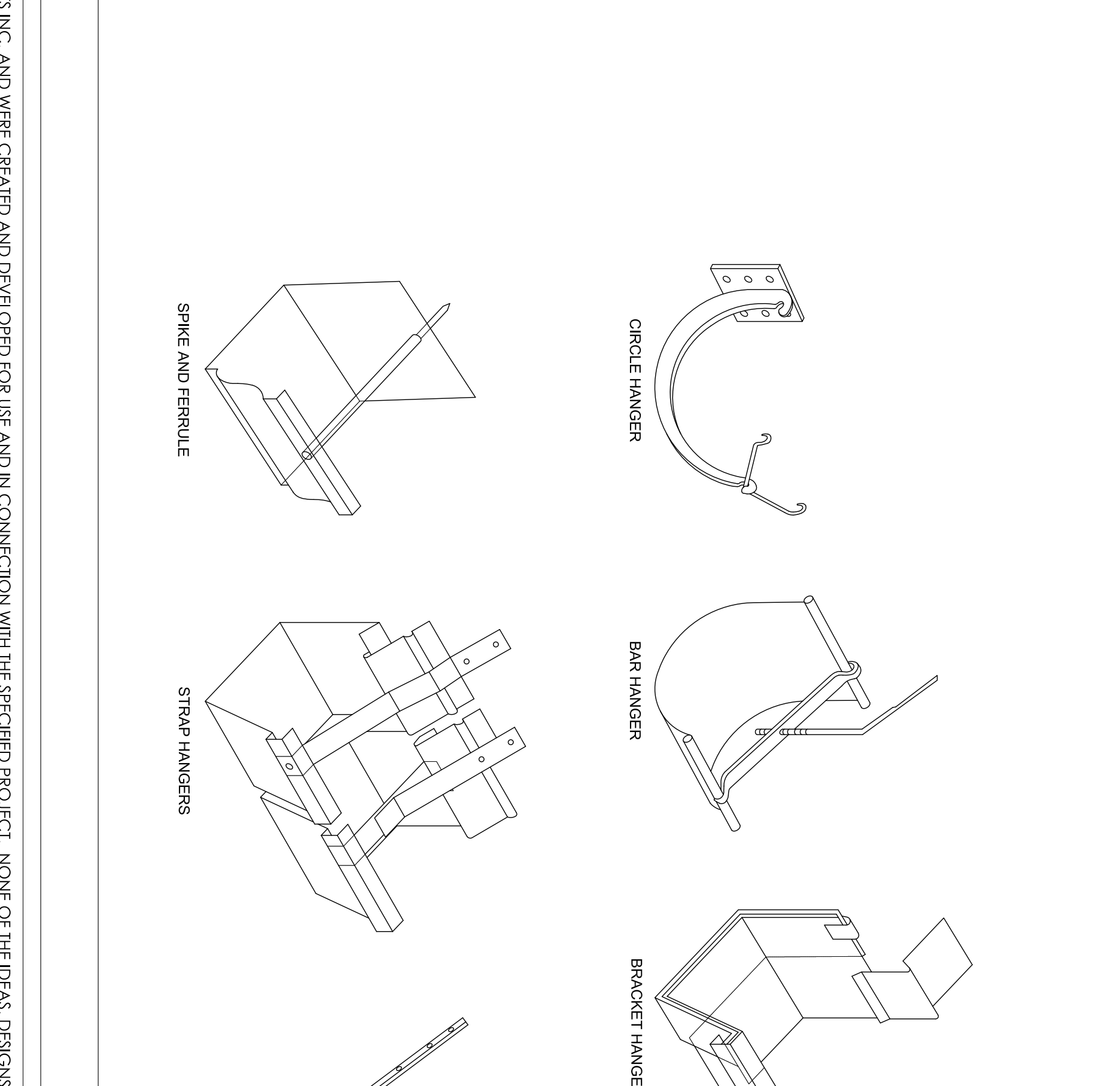
4 GUTTER 4



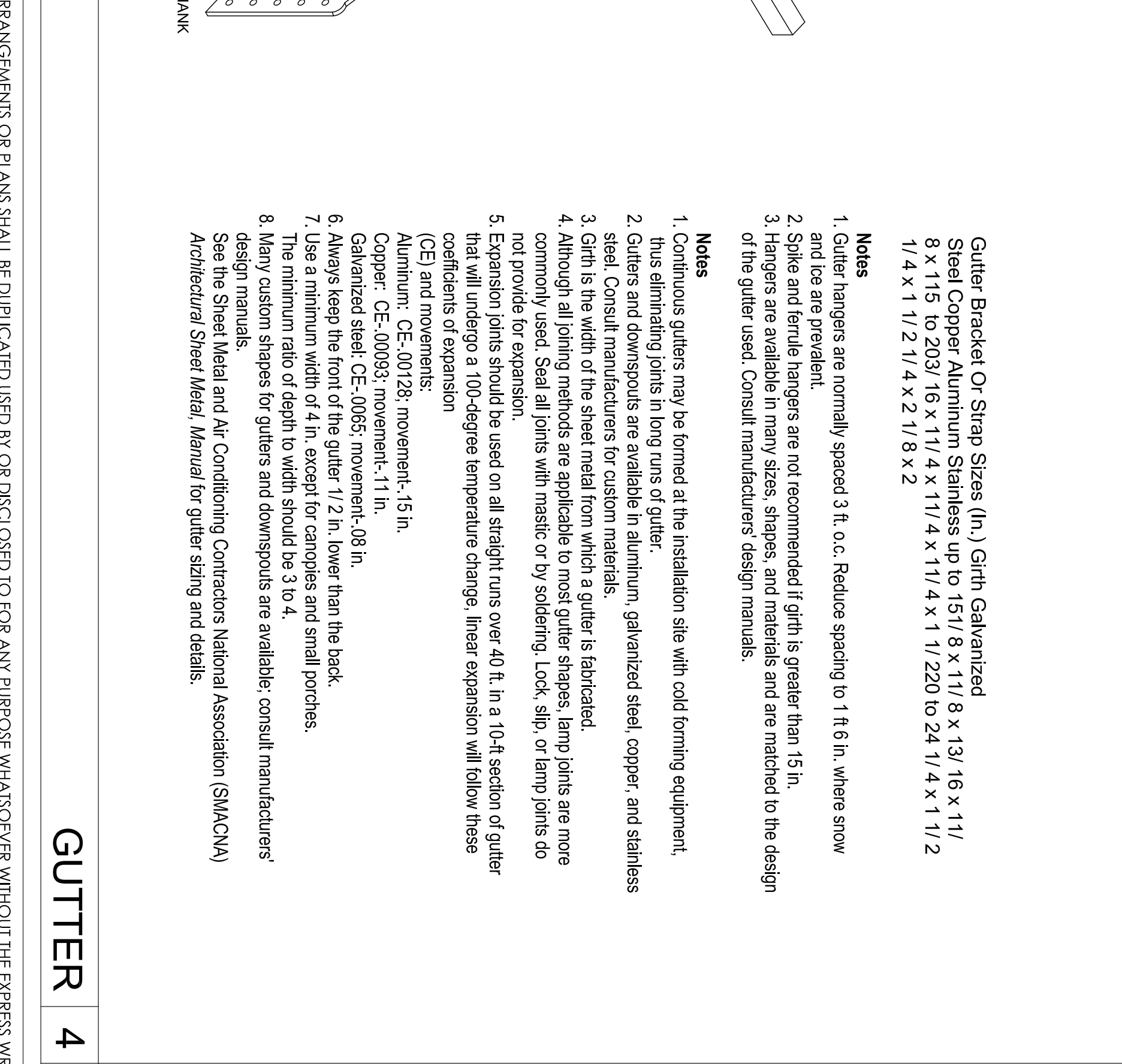
