



## DEPARTMENT OF CITY PLANNING RECOMMENDATION REPORT



### ITEM 4

#### City Planning Commission

**Date:** December 18, 2014  
**Time:** 8:30 A.M.\*  
**Place:** Los Angeles City Hall  
Board of Public Works Hearing Room  
200 North Spring Street, Room 350  
Los Angeles, CA 90012

**Public Hearing:** October 15, 2014  
**Appeal Status:** Zone Change appealable by applicant to City Council if disapproved in whole or in part. Zoning Administrator's Adjustment and Site Plan Review appealable by any party.  
**Expiration Date:** January 21, 2015

**Case No.:** CPC-2014-1617-ZC-ZAA-SPR  
**CEQA No.:** ENV-2014-1618-MND  
**Incidental Cases:** None  
**Related Cases:** None  
**Council No.:** 10  
**Plan Area:** Wilshire  
**Specific Plan:** N/A  
**Certified NC:** Wilshire Center/Koreatown  
**GPLU:** Neighborhood Office Commercial  
**Existing Zone:** C2-1  
**Proposed Zone:** RAS4-1  
**Applicant:** KP3, LLC  
**Representative:** FMG  
(Nathan Freeman)

**PROJECT LOCATION:** 3419-3429 West 6<sup>th</sup> Street (544-550 South Kenmore Avenue)

**PROPOSED PROJECT:** The construction, use, and maintenance of 53 residential units within a three-story building above an existing four-story parking structure with ground floor and basement level commercial uses, for a total of seven- stories.

**REQUESTED ACTION:**

1. Pursuant to L.A.M.C. Section 12.32-F, a Zone Change from C2-1 to RAS4-1.
2. Pursuant to L.A.M.C. Section 12.28, a Zoning Administrator's Adjustment from Section 12.11.5-C,1 to permit a reduced front yard of zero feet in lieu of the required 5-foot setback.
3. Pursuant to L.A.M.C. Section 16.05-C,1(b), Site Plan Review for the construction of 50 or more dwelling units
4. Pursuant to Section 21082.1(c)(3) of the California Public Resources Code, the adoption of a Mitigated Negative Declaration and required findings for the above-referenced project.

#### RECOMMENDED ACTIONS:

1. **Approve and Recommend** that the City Council adopt a **Zone Change** from C2-1 to **(T)RAS4-1**, consistent with the Neighborhood Office Commercial land use designation.
2. **Approve a Zoning Administrator's Adjustment** for a reduced front yard of zero (0) feet in lieu of the required five (5) feet along Kenmore Avenue.
3. **Approve a Site Plan Review** for a residential development consisting of 53 dwelling units.
4. **Adopt** the attached Findings.

5. **Adopt** Mitigated Negative Declaration No. ENV-2014-1618-MND.
6. **Recommend** that the applicant be advised that time limits for effectuation of a zone in the "T" Tentative Classification are specified in LAMC Section 12.32-G. Conditions must be satisfied prior to the issuance of building permits and that the (T) Tentative classification be removed in the manner indicated on the attached page.
7. **Advise** the applicant that, pursuant to California State Public Resources Code Section 21081.6, the City shall monitor or require evidence that mitigation conditions are implemented and maintained throughout the life of the project and the City may require any necessary fees to cover the cost of such monitoring.
8. **Advise** the applicant that pursuant to State Fish and Game Code Section 711.4, a Fish and Game Fee is now required to be submitted to the County Clerk prior to or concurrent with the Environmental Notice of Determination (NOD) filing.

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Director of Planning



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**ADVICE TO PUBLIC:** \*The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting by calling the Commission Secretariat at (213) 978-1295.



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## PROJECT ANALYSIS

### Project Summary

The proposed project involves the construction of 53 residential units within a three-story building above an existing four-story parking structure with existing ground floor and basement level commercial uses, for a total of seven-stories.

### Background

#### Subject Property

The project site consists of three record lots with approximately 22,265 square feet of lot area and is located at the corner of Kenmore Avenue and 6th Street. The site has 150.64 feet of frontage along 6th Street to the south, which is designated as a Secondary Highway, and 150 feet of frontage along Kenmore Avenue to the west, which is designated as a Local Street. The site is developed with a four-story parking structure with existing commercial uses on the ground floor and in the basement. There is a non-operating shaft that is located along Kenmore Avenue that was once used as an elevator shaft. The ground floor area of the shaft is currently used as a retail space and as part of the proposed project will be converted to a lobby and elevators for access to the proposed residential units.

The project site is located within the Wilshire Community Plan and has a land use designation of Neighborhood Office Commercial, with the following corresponding zones: C1, C1.5, C2, C4, P, CR, RAS3, and RAS4. The site is not located within any specific plan, community design overlays, or interim control ordinance areas. It is located within the Wilshire Center / Koreatown Redevelopment Project area, Los Angeles State Enterprise zone, and Adaptive Reuse Incentive Area. The site is located within a Methane Zone and a portion of the site is within a 100-year flood plan in the AH zone.

The project site is currently zoned C2-1, which permits the R4 density of one-dwelling unit per 400 square feet of lot area, with Height District No. 1 that restricts the floor area of the site to one-and-one-half times the Buildable Area of the Lot. The Applicant is requesting a Zone Change to RAS4-1, which is consistent with the land use designation of Neighborhood Office Commercial. The proposed RAS4-1 Zone would allow the Applicant to maintain the existing commercial uses and to develop the site with R4 density, but with a Floor Area Ratio (FAR) of three times the Buildable Area of the Lot. The maximum density allowed per the existing zone and the proposed zone is 56 dwelling units and the Applicant is proposing a maximum of 53 dwelling units. As part of the entitlement request, the Applicant is requesting a Zoning Administrator's Adjustment to maintain a zero-foot setback along Kenmore Avenue for the proposed elevator shaft and a Site Plan Review for 50 or more units.

#### Surrounding Properties

The surrounding properties to the north of the site are zoned R4-2 and are developed with a mixture of multi-family apartment buildings and condominiums. These properties would be restricted to the same density calculation of one-dwelling per 400 square feet of lot area; however, Height District No. 2 would allow an FAR of 6:1. The property directly adjacent to the north is developed with a 42-unit, seven-story condominium with three-levels of parking.

The surrounding properties to the east and west are zoned C2-1 and are developed with commercial uses. The property to the west, across Kenmore Avenue is developed with the Chapman Park Market Building, which is designated as a Historical – Cultural Monument. The



property directly adjacent to the east is developed with an eight-story office building with ground floor commercial. The properties to the south are zoned C2-2 and are developed with office buildings that vary from one- to five-stories.

**Streets:**

6<sup>th</sup> Street is designated as a Secondary Highway and is dedicated to a width of 70-feet at the project's street frontage.

Kenmore Avenue is designated as a Local Street and is dedicated to a width of 80-feet at the project's street frontage

**Related Cases and Permits:**

CPC-1986-834-GPC - Ordinance 165302: Effective January 1, 1990, established a change in the Height District from Height District No. 4 to Height District No. 1 for Subarea 55D, which the subject site is located in.

Permit No. B12LA01049: Certificate of Occupancy issued on May 19, 2012 for a change of use from retail to beauty salon with accessory foot massage for address 3419 West 6<sup>th</sup> Street.

Permit No. B02LA00149: Permit issued for a change of use from retail to restaurant, including tenant improvements, for address 3417 West 6<sup>th</sup> Street.

**Public Hearing:**

A public hearing on this matter with the Hearing Officer was held at City Hall on Wednesday, October 15, 2014 (see Public Hearing and Communications, Page P-1).

**Issues****Urban Design and Structural Integrity**

The existing building was constructed in the 1920s as a public parking garage and does not have any existing façade treatment. As part of the overall project, the Applicant proposes to remodel the façade of the existing commercial space and the façade of the parking structure. As originally proposed, the proposed three-story addition appeared to be disconnected from the existing structure. As part of the review process, Planning staff requested that the treatment of the façade be revised to create a transition from the existing building and the proposed addition to create a uniform development. The Applicant submitted revised renderings and additional information as to the materials that would be used for the façade of the building.

Due to the age of the existing structure, Planning staff requested information in regards to the structural integrity of the structure and if it was feasible to construct a three-story residential addition on top of a building built in the 1920s. To address this issue, the Representative submitted a Structural Opinion Letter stating that the existing concrete parking structure could support the additional 53 residential units if fully reinforced to meet current code. The proposed project was reviewed by the Professional Volunteer Program and there were no comments in regards to the revised design of the project. However, the issue of the structural integrity of the building was raised and noted that substantial work would have to be completed to bring the existing structure up to current building code.

At the public hearing, the Hearing Officer raised concerns about the three-story addition being added to a structure built in the 1920s without a structural report. The Representative stated that

it was too early in the process for the Applicant to do a report on the structural integrity of the existing building and one would be completed at the time of plan check with the Department of Building and Safety. The Hearing Officer concluded that, if approved, the project has been presented as an addition and may require additional review at a future date if it is determined that the existing structure would need to be modified for the project to be constructed.

### Parking and Traffic

Comments submitted prior to, at the public hearing, and afterwards raised concerns about the impacts that the proposed project would have on parking and traffic in the area. Residents in the area mentioned that many of the residents and commercial uses in the area have utilized the parking structure as overflow parking. Planning staff asked the Representative to verify if any of the parking spaces were designated as required parking through covenant for any of the commercial uses within 750-feet of the site. Copies of permit records from the Department of Building and Safety (LADBS) were submitted and there was no evidence that the parking spaces were utilized as required parking spaces for existing commercial uses in the vicinity. At the public hearing, the Hearing Officer clarified that while the parking structure is operating as a public parking garage and providing a service to the community, the site is privately owned and operated and the use could be discontinued at any time.

The proposed project will provide 149 parking spaces within the existing parking structure. The 53 residential units require 78 parking spaces and 58 bicycle parking spaces. The project will restrict the use of the third and fourth levels of the parking structure for residential parking, providing a total of 80 parking spaces. There will be 59 bicycle parking spaces provided on the ground floor of the parking structure. The project site is located within a Los Angeles State Enterprise Zone and is required to provide two parking spaces per 1,000 square feet. There will be 28 parking spaces provided and reserved for the 13,795 square feet of existing commercial space. The remaining 40 existing parking spaces within the basement, ground floor, and second floor of the parking structure for the commercial uses can be utilized as surplus parking.

During the public hearing, neighbors expressed concerns about impacts the project would have on traffic. The proposed project was reviewed by the Los Angeles Department of Transportation (LADOT) and a completed LADOT Referral Form dated July 3, 2014 was submitted. The analysis determined that no traffic analysis was required and that the project would have a less than significant impact. LADOT comments included a request that a parking and driveway plan be submitted to LADOT for review and approval; this has been incorporated into the conditions of approval.

### Use, Setbacks, and Scale

A resident of the condominium building to the north of the project site raised concerns about the precedent the development would set for the future development along 6<sup>th</sup> Street, which is developed primarily with commercial uses. The primary concern was that by granting the Zone Change and approving the addition of the residential component, it would lead the future character along 6<sup>th</sup> Street to move away from commercial development and focus on residential development. The existing C2-1 Zone along 6<sup>th</sup> Street currently allows for residential development. The requested Zone Change to RAS4 would permit a maximum density of 56 dwelling units, which is the same as the existing C2 Zone. The requested Zone Change allows the Applicant to utilize a FAR of 3:1, rather than the existing FAR of 1.5:1. The higher FAR allows the Applicant to develop a mixed-use development with a residential density that is closer to the maximum density allowed.

At the public hearing, residents of the condominium building to the north of the project site raised concerns about the close proximity and height of the proposed addition. The concern was



that the addition would take away from their privacy and would block sunlight from their building. It was clarified that the requested zero-foot front yard setback would be observed only by the existing building and the extension of an elevator shaft located along Kenmore Avenue to the proposed addition. Proposed balconies facing Kenmore Avenue will observe a 30-inch setback from the property line. The building addition will observe the required setbacks per the Los Angeles Municipal Code (LAMC). The Hearing Officer clarified that the City does not regulate privacy and that the proposed addition adjacent to the northern property line will observe the required setback. As proposed, the project will provide adequate access to light and air for the proposed addition and to the adjoining properties.

The residents raised concerns about the additional height that would be permitted per the proposed RAS4-1 Zone and that the scale of the proposed project would block sunlight from the adjoining building. The C2-1 Zone limits the floor area of mixed-use development to a 1.5:1 FAR, where the RAS4-1 Zone limits the FAR to 3:1. The use of the RAS Zones is encouraged as a planning policy to encourage mixed-use developments along commercial corridors. The C2-1 and RAS4-1 Zones do not have a height restriction and the height of a building would be established based on the design and use of the allowed floor area. Currently, the parking structure is three-stories shorter than the adjoining properties to the north and east. The three-story addition will create a seven-story building which is compatible with the surrounding development and the allowable floor area in the vicinity of the development.

#### Noise

Concern over the increase in noise in conjunction with the construction, use, and maintenance of 53 residential dwelling units was raised at the public hearing. The proposed project is expected to temporarily increase noise in the area due to construction; however, mitigation measures have been incorporated to reduce the impacts of noise. The overall project is not expected to increase the level of ambient noise and the additional five-foot setback that the project is providing along the north and east property lines will help reduce the impacts of noise.

#### Signage

There are numerous signs located on the ground floor commercial uses, with each of the tenants having multiple window signs in addition to wall and projecting signs. Copies of LADBS records do not show permits for all of the existing signage on the building. The numerous amount of signage creates visual clutter along 6<sup>th</sup> Street and Kenmore Avenue for pedestrians, as well as for vehicular traffic. Planning staff has imposed a condition requiring that illegal signage be removed prior to the issuance of a building permit.

#### Conclusion

The subject site is developed with a public parking garage that has been utilized as a location for parking for other commercial uses and residential tenants in the vicinity. While the site has operated as a public parking garage and has provided parking for the surrounding community for many years, it is a privately owned and operated parking garage and no evidence has been found that any of the parking spaces are legally required spaces for any off-site commercial or residential uses. As such, the use could stop operating at any time. While a portion of the parking spaces will become required residential parking spaces, the project will maintain LAMC required parking for the commercial space.

The proposed project will add three-stories to an existing four-story building. Adjacent to the site to the north is an existing eight-story condominium and to the east is an eight-story office building. The additional height and number of stories is consistent with the existing development located on 6<sup>th</sup> Street and along Kenmore Avenue. Conditions of approval and mitigation

measures have been incorporated to minimize the impacts that the development will have on the surrounding neighborhood and address the concerns which were raised at the public hearing.

The project plans have been modified to enhance an existing non-descript parking structure. The façade of the ground floor commercial uses will be remodeled to create a uniform design and will remove the excessive signage. The treatment of the parking structure will include stucco finishes in varying colors, acrylic panels, and landscape planters. The façade treatment of the structure will mirror the façade of the residential addition creating a uniform building.

Based on the information submitted, the surrounding uses, input from the public hearing and the project's proposed compliance with the Wilshire Community Plan, the Department of City Planning recommends that the City Planning Commission approve the Zone Change to (T)RAS4-1 over the entire site, Zoning Administrator's Adjustment for a reduced front yard of zero (0) feet, and a Site Plan Review for 50 or more units. It will allow for a site that would permit the development of a mixed use building, will provide for needed housing, develop an underutilized lot, and aesthetically enhance an existing parking structure. It will provide additional housing within close proximity of a major commercial corridor and improve the existing ground floor commercial space, making it more pedestrian friendly. The imposition of the conditions of approval and mitigation measures will create a mixed-use development that is consistent with the residential and commercial development in the surrounding neighborhood.



## **Conditions For Effectuating (T) Tentative Classification Removal**

Pursuant to Section 12.32-G of the Municipal Code, the (T) or [T] Tentative Classification shall be removed by the recordation of a final parcel or tract map or by posting of guarantees through the B-permit process of the City Engineer to secure the following without expense to the City of Los Angeles, with copies of any approval or guarantees provided to the Department of City Planning for attachment to the subject planning case file.

Dedications and Improvements. Prior to the issuance of any building permits, public improvements and dedications for streets and other rights-of-way adjoining the subject property shall be guaranteed to the satisfaction of the Bureau of Engineering, Department of Transportation, Fire Department (and other responsible City, regional, and Federal government agencies as may be necessary).

### Responsibilities/Guarantees.

1. As part of early consultation, plan review, and/or project permit review, the applicant/developer shall contact the responsible agencies to ensure that any necessary dedications and improvements are specifically acknowledged by the applicant/developer.
2. Bureau of Engineering. Prior to the issuance of sign-offs for final site plan approval and/or project permits by the Department of City Planning, the applicant/developer shall provide written verification to the Department of City Planning from the responsible agency acknowledging the agency's consultation with the applicant/developer. The required dedications and improvements may necessitate redesign of the project. Any changes to the project design required by a public agency shall be documented in writing and submitted for review by the Department of City Planning.
  - a. Street Dedications:
    - i. **Kenmore Avenue** (Local Street) – None.
    - ii. **6<sup>th</sup> Street** (Secondary Highway) – None. The existing building to remain precludes the additional required dedication.
  - b. Street Improvements:
    - i. **Kenmore Avenue** – Repair all broken, off-grade or bad order concrete curb, gutter and sidewalk. Close any unused driveways with standard curb height, 2-foot gutter and concrete sidewalk and upgrade all driveways and access ramp to comply with ADA requirements.
    - ii. **6<sup>th</sup> Street** – Repair all broken, off-grade or bad order concrete curb, gutter and sidewalk.
  - c. Street Trees. Install tree wells with root barriers and plant street trees satisfactory to the City Engineer and the Urban Forestry Division of the Bureau of Street Services. The applicant should contact the Urban Forestry Division for further information (213) 847-3077.

Notes: Street lighting may be required satisfactory to the Bureau of Street Lighting (213) 847-1551.

Department of Transportation may have additional requirements for dedication and improvements.

- d. Drainage. Roof drainage and surface run-off from the property shall be collected and treated at the site and directed to the streets via drain system constructed under the sidewalk and through curb drains connected to the catch basin.
- e. Sewer. Sewer lines exist in 6<sup>th</sup> Street and Kenmore Avenue. All Sewerage Facilities Charges and Bonded Sewer Fees are to be paid prior to obtaining a building permit.

An investigation by the Bureau of Engineering Central District Office Sewer Counter may be necessary to determine the capacity of the existing public sewers to accommodate the proposed development. Submit a request to the Central District Office of the Bureau of Engineering at (213)482-7050.

- f. Submit shoring and lateral support plans to the Bureau of Engineering Excavation Counter for review and approval prior to excavating adjacent to the public right-of-way (213) 482-7048.
  - g. Submit parking area and driveway plan to the Central District Office of the Bureau of Engineering and the Department of Transportation for review and approval.
3. Department of Transportation. Satisfactory arrangements shall be made with the Department of Transportation to assure that a parking area and driveway plan be submitted to the Department of Transportation for approval prior to submittal of building permit plans for plan check by the Department of Building and Safety. Transportation approvals are conducted at 201 N. Figueroa Street suite 400, Station 3.
4. Fire Department. Prior to the issuance of building permit, a plot plan shall be submitted to the Fire Department for approval.

Notice: If conditions dictate, connections to the public sewer system may be postponed until adequate capacity is available.

Notice: Certificates of Occupancy for the subject property will not be issued by the City until the construction of all the public improvements (streets, sewers, storm drains, etc.) as required herein, are completed to the satisfaction of the City Engineer.



## CONDITIONS OF APPROVAL

Pursuant to LAMC Section 12.28 and 16.05 of the Municipal Code, the following limitations are hereby imposed upon the use of the subject property.

1. **Project.** Approved herein is a three-story addition for the construction, use, and maintenance of 53 residential units above an existing four-story parking garage, with ground floor and basement level commercial uses.
2. **Site Plan.** The use and development of the subject property shall be in substantial conformance with the site plan, and elevations labeled Exhibit "B" attached to the subject case file. The location, type, and size of signage is not a part of this approval. Minor deviations may be allowed in order to comply with provisions of the Municipal code and the conditions of approval.
3. **Floor Area.** The total floor area shall not exceed three times the Buildable Area of the Lot (3:1 FAR), pursuant to LAMC Section 12.21.1-A. A change of use of area within the existing parking structure, which is not included as floor area pursuant to LAMC Section 12.03, may require an additional entitlement.
4. **Façade.** The façade of the existing parking structure, commercial ground floor space, and residential addition shall be in substantial conformance with the elevations and rendering labeled Exhibit "B."
5. **Yard.** The elevator shaft located along Kenmore Avenue may observe a zero (0) foot yard setback.
6. **Open Space.** Open space shall be provided pursuant to LAMC Section 12.21-G. A landscape plan, prepared by a landscape practitioner, shall be submitted prior to the issuance of any building permits to the satisfaction of the Planning Department. The landscape plan shall provide detailed information regarding the location and number of trees, species of plants, soft- and hardscaping areas, walkways and outdoor features/furniture.
7. **Roof Structures.** Any structures on the roof, such as air conditioning units and other equipment, shall be fully screened from view by any abutting properties.
8. **Signage.**
  - a. On-site signs shall be limited to the maximum allowable under the Municipal Code.
  - b. Multiple temporary signs in store windows and along building walls are not permitted.
  - c. Prior to the issuance of any building permit, all illegal signage shall be removed and proof shall be submitted to the satisfaction of the Planning Department.

### Environmental Conditions

9. **Aesthetics – Vandalism.**
  - a. Every building, structure, or portion thereof, shall be maintained in a safe and sanitary condition and good repair, and free from, debris, rubbish, garbage, trash,

overgrown vegetation or other similar material, pursuant to Municipal Code Section 91.8104.

- b. The exterior of all buildings and fences shall be free from graffiti when such graffiti is visible from a street or alley, pursuant to Municipal Code Section 91.8104.15.

**10. Aesthetics – Signage on Construction Barriers.**

- a. The applicant shall affix or paint a plainly visible sign, on publically accessible portions of the construction barriers, with the following language: "POST NO BILLS".
- b. Such language shall appear at intervals of no less than 25 feet along the length of the publically accessible portions of the barrier.
- c. The applicant shall be responsible for maintaining the visibility of the required signage and for maintaining the construction barrier free and clear of any unauthorized signs within 48 hours of occurrence.

**11. Aesthetics – Light and Glare.**

- a. Outdoor lighting shall be designed and installed with shielding, such that the light source cannot be seen from adjacent residential properties, the public right-of-way, nor from above.
- b. The exterior of the proposed structure shall be constructed of materials such as, but not limited to, high-performance and/or non-reflective tinted glass (no mirror-like tints or films) and pre-cast concrete or fabricated wall surfaces to minimize glare and reflected heat.

**12. Air Pollution (Demolition, Grading, and Construction Activities).**

- a. All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.
- b. The construction area shall be kept sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind.
- c. All clearing, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust.
- d. All dirt/soil loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.
- e. All dirt/soil materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust.
- f. General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions.

- g. Trucks having no current hauling activity shall not idle but be turned off.
13. **Seismic.** The design and construction of the project shall conform to the California Building Code seismic standards as approved by the Department of Building and Safety.
14. **Erosion/Grading/Short-Term Construction Impacts.**
- a. The applicant shall provide a staked signage at the site with a minimum of 3-inch lettering containing contact information for the Senior Street Use Inspector (Department of Public Works), the Senior Grading Inspector (LADBS) and the hauling or general contractor.
  - b. Chapter IX, Division 70 of the Los Angeles Municipal Code addresses grading, excavations, and fills. All grading activities require grading permits from the Department of Building and Safety. Additional provisions are required for grading activities within Hillside areas. The application of BMPs includes but is not limited to the following mitigation measures:
    - i. Excavation and grading activities shall be scheduled during dry weather periods. If grading occurs during the rainy season (October 15 through April 1), diversion dikes shall be constructed to channel runoff around the site. Channels shall be lined with grass or roughened pavement to reduce runoff velocity.
    - ii. Stockpiles, excavated, and exposed soil shall be covered with secured tarps, plastic sheeting, erosion control fabrics, or treated with a bio-degradable soil stabilizer.
15. **Green House Gas Emissions.** Only low- and non-VOC-containing paints, sealants, adhesives, and solvents shall be utilized in the construction of the project.
16. **Explosion/Release (Existing Toxic/Hazardous Construction Materials)**
- a. **(Asbestos)** Prior to the issuance of any permit for the demolition or alteration of the existing structure(s), the applicant shall provide a letter to the Department of Building and Safety from a qualified asbestos abatement consultant indicating that no Asbestos-Containing Materials (ACM) are present in the building. If ACMs are found to be present, it will need to be abated in compliance with the South Coast Air Quality Management District's Rule 1403 as well as all other applicable State and Federal rules and regulations.
  - b. **(Lead Paint)** Prior to issuance of any permit for the demolition or alteration of the existing structure(s), a lead-based paint survey shall be performed to the written satisfaction of the Department of Building and Safety. Should lead-based paint materials be identified, standard handling and disposal practices shall be implemented pursuant to OSHA regulations.
  - c. **(Polychlorinated Biphenyl – Commercial and Industrial Buildings)** Prior to issuance of a demolition permit, a polychlorinated biphenyl (PCB) abatement contractor shall conduct a survey of the project site to identify and assist with compliance with applicable state and federal rules and regulation governing PCB removal and disposal.



- d. The developer and contractors shall maintain ongoing contact with administrator of Robert F. Kennedy Community School. The administrative offices shall be contacted when demolition, grading and construction activity begin on the project site so that students and their parents will know when such activities are to occur. The developer shall obtain school walk and bus routes to the schools from either the administrators or from the LAUSD's Transportation Branch (213)580-2950 and guarantee that safe and convenient pedestrian and bus routes to the school be maintained. Mitigation measures shall include those outlined in a memo dated September 30, 2014 issued by the Los Angeles Unified School District Office of Environmental Health and Safety.

**17. Explosion/Release (Methane Gas).**

- a. All commercial, industrial, and institutional buildings shall be provided with an approved Methane Control System, which shall include these minimum requirements; a vent system and gas-detection system which shall be installed in the basements or the lowest floor level on grade, and within underfloor space of buildings with raised foundations. The gas-detection system shall be designed to automatically activate the vent system when an action level equal to 25% of the Lower Explosive Limit (LEL) methane concentration is detected within those areas.
- b. All multiple residential buildings shall have adequate ventilation as defined in Section 91.7102 of the Municipal Code of a gas-detection system installed in the basement or on the lowest floor level on grade, and within the underfloor space in buildings with raised foundations.

**18. Stormwater Pollution (Demolition, Grading, and Construction Activities).**

- a. Sediment carries with it other work-site pollutants such as pesticides, cleaning solvents, cement wash, asphalt, and car fluids that are toxic to sea life.
- b. Leaks, drips and spills shall be cleaned up immediately to prevent contaminated soil on paved surfaces that can be washed away into the storm drains.
- c. All vehicle/equipment maintenance, repair, and washing shall be conducted away from storm drains. All major repairs shall be conducted off-site. Drip pans or drop clothes shall be used to catch drips and spills.
- d. Pavement shall not be hosed down at material spills. Dry cleanup methods shall be used whenever possible.
- e. Dumpsters shall be covered and maintained. Uncovered dumpsters shall be placed under a roof or be covered with tarps or plastic sheeting.

**19. Flooding/Tidal Waves.** The project shall comply with the requirements of the Flood Hazard Management Specific Plan, Ordinance No. 172081 effective 7/3/98.

**20. Noise Levels (Demolition, Grading, and Construction Activities).**

- a. The project shall comply with the City of Los Angeles Noise Ordinance No. 144,331 and 161,574, and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible.

- b. Construction and demolition shall be restricted to the hours of 7:00 am to 6:00 pm Monday through Friday, and 8:00 am to 6:00 pm on Saturday.
- c. Demolition and construction activities shall be scheduled so as to avoid operating several pieces of equipment simultaneously, which causes high noise levels.
- d. The project contractor shall use power construction equipment with state-of-the-art noise shielding and muffling devices.

**21. Noise Levels (Residential Fronting on Major or Secondary Highway, or adjacent to a Freeway).**

- a. All exterior windows having a line of sight of a Major or Secondary Highway shall be constructed with double-pane glass and use exterior wall construction which provides a Sound Transmission Coefficient (STC) value of 50, as determined in accordance with ASTM E90 and ASTM E413, or any amendment thereto.
- b. The applicant, as an alternative, may retain an acoustical engineer to submit evidence, along with the application for a building permit, any alternative means of sound insulation sufficient to mitigate interior noise levels below a CNEL of 45 dBA in any habitable room.