1 STC 50, 1 HR FIRE & SOUND RATED WALL 1



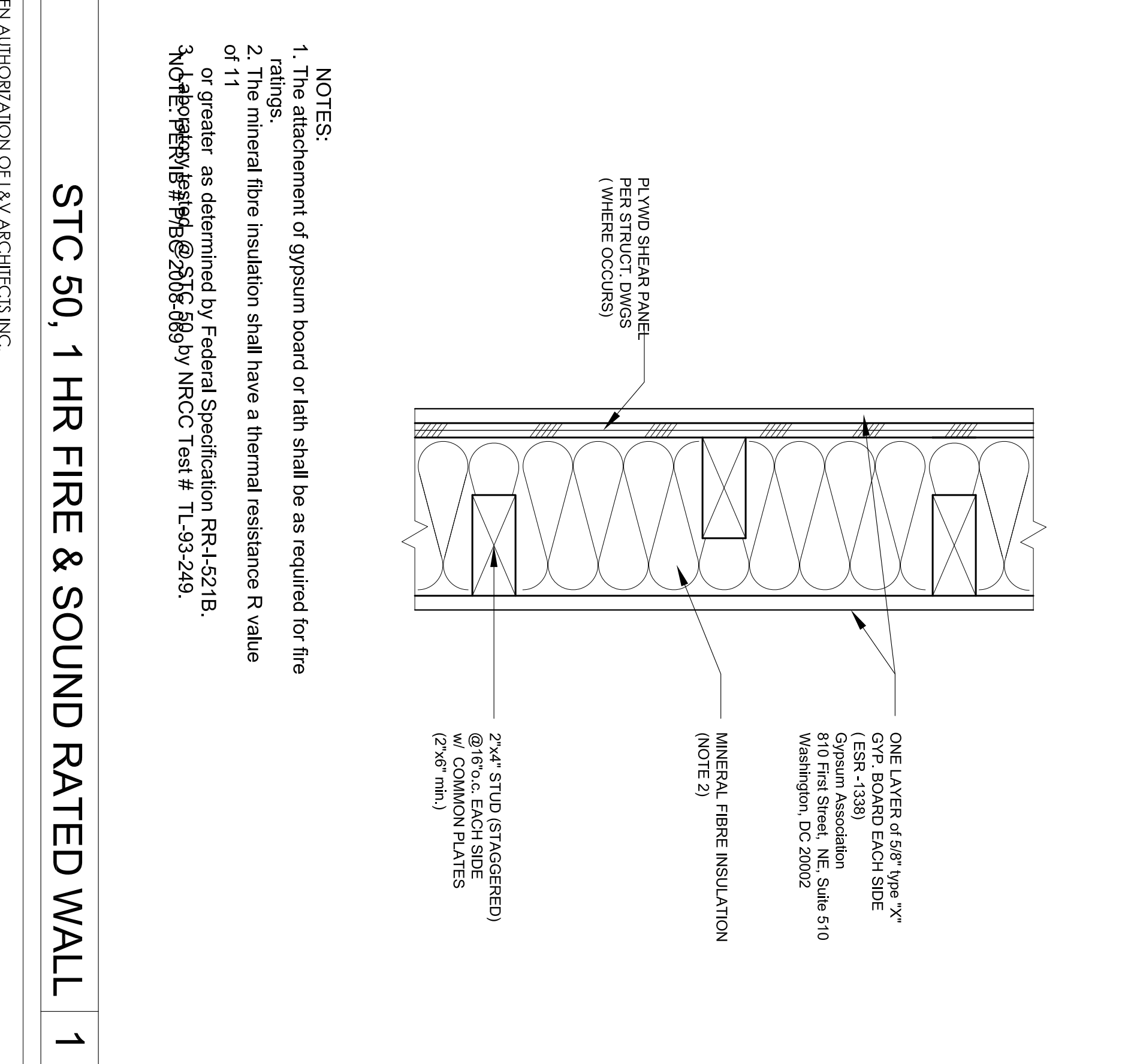
9



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