**22. Public Services (Fire).** The following recommendations of the Fire Department relative to fire safety shall be incorporated into the building plans, which includes the submittal of a plot plan for approval by the Fire Department either prior to the recordation of a final map or the approval of a building permit. The plot plan shall include the following minimum design features: fire lanes, where required, shall be a minimum of 20 feet in width; all structures must be within 300 feet of an approved fire hydrant, and entrances to any dwelling unit or guest room shall not be more than 150 feet in distance in horizontal travel from the edge of the roadway of an improved street or approved fire lane.

**23. Public Services (Construction Activity Near Schools)**

- a. The developer shall install appropriate traffic signs around the site to ensure pedestrian and vehicle safety.
- b. There shall be no staging or parking of construction vehicles, including vehicles to transport workers on any of the streets adjacent to the school.
- c. Due to noise impacts on the schools, no construction vehicles or haul trucks shall be staged or idled on these streets during school hours.
- d. The developer and contractors shall maintain ongoing contact with administrator of Robert F. Kennedy Community School. The administrative offices shall be contacted when demolition, grading and construction activity begin on the project site so that students and their parents will know when such activities are to occur. The developer shall obtain school walk and bus routes to the schools from either the administrators or from the LAUSD's Transportation Branch (213)580-2950 and guarantee that safe and convenient pedestrian and bus routes to the school be maintained. Mitigation measures shall include those outlined in a memo dated September 30, 2014 issued by the Los Angeles Unified School District Office of Environmental Health and Safety.



24. **Public Services (Schools).** The applicant shall pay school fees to the Los Angeles Unified School District to offset the impact of additional student enrollment at schools serving the project area.
25. **Recreation (Parks – Zone Change).** Pursuant to Section 12.33 of the Los Angeles Municipal Code, the applicant shall pay the applicable fees for the construction of dwelling units.
26. **Utilities (Local Water Supplies – All New Construction).**
- a. If conditions dictate, the Department of Water and Power may postpone new water connections for this project until water supply capacity is adequate.
  - b. Install high-efficiency toilets (maximum 1.28 gpf), including dual-flush water closets, and high-efficiency urinals (maximum 0.5 gpf), including no-flush or waterless urinals, in all restrooms as appropriate.
  - c. Install restroom faucets with a maximum flow rate of 1.5 gallons per minute.
  - d. A separate water meter (or submeter), flow sensor, and master valve shutoff shall be installed for all landscape irrigation uses.
  - e. Single-pass cooling equipment shall be strictly prohibited from use. Prohibition of such equipment shall be indicated on the building plans and incorporated into tenant lease agreements. (Single-pass cooling refers to the use of potable water to extract heat from process equipment, e.g. vacuum pump, ice machines, by passing the water through equipment and discharging the heated water to the sanitary wastewater system.)
  - f. The project shall comply with Ordinance No. 170,978 (Water Management Ordinance), which imposes numerous water conservation measures in landscape, installation, and maintenance (e.g. use drip irrigation and soak hoses in lieu of sprinklers to lower the amount of water lost to evaporation and overspray, set automatic sprinkler systems to irrigate during the early morning or evening hours to minimize water loss due to evaporation, and water less in the cooler months and during the rainy season).
27. **Utilities (Local Water Supplies - New Residential).**
- a. Install no more than one showerhead per shower stall, having a flow rate no greater than 2.0 gallons per minute.
  - b. Install and utilize only high-efficiency clothes washers (water factor of 6.0 or less) in the project, if proposed to be provided in either individual units and/or in a common laundry room(s). If such appliance is to be furnished by a tenant, this requirement shall be incorporated into the lease agreement, and the applicant shall be responsible for ensuring compliance.
  - c. Install and utilize only high-efficiency Energy Star-rated dishwashers in the project, if proposed to be provided. If such appliance is to be furnished by a tenant, this requirement shall be incorporated into the lease agreement, and the applicant shall be responsible for ensuring compliance.
28. **Utilities (Local Water Supplies – Restaurant, Bar, or Nightclub).**



- a. Install/retrofit high-efficiency toilets (maximum 1.28 gpf), including dual-flush water closets, and high-efficiency urinals (maximum 0.5 gpf), including no-flush or waterless urinals, in all restrooms as appropriate.
- b. Install/retrofit restroom faucets with a maximum flow rate of 1.5 gallons per minute.
- c. Install/retrofit and utilize only restroom faucets of a self-closing design.
- d. Install and utilize only high-efficiency Energy Star-rated dishwashers in the project, if proposed to be provided. If such appliance is to be furnished by a tenant, this requirement shall be incorporated into the lease agreement, and the applicant shall be responsible for ensuring compliance.
- e. Single-pass cooling equipment shall be strictly prohibited from use. Prohibition of such equipment shall be indicated on the building plans and incorporated into tenant lease agreements. (Single-pass cooling refers to the use of potable water to extract heat from process equipment, e.g. vacuum pump, ice machines, by passing the water through equipment and discharging the heated water to the sanitary wastewater system.)

**29. Utilities (Solid Waste Disposal).**

- a. **(Operational)** Recycling bins shall be provided at appropriate locations to promote recycling of paper, metal, glass, and other recyclable material. These bins shall be emptied and recycled accordingly as a part of the project's regular solid waste disposal program.
- b. **(Construction/Demolition)** Prior to the issuance of any demolition or construction permit, the applicant shall provide a copy of the receipt or contract from a waste disposal company providing services to the project, specifying recycled waste service(s), to the satisfaction of the Department of Building and Safety. The demolition and construction contractor(s) shall only contract for waste disposal services with a company that recycles demolition and/or construction-related wastes.
- c. **(Construction/Demolition)** To facilitate on-site separation and recycling of demolition- and construction-related wastes, the contractor(s) shall provide temporary waste separation bins on-site during demolition and construction. These bins shall be emptied and the contents recycled accordingly as a part of the project's regular solid waste disposal program.

**Administrative Conditions**

30. **Approvals, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, reviews or approval, plans, etc, as may be required by the subject conditions, shall be provided to the Planning Department for placement in the subject file.
31. **Code Compliance.** All area, height and use regulations of the zone classification of the subject property shall be complied with, except wherein these conditions explicitly allow otherwise.
32. **Covenant.** Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded in the

County Recorder's Office. The agreement shall run with the land and shall be binding on any subsequent property owners, heirs or assign. The agreement must be submitted to the Planning Department for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Planning Department for attachment to the file.

33. **Definition.** Any agencies, public officials or legislation referenced in these conditions shall mean those agencies, public offices, legislation or their successors, designees or amendment to any legislation.
34. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Planning Department and any designated agency, or the agency's successor and in accordance with any stated laws or regulations, or any amendments thereto.
35. **Building Plans.** Page 1 of the grant and all the conditions of approval shall be printed on the building plans submitted to the City Planning Department and the Department of Building and Safety.
36. **Corrective Conditions.** The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the City Planning Commission, or the Director pursuant to Section 12.27.1 of the Municipal Code, to impose additional corrective conditions, if, in the Commission's or Director's opinion, such conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.
37. **Indemnification.** The applicant shall defend, indemnify and hold harmless the City, its agents, officers, or employees from any claim, action or proceedings against the City or its agents, officers, or employees relating to or to attack, set aside, void or annul this approval which action is brought within the applicable limitation period. The City shall promptly notify the applicant of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim action or proceeding, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City.
38. **Expedited Processing Section.** Prior to the clearance of any conditions, the applicant shall show proof that all fees have been paid to the Department of City Planning, Expedited Processing Section.

## FINDINGS

1. **General Plan Land Use Designation.** The subject property is located in the Wilshire Community Plan, which was adopted by the City Council on September 19, 2001. The Plan designates the subject property for Neighborhood Office Commercial land uses with the following corresponding zones: C1, C1.5, C2, C4, P, CR, RAS3, and RAS4. The subject property consists of three record lots with a total lot area of approximately 22,607 square feet and is zoned C2-1. The current zone and the proposed RAS4 Zone are consistent with the Neighborhood Office Commercial land use designation.

The current commercial uses on the site and proposed residential density are consistent with the permitted uses and density of the C2 Zone. Height District No. 1 restricts developments within the C2 Zone to a floor area of one-and one-half times the Buildable Area of the lot. The limited floor area often restricts the site from being able to be developed to the highest and best use. The adoption of the RAS Zones provide a mechanism to allow for mixed-use projects to be developed along commercial corridors by allowing an increase in floor area. The requested Zone Change to RAS4 is consistent with the land use designation and would allow the Applicant to develop the site to the allowed density permitted in both the C2 and RAS4 Zone.

2. **General Plan Text.** The Wilshire Community Plan text includes the following relevant land use goals, objectives and policies:

**Goals:**

- *Enhancing the positive characteristics of residential neighborhoods while providing a variety of housing opportunities.*
- *Improving the function, design and economic vitality of commercial areas.*
- *Improving the quality of the built environment through design guidelines, streetscape improvements, and other physical improvements which enhance the appearance of the community.*

**Objective 1-1:** *Provide for the preservation of existing quality housing, and for the development of new housing to meet the diverse economic and physical needs of the existing residents and expected new residents in the Wilshire Community Plan Area to the year 2010.*

**Policy 1-1.3:** *Provide for adequate Multiple Family residential development.*

**Objective 1-2:** *Reduce vehicular trips and congestion by developing new housing in close proximity to regional and community commercial centers, subway stations and existing bus route stops.*

**Policy 1-1.3:** *Encourage higher density residential uses near major public transportation centers.*

By introducing new housing, the proposed project will be consistent with the objectives and goals of the Wilshire Community Plan. The project site is located at the corner of Kenmore Avenue and 6<sup>th</sup> Street, which is located one block north of Wilshire Boulevard and three blocks east of Normandie Avenue. The site is located at the edge of the commercial district and is adjacent to residentially zoned multi-family development. As proposed, the project will introduce new housing along 6<sup>th</sup> Street and will promote mixed-



use development along an existing commercial corridor. The project will also place housing one block north of Wilshire Boulevard, which is designated as a Regional Center Commercial, allowing for easy access to commercial uses and public transit.

The project site is currently developed with a parking structure that was constructed in the 1920s. While the ground floor and basement levels have been converted to various commercial uses over the years, little has been done to maintain the visual appearance of the building. Currently, the structure does not have a defined entrance to the interior commercial uses or the parking structure and is cluttered with signage. The proposed project will renovate the façade of the ground floor commercial space and create a distinct entrance to the commercial uses along 6<sup>th</sup> Street and entrance to the residential units along Kenmore Avenue. As part of the project, the western and southern elevations will be renovated to improve the visual characteristics of the existing structure and to create a transition from the commercial uses to the existing parking levels to the proposed residential uses.

Framework Element. The Framework Element of the General Plan was adopted by the City of Los Angeles in December 1996 and re-adopted in August 2001. The Framework Element provides guidance regarding policy issues for the entire City of Los Angeles, including the project site. It also sets forth a Citywide comprehensive long-range growth strategy and defines Citywide policies regarding such issues as land use, housing, urban form, neighborhood design, open space, economic development, transportation, infrastructure, and public services. The Framework Element includes the following provisions, objectives and policies relevant to the current request:

## HOUSING

**Objective 4.2** Encourage the location of new multi-family housing development to occur in proximity to transit stations, along some transit corridors, and within some high activity areas with adequate transitions and buffers between higher-density developments and surrounding lower-density residential neighborhoods.

**Objective 4.3** Conserve scale and character of residential neighborhoods.

The requested Zone Change will allow the development of the residential density that is currently allowed per the C2-1 Zone. The RAS4-1 Zone will allow for an increase in floor area to allow for the development of a mixed-use development that will provide a residential and commercial component that is consistent with the surrounding development and the Wilshire Community Plan. The additional housing will meet the objectives of the Housing Element by providing additional housing within one block of Wilshire Boulevard, which is a major commercial corridor and has accessible public transit.

3. The **Transportation Element** of the General Plan is not likely to be affected by the recommended action herein. 6<sup>th</sup> Street is designated as a Secondary Highway, dedicated to a width of 70-feet at the project's street frontage, and Kenmore Avenue is designated as a Local Street, dedicated to a width of 80-feet at the project's street frontage. As the project proposes to maintain the existing structure, there is no dedication required per the Bureau of Engineering.

The Department of Transportation has reviewed the project and, in a referral form dated July 3, 2014, has determined that the project does not require a traffic study and will have less than significant impacts on existing infrastructure and various modes of transportation.

4. The **Sewerage Facilities Element** of the General Plan will not be affected by the recommended action. However, requirements for construction of sewer facilities to serve the subject project and complete the City sewer system for the health and safety of City inhabitants will assure compliance with the goals of this General Plan Element.

### **Entitlement Findings**

#### **5. Zone Change Findings**

- a. **Pursuant to Section 12.32-C of the Municipal Code, and based on these findings, the recommended action is deemed consistent with public necessity, convenience, general welfare and good zoning practice.**

The granting of the proposed Zone Change will result in a project that is in conformance with the public necessity and convenience of developing housing within the close proximity of commercial development and public transit. The proposed use and density of the project is allowed with the existing C2-1 Zone; however, the site is underutilized due to its limited FAR. The proposed RAS4-1 Zone would allow for the site to be fully developed and provide the additional housing. The project will place housing along a commercial corridor and within close proximity of a major commercial corridor and public transit located on Wilshire Boulevard.

The granting of the proposed Zone Change will promote the general welfare by updating and creating an aesthetically pleasing façade for the existing parking structure and commercial space. There will be a cohesive design for the façade of the existing structure and the proposed residential addition. Entry ways to the parking structure and the commercial spaces will be clearly defined and accessible. In conformance with Citywide Design Guidelines, the proposed project will promote a more pedestrian friendly commercial development on the ground floor. The existing structure will comply with applicable building codes, which will improve the safety of the overall structure.

Good Zoning Practices. The C2-1 Zone restricts the ability to develop the site to its highest and best use due to the limited floor area that is allowed. The RAS Zones were adopted as a new planning tool that would increase housing opportunities and revitalize older commercial corridors. While the minimum lot area calculation remains the same as the commercial zones, the RAS Zone allows for increased housing through a greater floor area allowance. The proposed RAS4-1 Zone will allow for the development of 53 apartment units, which is consistent with the allowed density per the existing C2-1 Zone, and the maintenance of the existing commercial uses. The development of 53 apartment units is consistent with the density of the residentially zoned properties to the north of the project site. The maintenance of the existing ground floor and basement level commercial uses is consistent with the commercial development to the east and west of the site along 6<sup>th</sup> Street.

- b. The current action, as recommended, has been made contingent upon compliance with new "T" and "Q" conditions of approval imposed herein for the proposed project. Such limitations are necessary to protect the best interests of and to assure a development more compatible with surrounding properties, to secure an appropriate development in harmony with the General Plan, and to prevent or mitigate the potential adverse environmental effects of the subject recommended action.



## 6. Zoning Administrator's Adjustment

- a. **That while site characteristics or existing improvements make strict adherence to the zoning regulations impractical or infeasible, the project nonetheless conforms with the intent of those regulations.**

The proposed project is the construction of a three-story residential addition to an existing parking structure. The parking structure, which was constructed in the 1920s, observes a zero-foot setback along each of the property lines. Along Kenmore Avenue, there is an existing shaft that is a non-operating elevator shaft and houses a stairway. The ground floor space is currently a print shop. As part of the proposed project, the ground floor area will be converted to a lobby and will be converted back to an elevator to service the parking structure and the residential units. As the existing parking structure and shaft currently observe a zero-foot setback, it would be impractical to require a five-foot setback to be observed for the proposed extension of the elevator shaft. The residential addition will observe a five-foot setback along Kenmore Avenue, with balconies observing a 30-inch setback from the property line. The intent of having setbacks is to allow for appropriate access to light and air to the residential units. Access to light and air will not be affected by the reduced setback as the western property line abuts Kenmore Avenue, which is 80-feet wide. The proposed residential addition will observe the required setbacks per the Los Angeles Municipal Code; as such, the proposed project will nonetheless conform to the intent of the regulations.

- b. **That in light of the project as a whole, including any mitigation measures imposed, the project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.**

The proposed project will add 53 apartment units within three-floors on top of an existing four-story parking structure with ground floor and basement level commercial space. The requested RAS4-1 Zone will permit the same commercial uses and residential density as the existing C2-1 Zone within a greater floor area. As proposed, the project is compatible with the multi-family residential development located to the north of the subject site and will maintain the existing commercial uses along 6<sup>th</sup> Street. The height and size of the proposed project is consistent with the buildings located to the north, east, and south of the project site. For the addition, only the portion used for the elevator shaft will observe a setback of zero-feet along Kenmore Avenue, while the rest of the addition will maintain the required five-foot setback from the property line.

On November 5, 2014, the Department of City Planning issued an environmental clearance, ENV-2014-1618-MND, which addressed the impacts of the proposed three-story addition and 53 residential units. Mitigation measures have been incorporated into the conditions of approval to ensure that impacts of the project will not adversely affect or further degrade the public health, welfare, and safety of the adjacent properties and surrounding neighborhood.

- c. **That the project is in substantial conformance with the purpose, intent and provisions of the General Plan, the applicable community plan and any applicable specific plan.**



The subject site is located within the Wilshire Community Plan with a land use designation of Neighborhood Office Commercial, and is not located within a Specific Plan. The site is currently zoned C2-1 and has proposed a Zone Change to RAS4-1; both zones are consistent with the land use designation. The RAS4 Zone was adopted in 2002 as a new planning tool to promote mixed-use development by allowing additional floor area than would be allowed in the C2 Zone. The proposed use of the site is consistent with the allowed commercial uses and maximum density permitted in the existing zone and proposed RAS4-1 Zone. The site is currently developed with a parking structure that is built with a zero-foot setback, including a shaft that is proposed to be converted back to an elevator shaft that predates the RAS4 Zone. The zero-foot setback will not affect the purpose and intent of providing setbacks, which is to provide access to light and air to the residential dwellings. As conditioned, the project is in substantial conformance with the purpose, intent and provisions of the General Plan and Community Plan.

**c. Site Plan Review Findings**

- a. The project is in substantial conformance with the purposes, intent and provisions of the General Plan, applicable Community Plan, and any applicable Specific Plan.**

The subject site is located within the Wilshire Community Plan, which designates the site as a Neighborhood Office Commercial land use designation with the following corresponding zones: C1, C1.5, C2, C4, P, CR, RAS3, and RAS4. The existing C2 Zone permits a maximum of 56 dwelling units; however, it is restricted to a floor area of one-and-one-half times the Buildable Area of the Lot. The proposed RAS4 Zone would also permit a maximum of 56 dwelling units with an allowable floor area of three times the Buildable Area of the Lot. Neither the C2 nor RAS4 Zone is restricted by a height limitation. The proposed RAS4-1 Zone is consistent with the Neighborhood Office Commercial land use designation. The proposed 53 dwelling units within a 45,000 square foot addition to the existing structure is compatible with the surrounding developments.

The subject site is not located within a Specific Plan area, but is located within Wilshire Center/Koreatown Recovery Redevelopment Project Area. The Plan contains goals in order to revitalize the project area, which include the following:

*Goal 3: Promote the economic, social, educational and cultural and physical well-being through the revitalization of the residential, commercial and industrial areas.*

*Goal 4: Promote the livability of the Project Area as a cohesive and sustainable neighborhood.*

*Goal 5: Encourage the development of housing in a wide range of types, prices, rent levels and ownership options.*

*Goal 6: Enhance the safety and security of residents, businesses, employees and visitors.*

The project site is located at the corner of Kenmore Avenue and 6<sup>th</sup> Street, which is located one block north of Wilshire Boulevard. The proposed project will add 53 additional residential units within close proximity to the commercial corridor located along Wilshire Boulevard and within easy access to public transportation. The site is

currently developed with a parking structure that was constructed in the 1920s. While the ground floor and basement level have had minor improvements due to the commercial uses, the parking structure itself has had little maintenance. The proposed project will require the structure to be reinforced to current safety standards and will renovate the exterior of the structure to create a visually appealing building. The project will include the façade work to the existing commercial space, which will help to enhance the character of the neighborhood and the pedestrian environment.

#### Citywide Design Guidelines

##### Commercial:

Objective 1: Consider Neighborhood Context and Linkages in Building and Site Design - The commercial component of the development is an existing four-story parking structure with ground floor and basement level commercial uses. As part of the project, the façade of the existing structure will be remodeled and updated. The commercial uses which front on 6<sup>th</sup> Street will maintain their exterior entrances and a primary entrance for tenants located in the interior portion of the building will be articulated with a variation of architectural treatment from the rest of the elevation. The entrance for the interior commercial uses will remain on 6<sup>th</sup> Street, which is consistent with the existing commercial uses within the vicinity.

Objective 2: Employ High Quality Architecture to Define the Character of Commercial Districts – The existing parking structure was constructed in the 1920s and while the ground floor has undergone tenant improvements through various change of uses, little work has been done to maintain or improve the character of the building. The proposed façade remodel will create a uniform façade for the existing commercial tenants and will use varying colors and finishes to avoid monotonous walls. The existing excessive signage located in the windows will be removed and will be required to comply with the current sign regulations.

Objective 3: Augment the Streetscape Environment with Pedestrian Amenities – The existing building which will remain is currently built to the existing property lines and the sidewalk is approximately eight (8) feet wide. The main pedestrian entrance will be located along 6<sup>th</sup> Street and vehicular entrance to the site will remain on Kenmore Avenue.

Objective 4: Minimize the Appearance of Driveway and Parking Areas – The site is developed as a public parking structure, with the vehicular entrance located along Kenmore Avenue. While there is parking located on the ground level, it is located on the interior side of the structure with the commercial uses designated towards 6<sup>th</sup> Street. The façade of the second to fourth levels of the parking structure will be remodeled with various colors and material treatments.

Objective 5: Include Open Space to Create Opportunities for Public Gathering – The existing building is currently built to the property lines and will remain as part of the proposed project. Open space is not required as part of the commercial development; however, it will be provided as part of the residential development.

Objective 6: Improve the Streetscape by Reducing Visual Clutter – Existing excessive signage will be removed and will be required to comply with the sign regulations of the Los Angeles Municipal Code. A lighting plan has not been

included as part of the proposed project; however, mitigation measures have been incorporated to reduce impacts on the surrounding properties.

#### Residential

Objective 1: Consider Neighborhood Context & Linkages in Building & Site Design – The site is developed with an existing building and the project propose to add three additional stories for the development of 53 residential apartment units. The main entrance for the apartments will be located facing Kenmore Avenue, which is consistent with the residential development along the street. To the north of the site, there is an eight-story condominium building and to the east there is an eight-story office building. The proposed project will create a seven-story building, which consists of four-levels of parking with ground floor and basement level commercial uses. As proposed, the scale, height, and massing of the proposed building is consistent with the adjacent and surrounding development.

Objective 2: Employ Distinguishable and Attractive Building Design – The façade of the building will utilize varying finishes and colors to avoid a monotonous building façade. The proposed façade finishes will be consistent with the proposed façade treatment of the existing building to create a uniform development.

Objective 3: Provide Pedestrian Connections Within and Around the Project – The proposed residential development will be constructed on the roof of the existing building. The main entrance for the development will be located along Kenmore Avenue with the entrances to each of the dwellings facing the interior courtyards.

Objective 4: Minimize the Appearance of Driveways and Parking Areas - The site is developed as a public parking structure, with the vehicular entrance located along Kenmore Avenue. While there is parking located on the ground level, it is located on the interior side of the structure with the commercial uses designated towards 6<sup>th</sup> Street. The façade of the second to fourth levels of the parking structure will be remodeled with various colors and material treatments.

Objective 5: Utilize Open Areas and Landscape Opportunities to their Full Potential – The project proposes to create an interior courtyard that will be located on the proposed fifth level of the building. The courtyard will be landscaped as required by the Los Angeles Municipal Code and will be required to submit a landscape plan prepared by a landscape practitioner prior to the issuance of a building permit. In addition to the courtyard, a recreational room will be provided along with balconies to be used as private open space.

Objective 6: Improve the Streetscape Experience by Reducing Visual Clutter - Existing excessive signage will be removed and will be required to comply with the sign regulations of the Los Angeles Municipal Code. A lighting plan has not been included as part of the proposed project; however, mitigation measures have been incorporated to reduce impacts on the surrounding properties.

- b. **The project consists of an arrangement of buildings and structures (including height, bulk, and setbacks), off-street parking facilities, loading areas, lighting, landscaping, trash collection, and other such pertinent improvements, that is**



**or will be compatible with existing and future development on adjacent properties and neighboring properties.**

The subject site is currently developed with a four-story parking structure with ground floor and basement level commercial uses. The proposed project will add approximately 45,000 square feet to construct 53 residential units within three-stories. Upon completion of the project, the building will be a total of seven-stories and a height of approximately 83-feet, excluding roof structures. Within the existing parking structure, the basement and first two levels will continue to provide commercial parking. The parking spaces available on the third and fourth levels will provide the required parking spaces for the residential units and bicycle parking will be provided for the residential units on the ground level. Open space will be provided by balconies, a recreational room, and a courtyard located in the interior of the proposed three-story addition.

The properties located to the north of the project site are zoned R4-2 and are developed with a mixture of multi-family apartments and condominiums. The developments range from two- to seven-stories and consist of older buildings built in the 1920s, 1940s, and 1960s. The property adjacent to the north was completed in 2010 as a eight-story condominium. The R4-2 Zone would permit a residential building that is not subject to height restrictions and is allowed a floor area of six times the Buildable Area of the Lot. Although properties within the vicinity are not developed to the allowed density of the existing zone, the proposed use of the project site is compatible with the existing multi-family use and is compatible with the permitted future development of the neighboring properties to the north.

The properties to the east and west are zoned C2-1; the adjoining property to the east is developed with an eight-story office building. The proposed height of the project will be compatible with the existing height of the office building. The property to the west is a historic monument, known as the Chapman Park Market Building and is primarily one story; however, a portion of the plaza located at the corner of 6<sup>th</sup> Street and Kenmore Avenue is two-stories and includes additional architectural features above the second story. Aside from the extension of the elevator shaft along Kenmore Avenue, the residential portion of the building will be setback five-feet from the property line. As proposed and conditioned, the project will be compatible with the existing commercial uses to the east and west of the subject site. The setback will reduce the visual impact and mass of the proposed building along Kenmore Avenue. The properties to the south located across 6<sup>th</sup> Street are developed with various commercial uses that include: one- and two- story mini-shopping centers and one- to five-story office buildings. The properties which front on 6<sup>th</sup> Street are zoned C2-2, which permits commercial development with a maximum floor area of six times the Buildable Area of the Lot with no height restriction. The proposed project is compatible with the existing commercial development and with the permitted future development located on the south side of 6<sup>th</sup> Street.

- c. **That any residential project provides recreational and service amenities to improve habitability for its residents and minimize impacts on neighboring properties**

The proposed project will provide approximately 5,677 square feet of open space. Common open space will be located on the proposed 5<sup>th</sup> floor and will consist of a recreational room as well as an outdoor courtyard that is located in the center of the proposed residential units. The outdoor courtyard will be landscaped and will provide seating areas. The units facing the north and east property lines will have balconies

that will provide private open space for the residents. A condition of approval has been incorporated to require a full landscape plan prepared by a landscape practitioner prior to the issuance of a building permit. The combination of common and private open space will provide recreational amenities for the residents and will minimize impacts on neighboring properties.

6. **Environmental.** On November 5, 2014, a Mitigated Negative Declaration, ENV-2014-1618-MND, was prepared for the proposed project. A comment was submitted by a member of the public regarding the location of the site within a Methane Zone. Mitigation measures have been incorporated to address the issue of methane in order to lessen the impacts to less than significant. On the basis of the whole of the record before the lead agency including any comments received, the lead agency finds that, with imposition of the mitigation measures described in the MND, there is no substantial evidence that the proposed project will have a significant effect on the environment. The attached Mitigated Negative Declaration reflects the lead agency's independent judgment and analysis. The records upon which this decision is based are with the Environmental Review Section of the Planning Department in Room 750, 200 North Spring Street.
7. **Flood Insurance.** The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located within a Flood Zone. The project conforms to both the specific provisions and the intent of the Specific Plan for the Management of Flood Hazards (Section 5 of Ordinance No. 172,081).



## PUBLIC HEARING AND COMMUNICATIONS

A public hearing conducted by the Hearing Officer on this matter was held on the 10<sup>th</sup> Floor of City Hall on Wednesday, October 15, 2014.

### 1. Attendance:

Present at the hearing were: the project representatives (Nathan Freeman and Dante Charleston, FMG), the project architect, Representative of Council District 10 (Jordan Beroukhim), property owners of the adjacent property, and a business tenant of the subject site.

### 2. Initial Indication and Testimony:

The project representative, Nathan Freeman, made the following comments:

Submitted revised plans including additional bicycle parking spaces to comply with the required parking per the Los Angeles Municipal Code.

There were four residents from the condominium building located directly to the north of the subject site, located at 540 West Kenmore Avenue, who spoke out against the project. The speakers submitted a petition signed by other owners in the condominium building and made the following comments:

- Loss of sunlight.
- Increase in noise.
- The proposed project will take away privacy due to its close proximity.
- Loss of parking for visitors to their own building as well as other residents in the vicinity that live in older buildings with no required parking.

There was one tenant of the subject site that stated that he operated a store in the subject site. He stated that he was currently in a dispute with the current owners, the Applicant, as he felt they were trying to drive him out of his current space.

A representative for Council District 10, Jordan Beroukhim, stated that they had met with the representative a few times and have not heard any of the concerns raised at the hearing previously. Overall the Council District supports the project and the use of the existing building, but would like the Applicants to meet with the residents of the condominium to the north and address their concerns.

After Public Comments, the Hearing Officer raised the following issues and questions:

- Structural integrity of the existing structure to hold the proposed project and the amount of structural upgrade that would be required.
- Distinction of parking between commercial and the proposed residential parking spaces.
- Outreach to the community.
- Addressed the current use of the site as a public parking structure which is privately operated and the loss of parking for commercial uses and residential tenants in the area.
- Addressed the issues raised by the commercial tenant stating that it was outside the scope and jurisdiction of the public hearing.



Nathan Freeman and Dante Charleston, the project representatives, responded to the issues and questions:

- The Applicants feel that it is too early to do a full structural analysis and that the letter submitted by the structural engineer stating that upgrades will be completed as required is sufficient at this time.
- Submitted revised floor plans at the hearing showing a security gate added to the ramp for access to residential parking.
- Stated that they had reached out to the Certified Neighborhood Council, but were told that this project would not be reviewed by them.

At the conclusion of the public hearing, the Hearing Officer requested that the Representatives meet with the property owners of the condominium building located to the north of the subject site to address their concerns and to further explain the scope of the project.

### 3. Communications Received

Prior to the public hearing, an e-mail was received from a resident who lives on Kenmore Avenue expressing the following concerns:

- Existing structure is old and may not be structurally sound.
- Pays monthly to park in the structure as the building at 510 South Kenmore Avenue does not have parking.
- Parking is an issue in general for the area, structure is used for valet parking for surrounding commercial businesses.

A phone inquiry was received by a representative of the Homeowner's Association for the condominium building located at 540 South Kenmore Avenue, which is the adjacent property to the north of the subject site. He requested to view the case file and clarification of the proposed project and the entitlement process.

After the public hearing, an email was received from a member of the Certified Neighborhood Council stating that they would like to reach the representatives of the proposed project and invite them to attend the land use meeting.

On November 21, 2014, an email was received from a resident expressing the following concerns:

- Loss of parking and limited public parking structures.
- Increase in density and commercial uses will increase traffic
- Proposed RAS Zone and far proximity to Metrorail Stations

The resident expressed that the use of the structure should remain as a parking structure and that the façade of the structure should be updated as it is an old building.

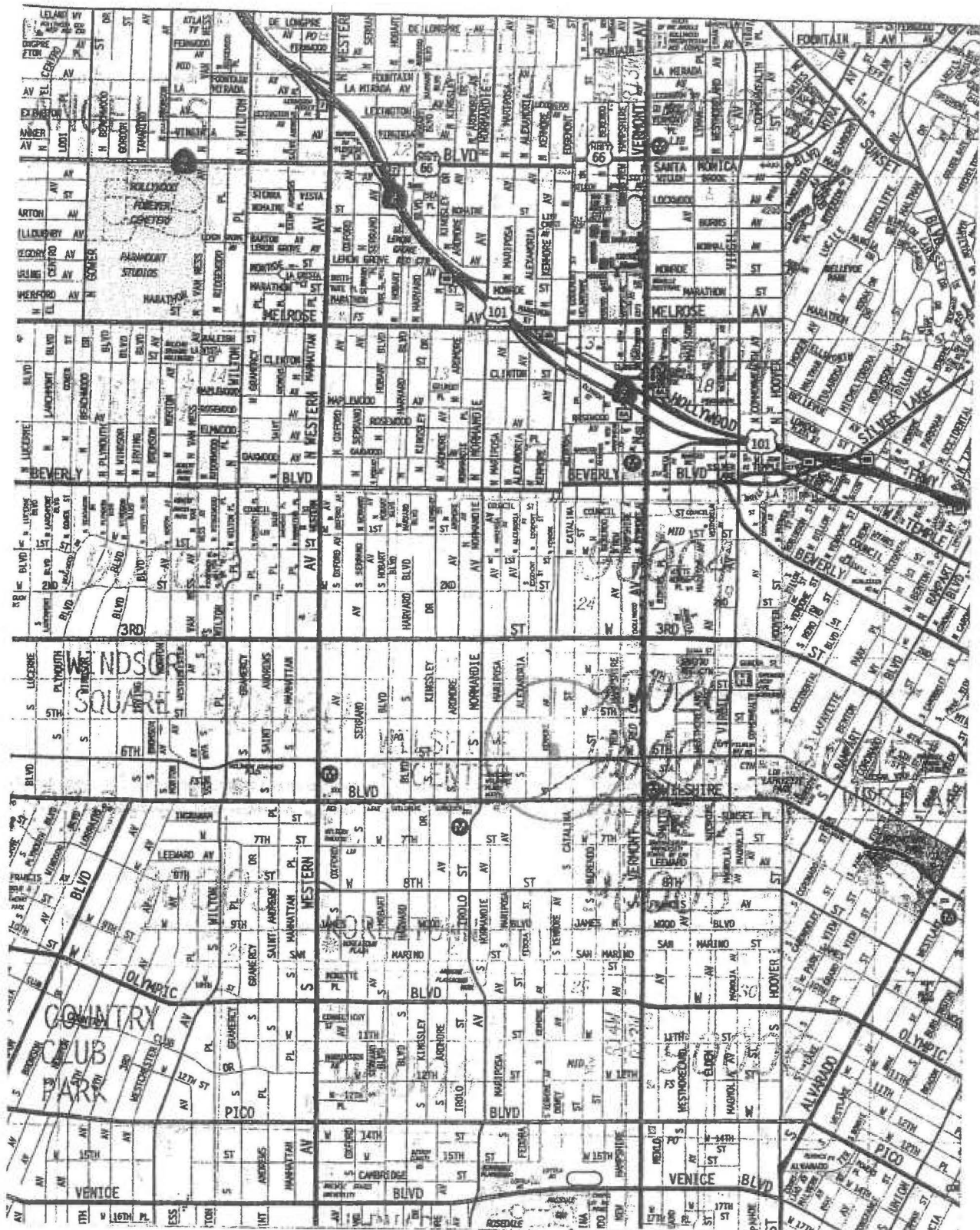
On November 24, 2014, an email was received from a representative of the Homeowner's Association for the condominium property located at 540 South Kenmore, which is the property located directly north of the project site. It was stated that homeowners of the building met with the architect and representatives of the project on November 13, 2014; however, there were still concerns about the project and that no assurances were given by the Representative to address their concerns. Parking, noise,

loss of privacy, construction, as well as the structural integrity of the building continues to be a concern. While the homeowners are still in opposition to the project, they are recommending the inclusion of the following conditions:

- Mandate that that developer remove all balconies on the north side of the Project to maximize space between the two buildings to address privacy concerns and minimize noise between the buildings.
- Restrict artificial lighting on the north side of the Project to only the bottom residential floor and use light shields to minimize light exposure.
- Restrict pedestrian use or other use by residents of any setback area on the north side of the Project.
- Restrict hours of construction for the Project from 9am to 5pm with no weekends and no holidays.

On November 24, 2014, an email was received from the homeowner of unit 604 at 540 South Kenmore Avenue, raising the following concerns:

- Loss of parking and traffic
- Loss of sunlight, privacy, and views



VICINITY MAP

APCC 2014-1617

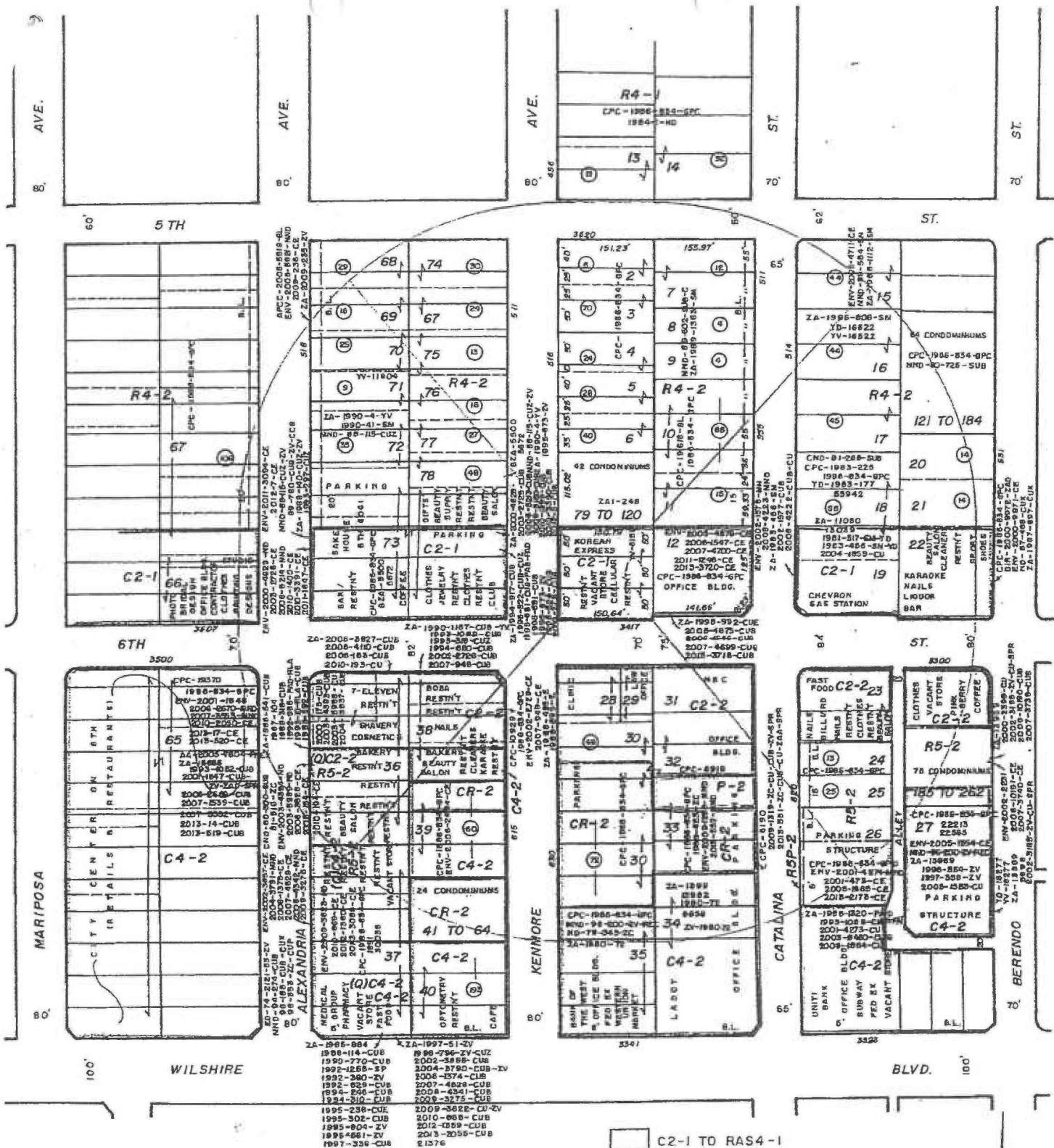
SCALE 1"=2800'

EXHIBIT A

N







# ZONE CHANGE / SITE PLAN REVIEW

CASE NO.  
DATE APRIL 24, 2014  
D.M. 135 B 197  
SCALE 1" = 100'  
USES FIELD

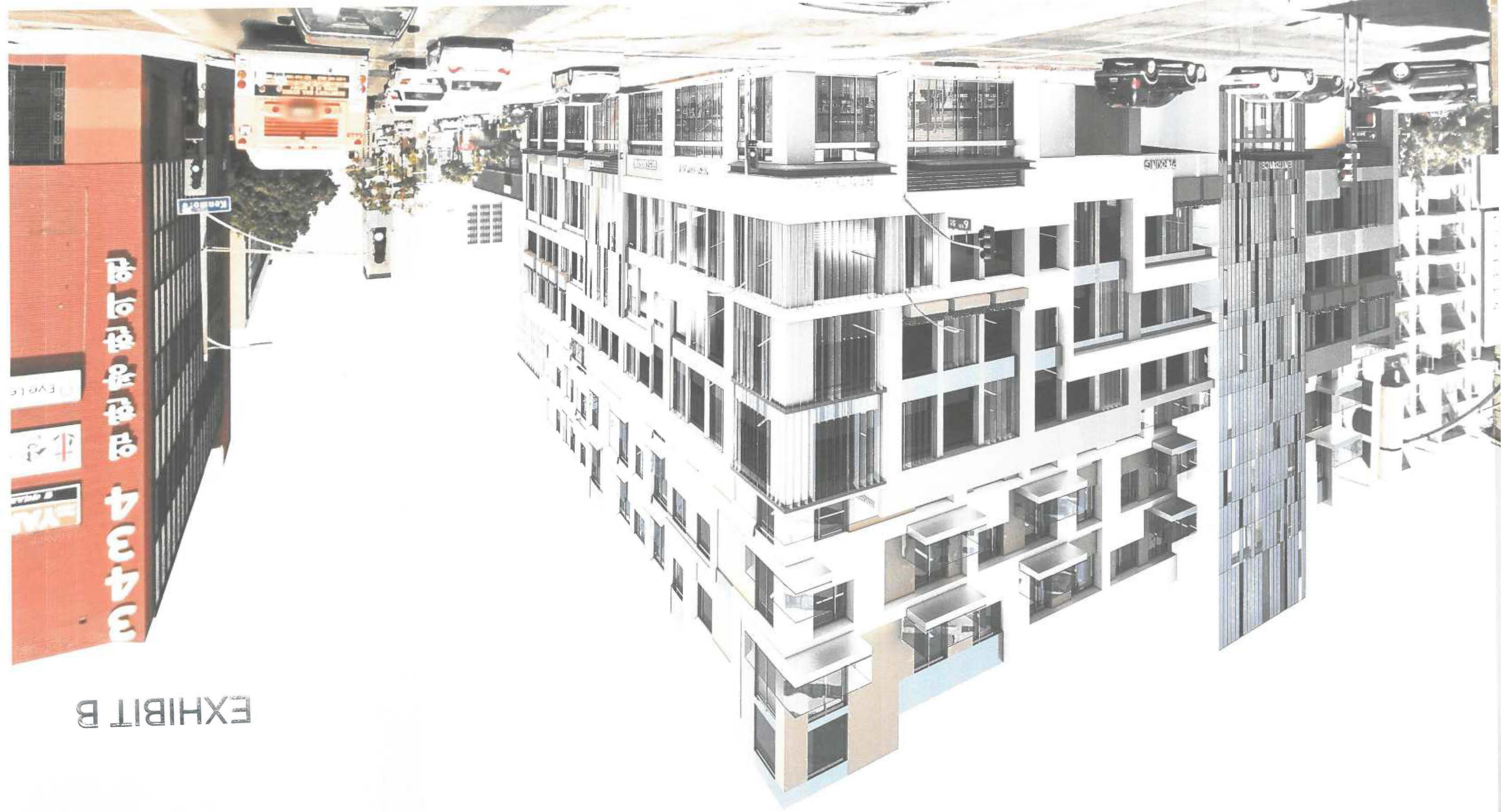
LEGAL: LOTS 1, 2, & 3 BLOCK 10, CHAPMAN PARK TRACT  
M.B. 8-54/55  
T.B. PAGE 633/634 GRID J-2/A-2  
C.D. 10 C.T. 2121.01 P.A. 106 WIL

F M G.  
440 S. VERMONT AVE. N° 201  
LOS ANGELES, CA 90020  
(213) 220-0170

0.52 AC.  
NORTH



EXHIBIT B





# KENMORE APARTMENT BUILDING - 53 UNITS

3421 W. 6th STREET.  
LOS ANGELES, CA. 90020

**SBL**  
ARCHITECTURE  
SBL Architecture  
3435 Wilshire Blvd., Suite 2170  
Los Angeles, CA 90010  
phone: 213-478-0988  
fax: 213-973-4761  
email: info@sblarch.com

## PROJECT DATA

PROJECT DESCRIPTION: PROPOSED 3 STORIES W/53-UNITS OF RESIDENTIAL W/EXISTING 4-LEVEL PARKING STRUCTURE & COMMERCIAL W/EXISTING BASEMENT PARKING W/COMMERCIAL

PROJECT ADDRESS: 3421 W. 6th ST, LOS ANGELES, CA 90020  
550 S. KENMORE AVE, LOS ANGELES, CA 90020  
544 S. KENMORE AVE, LOS ANGELES, CA 90020

LOT AREA: 22,607 SF

PROJECT OWNER: KP3, LLC.  
ZONE: C2-1

NUMBER OF STORY: 7 STORIES (NEW 3 LEVELS RESIDENTIAL O/EXISTING 4 STORY PARKING STRUCTURE) W/ EXISTING BASEMENT

NUMBER OF UNIT: TOTAL 53 UNITS  
STUDIO 12 UNITS  
1BD 32 UNITS  
2BD 9 UNITS

OCCUPANCY GROUP: R-2 (PROPOSED RESIDENTIAL)  
S-3 (EXISTING PARKING GARAGE)  
M / B / A-2&3 (EXISTING COMMERCIAL)

TYPE OF CONSTRUCTION: TYPE I (PROPOSED RESIDENTIAL)  
TYPE I (EXISTING PARKING GARAGE & BASEMENT)  
SUPERVISED FULLY SPRINKLER SYSTEM PER NFPA 13 THROUGHOUT

BLDG. SET BACK:

	REQUIRED	PROPOSED
FRONT (KENMORE AVE.)	5'	5'
SIDE (6TH ST.)	5'	5'
SIDE (NORTH)	5'	10'
REAR (EAST)	5'	10'

ALLOWABLE UNIT: 22,607 S.F. (LOT AREA) / 400 S.F. (PER RAS4) = 56 UNITS  
PROPOSED = 53 UNITS

ALLOWABLE AREA

REQUIRED

ALLOWABLE BLDG AREA BY ZONING CODE  
BLDG. AREA = 140' X 140' = 19,600 S.F.  
19,600 S.F. X 3 (RAS4) = 58,800 S.F.

PROVIDED

PROPOSED FLOOR AREA OF RESIDENTIAL AREA = 45,000 S.F.  
EXISTING COMMERCIAL AREA @ GROUND FLOOR = 8,791 S.F.  
EXISTING COMMERCIAL AREA @ BASEMENT FLOOR = 5,004 S.F.  
TOTAL = 58,795 S.F.

EXISTING STORAGE AREA @ BASEMENT FLOOR = 5,775 S.F.  
(EXCLUDED AS FLOOR AREA PER SEC. 12. 03)

OPEN SPACE:

REQUIRED

STUDIO: 12 UNITS (< 3 HABITABLE) X 100 S.F. = 1,200 S.F.  
2 BD: 9 UNITS (= 3 HABITABLE) X 125 S.F. = 1,125 S.F.  
1 BD: 32 UNITS (< 3 HABITABLE) X 100 S.F. = 3,200 S.F.  
TOTAL = 5,525 S.F.

PROVIDED

COURTYARD @ 5th FLOOR = 3,099 S.F.  
RECREATION ROOM @ 5th FLOOR = 778 S.F.  
BALCONY @ 5th, 6th, 7th FLOOR = 1,800 S.F.  
TOTAL = 5,677 S.F.

LANDSCAPE:

REQUIRED

OPEN SPACE - 5,525 S.F.  
5,525 S.F./2 = 2,762.5 X 25% = 691 S.F.

PROVIDED

LANDSCAPE @ COURTYARD = 1,413 S.F.

TREES: 53 UNIT / 4 EA = 14 TREES  
TOTAL # OF TREES @ COURTYARD = 36 TREES

## PROJECT SUMMARY

**BUILDING AREA**

**A. EXISTING BUILDING AREA ( PARKING & COMMERCIAL )**

1. BASEMENT

PARKING AREA	9,635 S.F.
COMMERCIAL AREA	5,004 S.F.
COMMON AREA (MECH./CORE/CORRIDOR/STORAGE)	5,775 S.F.
TOTAL BASEMENT AREA	20,414 S.F.

2. GROUND FLOOR

PARKING AREA	12,661 S.F.
COMMERCIAL AREA	8,791 S.F.
COMMON AREA (CORE/CORRIDOR)	1,097 S.F.
SUB TOTAL	22,549 S.F.

3. 2nd FLOOR

PARKING AREA	21,589 S.F.
COMMON AREA (CORE)	811 S.F.
SUB TOTAL	22,400 S.F.

4. 3rd FLOOR

PARKING AREA	21,589 S.F.
COMMON AREA (CORE)	811 S.F.
SUB TOTAL	22,400 S.F.

5. 4th FLOOR

PARKING AREA	21,589 S.F.
COMMON AREA (CORE)	811 S.F.
SUB TOTAL	22,400 S.F.

TOTAL (GROUND-4th) 89,749 S.F.

**- TOTAL EXISTING BLDG. AREA**

BASEMENT FLOOR	20,414 S.F.
GROUND ~ 4th FLOOR	89,749 S.F.
TOTAL	110,163 S.F.

**B. PROPOSED RESIDENTIAL AREA**

1. 5th FLOOR

RESIDENTIAL AREA	10,971 S.F.
COMMON AREA (CORE/HALLWAY/TRASH ROOM/STORAGE)	3,223 S.F.
RECREATION ROOM	778 S.F.
SUB TOTAL	14,972 S.F.

2. 6th FLOOR

RESIDENTIAL AREA	11,749 S.F.
COMMON AREA (CORE/HALLWAY/TRASH ROOM/STORAGE)	3,265 S.F.
SUB TOTAL	15,014 S.F.

3. 7th FLOOR

RESIDENTIAL AREA	11,749 S.F.
COMMON AREA (CORE/HALLWAY/TRASH ROOM/STORAGE)	3,265 S.F.
SUB TOTAL	15,014 S.F.

TOTAL RESIDENTIAL AREA 45,000 S.F.

**- TOTAL BLDG. AREA**

A. EXISTING BUILDING (PARKING & COMMERCIAL) 110,163 S.F.

B. NEW RESIDENTIAL 45,000 S.F.

TOTAL 155,163 S.F.

## VICINITY MAP



## LEGAL DESCRIPTION

LOT: 1 - 7,533.2 S.F. ( 3421 W, 6th ST.)  
2 - 7,535.7 S.F. ( 550 S, KENMORE AVE.)  
3 - 7,538.1 S.F. ( 544 S, KENMORE AVE.)

Thomas Brothers Grid: PAGE 633 - GRID J2  
PAGE 634 - GRID A2

Assessor Parcel No. (APN): 5502021001

Tract: CHAPMAN PARK TRACT

Map Reference: M B 8-54/55

Block: 10

Arb: None

Map Sheet: 135B197

COMMUNITY PLAN AREA: WILSHIRE

AREA PLANNING COMMISSION: CENTRAL

NEIGHBORHOOD COUNCIL: WILSHIRE - KOREATOWN

COUNCIL DISTRICT: CD 10 - HERB J. WESSON, JR.

CENSUS TRACT #: 2121.01

ZONING INFORMATION(ZI): ZI-2374 LOS ANGELES STATE ENTERPRISE ZONE  
ZI-1940 WILSHIRE CENTER/KOREATOWN REDEVELOPMENT PROJECT

## PARKING REQUIREMENTS

**A. PARKING FOR EXISTING COMMERCIAL (PER ENTERPRISE ZONE)**

NO.	FACTOR	AREA	TENANT	REQUIRED PARKING
1	500	2,279	CHURCH	5
2	500	2,725	PRINTING SHOP	5
3	500	1,113	RESTAURANT-A	2
4	500	313	RETAIL SHOP-B	1
5	500	1,275	MASSAGE SHOP-C	3
6	500	1,266	RETAIL SHOP-D	3
7	500	612	HAIR SHOP-E	1
8	500	3,205	RESTAURANT-F	6
9	500	528	RETAIL SHOP-G	1
10	500	479	RETAIL SHOP-H	1
TOTAL				28

REQUIRED TOTAL = 28

2nd FLOOR = 41  
GROUND FLOOR = 5  
BASEMENT FLOOR = 23  
TOTAL = 69

PROVIDED

**B. PARKING FOR RESIDENTIAL**

9 UNITS (< 3 HABITABLE) X 2 = 18  
32 UNITS (= 3 HABITABLE) X 1.5 = 48  
12 UNITS (> 3 HABITABLE) X 1 = 12  
TOTAL = 78

REQUIRED TOTAL = 78

4th FLOOR = 41  
3rd FLOOR = 39  
TOTAL = 80

PROVIDED

## BICYCLE PARKING

REQUIRED

LONG-TERM: 53 UNITS / 1 = 53  
SHORT-TERM: 53 UNITS / 10 = 5  
TOTAL = 58

PROVIDED

LONG-TERM = 54  
SHORT-TERM = 5  
TOTAL = 59

## SHEET INDEX

### ARCHITECTURAL

- 1 - A0.1 COVER SHEET
- 2 - A1.1 SITE PLAN
- 3 - A2.0 BASEMENT PLAN
- 4 - A2.1 FIRST FLOOR PLAN
- 5 - A2.2 SECOND FLOOR PLAN
- 6 - A2.3 THIRD FLOOR PLAN
- 7 - A2.4 FOURTH FLOOR PLAN
- 8 - A2.5 FIFTH FLOOR PLAN
- 9 - A2.6 SIXTH FLOOR PLAN
- 10 - A2.7 SEVENTH FLOOR PLAN
- 15 - A3.1 SOUTH ELEVATION
- 16 - A3.2 WEST ELEVATION
- 17 - A3.3 NORTH ELEVATION
- 18 - A3.4 EAST ELEVATION
- 19 - A4.1 SECTION 1
- 20 - A4.2 SECTION 2
- 21 - A5.1 LANDSCAPE PLAN

owner: KP3, LLC.

P.O. Box 3730  
Palos Verdes, CA 90270

project:

**Kenmore  
Apartment at  
6th Street**

552 Kenmore Avenue  
Los Angeles, CA 90010

consultants:

structural: Basis & Assoc. Inc.  
mechanical:  
electrical:  
plumbing:  
fire protection:

Revisions:

project no:

13079.00

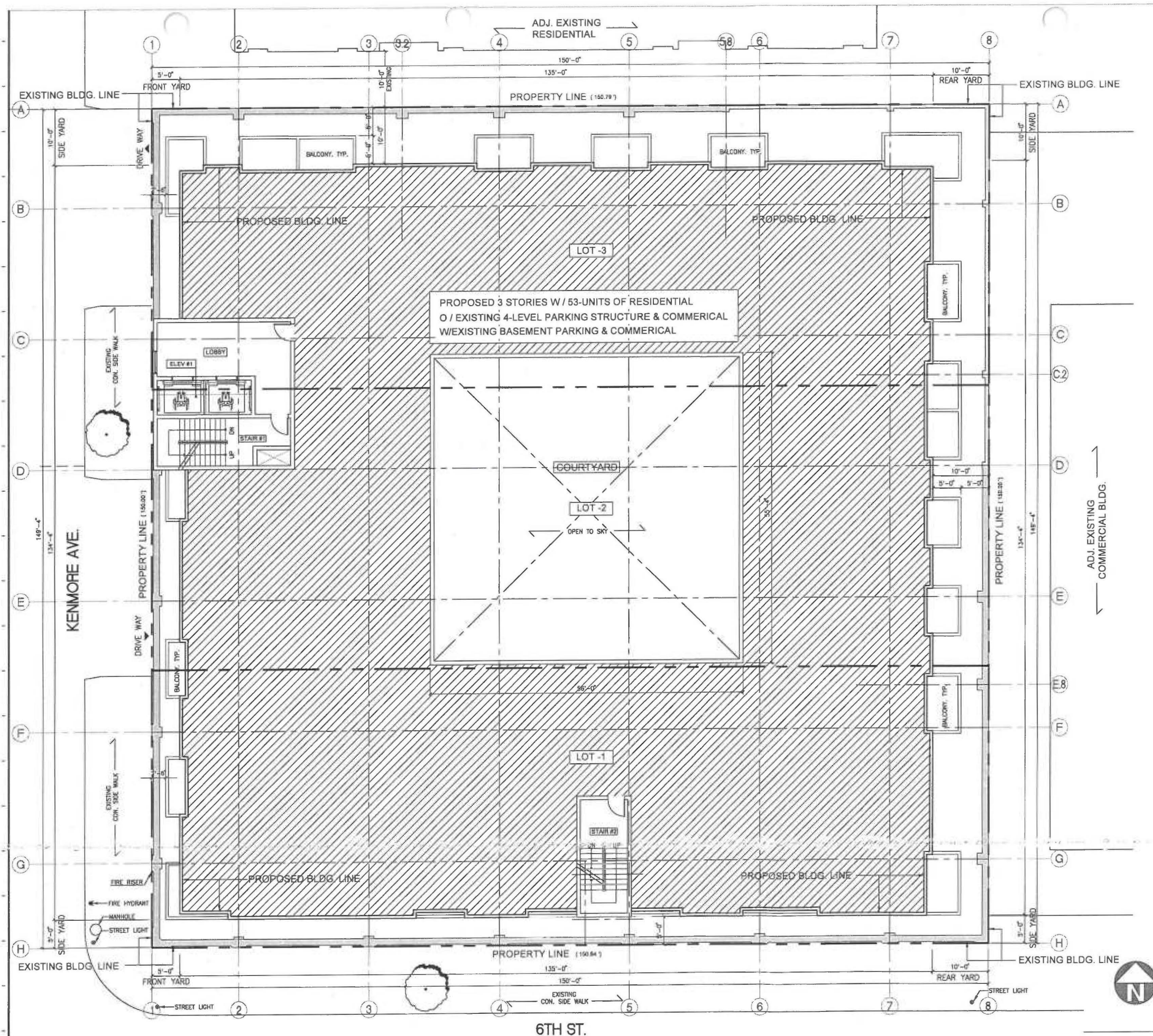
drawing title:

- COVER SHEET

sheet no: Sheet #1

**A0.1**





SBL Architecture  
3435 Wilshire Blvd., Suite 2170  
Los Angeles, CA 90010  
phone: 213.478.0388  
fax: 213.973.4741  
email: info@sblarch.com

owner:  
**KP3, LLC.**

P.O. Box 3730  
Palos Verdes, CA 90270

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**Kenmore  
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552 Kenmore Avenue  
Los Angeles, CA 90010

consultants:  
structural: **Basis & Assoc. Inc.**  
mechanical:  
electrical:  
plumbing:  
fire protection:

Revisions:

project no:  
13079.00

drawing title:  
**-SITE PLAN**

sheet no. **Sheet #2**

**A1.1**

SITE PLAN  
scale: 1/8" = 1'-0"



owner:  
**KP3, LLC.**

P.O. Box 3730  
Palos Verdes, CA 90270

project:  
**Kenmore  
Apartment at  
6th Street**  
552 Kenmore Avenue  
Los Angeles, CA 90010

consultants:  
structural: **Basis & Assoc. Inc.**  
mechanical:  
electrical:  
plumbing:  
fire protection:

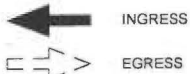
Revisions:

project no:  
13079.00

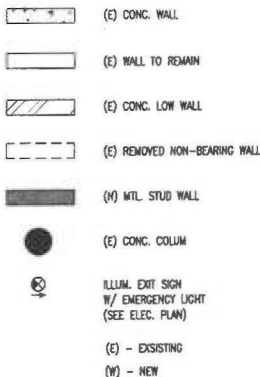
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**FLOOR PLAN  
-BASEMENT FLOOR**  
sheet no: **Sheet #3**

**A2.0**

**PARKING CIRCULATION LEGEND**



**WALL LEGEND**



**BASEMENT FLOOR:**

Parking Area (Commercial Parking)						
Use	Gross Area	Net Area	Parking Required	# of Parking		
(E) Parking Area	9,635			23 STALLS		
(E) Ramp Pit #2	1,544					*Not include in area
Sub Total	9,635					
Common Area						
Use	Gross Area	Net Area	Ext Wall	Shaft	High Clg	Open Area
(E) Corridor	1,426					
(N) STAIR #1	168					
(N) STAIR #2	163					
(N) ELEV #1	125					
(N) ELEV #2	64					
(E) MECH. Room	254					
(E) STORAGE-A	1,155					
(E) STORAGE-B	477					
(E) STORAGE-C	1,296					
(E) STORAGE-D	522					
(E) STORAGE-E	125					
Sub Total	5,779					
Commercial Area						
Use	Gross Area	Net Area	Ext Wall	Shaft	High Clg	Open Area
(E) CHURCH	2,279					
(E) PRINTING SHOP	2,725					
Sub Total	5,004					
Total	20,414					

EXISTING BASEMENT FLOOR PLAN  
scale: 1/8" = 1'-0"



OWNER

**KP3, LLC.**

P.O. Box 3730  
Palos Verdes, CA 90270

PROJECT

**Kenmore  
Apartment at  
6th Street**

552 Kenmore Avenue  
Los Angeles, CA 90010

CONSULTANTS

structural: Basis & Assoc. Inc.  
mechanical:  
electrical:  
plumbing:  
fire protection:

REVISIONS:

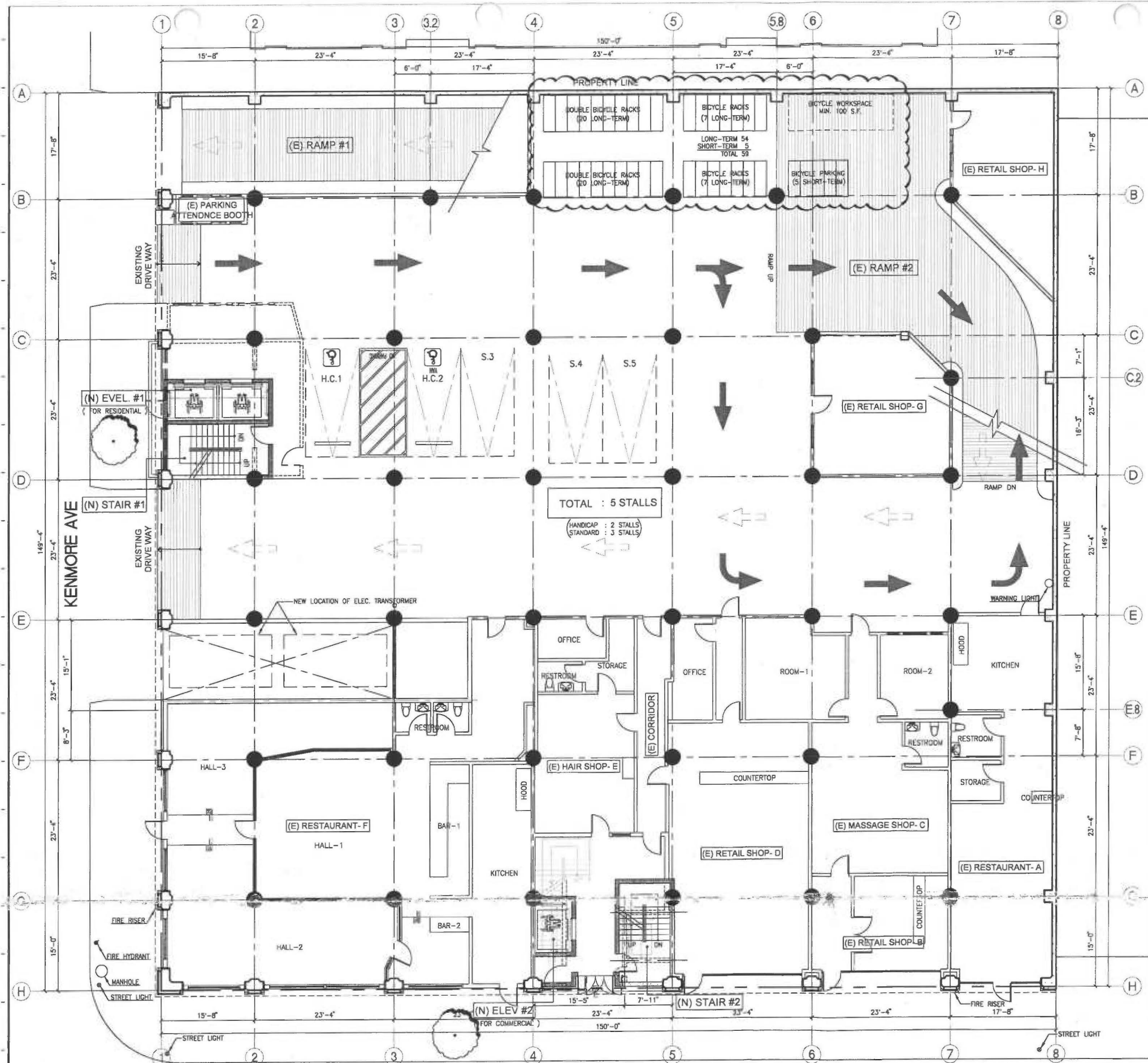
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13079.00

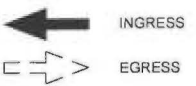
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**FLOOR PLAN  
-FIRST FLOOR**  
sheet no: **Sheet #4**

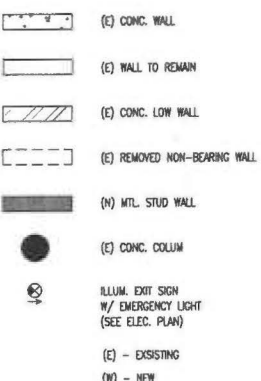
**A2.1**



**PARKING CIRCULATION LEGEND**



**WALL LEGEND**



**1ST FLOOR**

Parking Area (Commercial Parking)						
	Use	Gross Area	Net Area	Parking Required	# of Parking	
(E)	Parking Area	10,188			5 STALLS	
(E)	Ramp-1	1,066				
(E)	Ramp-2	1,355				
(E)	Parking Attendance Booth	52				
Sub Total		12,661	-			
Common Area						
	Use	Gross Area	Net Area	Ext. Wall	Shaft	High Clg. Open Area
(E)	Corridor	565				
(N)	STAIR #1	172				
(N)	STAIR #2	167				
(N)	ELEV #1	129				
(N)	ELEV #2	64				
Sub Total		1,097	-			
Commercial Area						
	Use	Gross Area	Net Area	Ext. Wall	Shaft	High Clg. Open Area
(E)	Restaurant - A	1,113				
(E)	Retail Shop - B	913				
(E)	Massage Shop - C	1,275				
(E)	Retail Shop - D	1,266				
(E)	Hair shop - E	612				
(E)	Restaurant - F	3,205				
(E)	Retail Shop - G	528				
(E)	Retail Shop - H	479				
Sub Total		8,791	-			
Total		22,549	-			

EXISTING FIRST FLOOR PLAN  
scale: 1/8" = 1'-0"

**A**

owner:  
**KP3, LLC.**

P.O. Box 3730  
Palos Verdes, CA 90270

project:  
**Kenmore  
Apartment at  
6th Street**

552 Kenmore Avenue  
Los Angeles, CA 90010

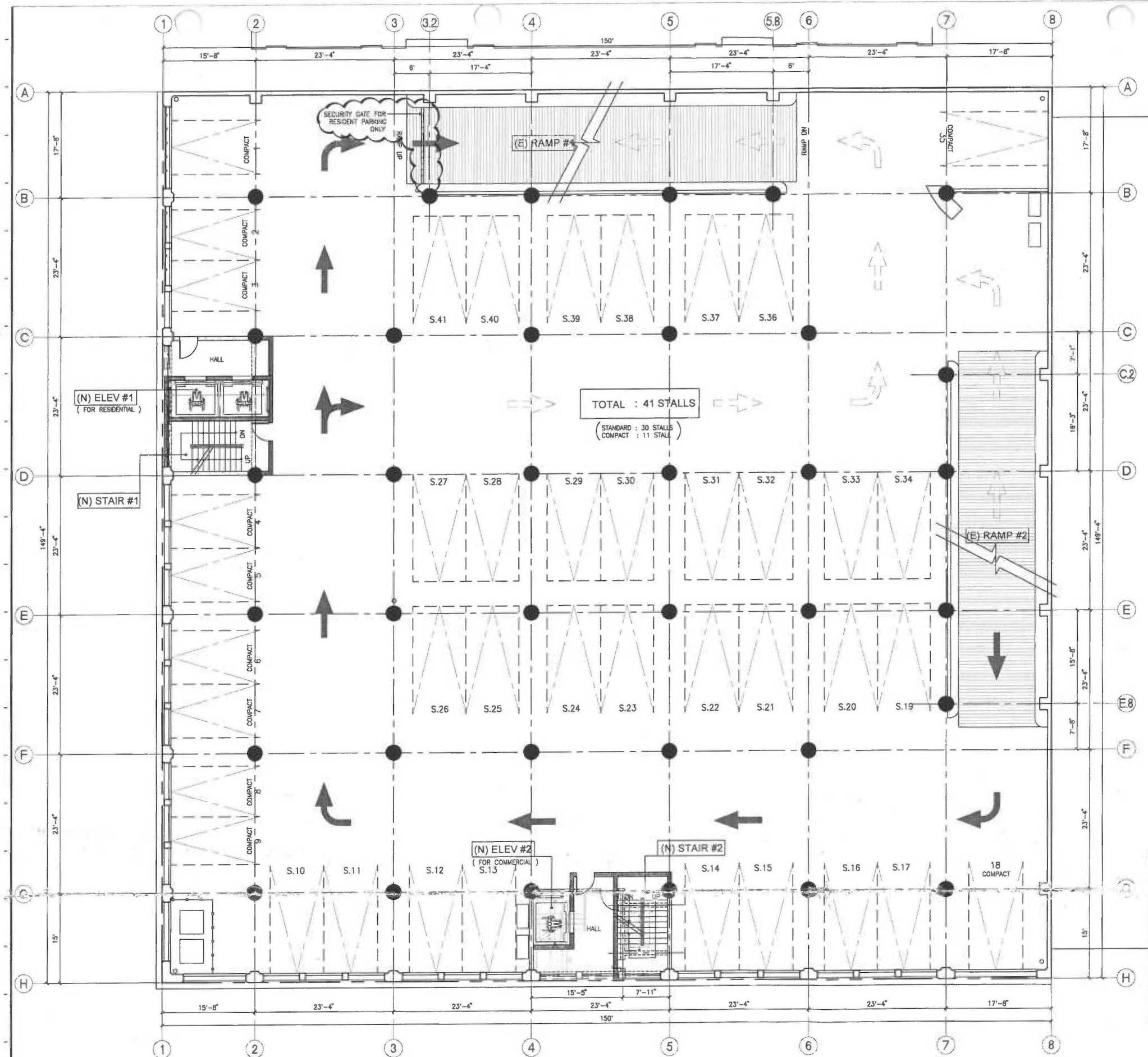
consultants:  
structural: **Basis & Assoc. Inc.**  
mechanical:  
electrical:  
plumbing:  
fire protection:

Revisions:

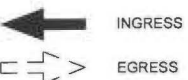
project no.  
13079.00

drawing title:  
**FLOOR PLAN  
- SECOND FLOOR**  
sheet no: **Sheet #5**

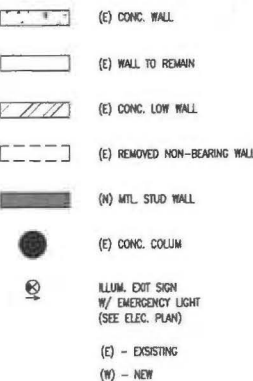
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**PARKING CIRCULATION LEGEND**

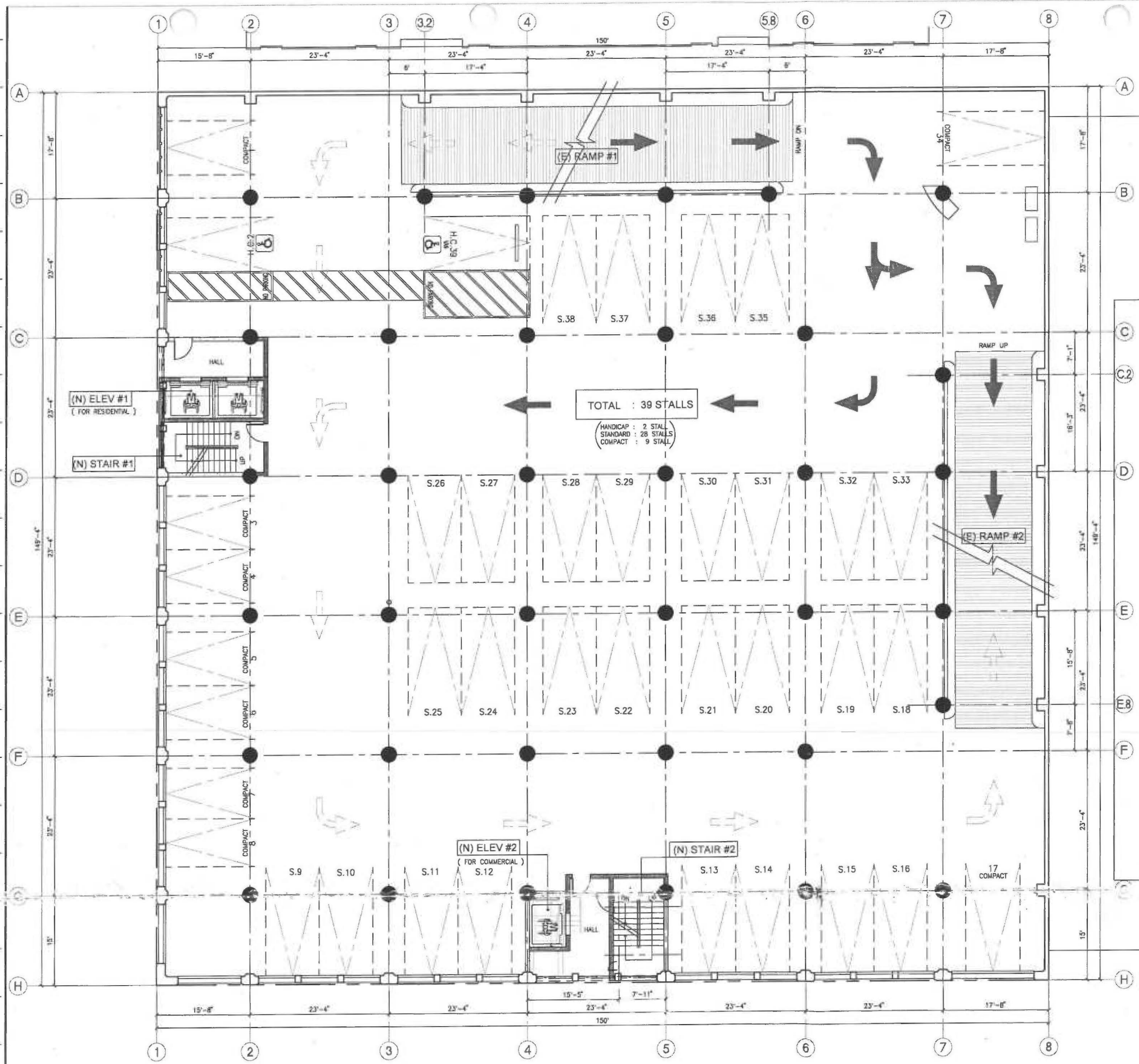


**WALL LEGEND**



2ND FLOOR							
Parking Area (Commercial Parking)							
	Use	Gross Area	Net Area	Parking Required	# of Parking		
(E) Ramp #1		1,130			41 STALLS		
(E) Ramp #2		1,063					
Sub Total		21,583					
Common Area							
	Use	Gross Area	Net Area	Ext. Wall	Shaft	High Ctg. Open Area	Sub Total
(N) STAIR #1		168					
(N) STAIR #2		163					
(N) ELEV #1		125					
(N) ELEV #2		64					
(N) HALL		291					
Sub Total		811					
Total		22,394					

**EXISTING SECOND FLOOR PLAN**  
scale: 1/8" = 1'-0" **A**



**PARKING CIRCULATION LEGEND**

- ← INGRESS  
→ EGRESS

**WALL LEGEND**

- (E) CONC. WALL  
(E) WALL TO REMAIN  
(E) CONC. LOW WALL  
(E) REMOVED NON-BEARING WALL  
(N) MTL. STUD WALL  
(E) CONC. COLUMN  
ILLUM. EXIT SIGN  
W/ EMERGENCY LIGHT  
(SEE ELEC. PLAN)  
(E) - EXISTING  
(N) - NEW

3RD FLOOR						
Parking Area (Residential Parking)						
	Gross Area	Net Area	Ext. Wall	Shaft	High Clg. Open Area	Sub Total
(E) Ramp #1	1,130					
(E) Ramp #2	1,083					
Sub Total	21,589					
Common Area						
	Use	Gross Area	Net Area	Ext. Wall	Shaft	High Clg. Open Area
(N) STAIR #1		168				
(N) STAIR #2		163				
(N) ELEV #1		125				
(N) ELEV #2		64				
(N) HALL		291				
Sub Total		811				
Total		22,400				

**EXISTING THIRD FLOOR PLAN**  
scale: 1/8" = 1'-0"



owner: **KP3, LLC.**

P.O. Box 3730  
Palos Verdes, CA 90270

project: **Kenmore  
Apartment at  
6th Street**

552 Kenmore Avenue  
Los Angeles, CA 90010

consultants:  
structural: **Basis & Assoc. Inc.**  
mechanical:  
electrical:  
plumbing:  
fire protection:

Revisions:

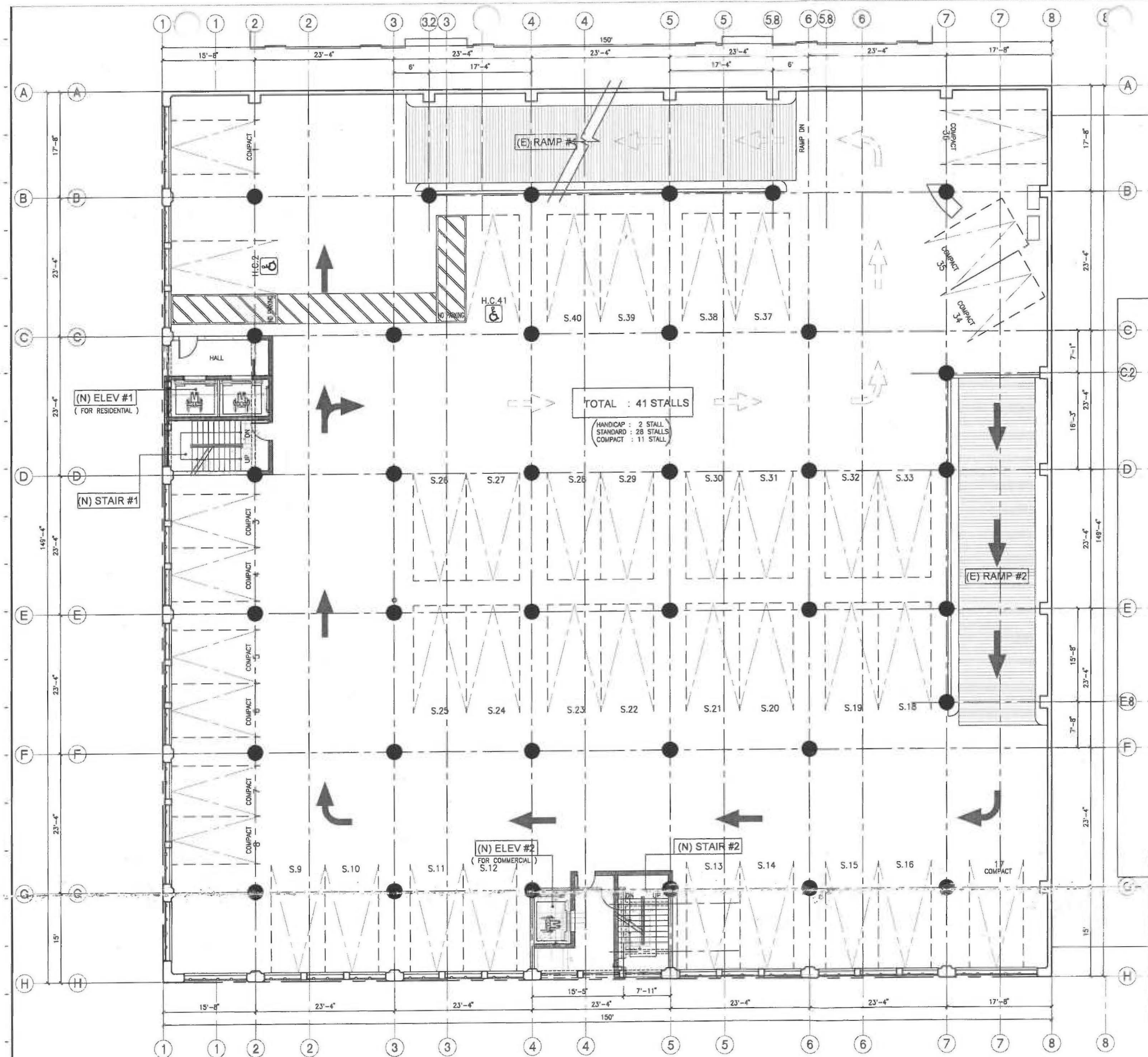
project no. 13079.00

drawing title:

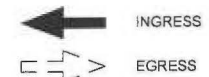
**FLOOR PLAN  
- FOURTH FLOOR**

sheet no. **Sheet #7**

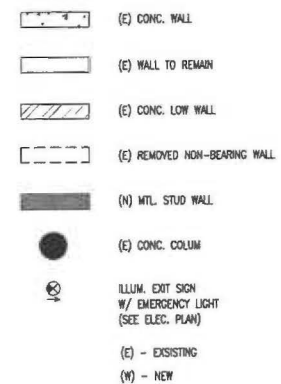
**A2.4**



**PARKING CIRCULATION LEGEND**



**WALL LEGEND**



4TH FLOOR						
Parking Area (Residential Parking)						
Use	Gross Area	Net Area	Ext. Wall	Slabs	High Clg. Open Area	Sub Total
(E) Parking Area	19,376					
(E) Ramp #1	1,130					
(E) Ramp #2	1,083					
Sub Total	21,589					
Common Area						
Use	Gross Area	Net Area	Ext. Wall	Slabs	High Clg. Open Area	Sub Total
(N) STAIR #1	168					
(N) STAIR #2	163					
(N) ELEV #1	125					
(N) ELEV #2	64					
(N) HALL	291					
Sub Total	811					
Total	22,400					



WALL LEGEND

- 2 X MTL STUD INT WALL
- 2 X MTL STUD EXT WALL
- C.M.U. WALL
- 1HR. SHFT WALL
- 2HR. SHFT WALL
- PARTY WALL
- ILLUM. EXIT SIGN  
W/ EMERGENCY LIGHT  
(SEE ELEC. PLAN)

5TH FLOOR

Summary of Residential Unit							
2Bed / 2Bath Room	3 Units						
1Bed / 1Bath Room	10 Units						
Studio	4 Units						
Total	27 Units						
Residential Area							
# Unit	Use	Gross Area	Net Area	Balcony	Bed Room	Bat	Bath
# 501	R2	578	522	126	1	1	1
# 502	R2	574	527	63	1	1	1
# 503	R2	574	527	63	1	1	1
# 504	R2	574	527	63	1	1	1
# 505	R2	574	527	63	1	1	1
# 506	R2	817	756	161	2	2	2
# 507	R2	416	375	52	Studio	1	1
# 508	R2	431	391	52	Studio	1	1
# 509	R2	431	391	53	Studio	1	1
# 510	R2	431	391	53	Studio	1	1
# 511	R2	570	527	63	1	1	1
# 512	R2	786	723	81	1	1	1
# 513	R2	781	713	9	1	1	1
# 514	R2	779	713	9	1	1	1
# 515	R2	768	713	9	1	1	1
# 516	R2	905	842	72	2	2	2
# 517	R2	982	909	36	2	2	2
Sub Total		10,971	10,073	1,028			
Common Area							
Unit	Gross Area	Net Area	Balcony				
STAIR #1	228						
STAIR #2	181						
ELEV #1	125						
Hallways	2,532						
Trash Room	76						
Storage	80						
Sub Total	3,223						
Open Space Area							
Courtyard	3,099						
Recreation Room	778						
Sub Total	3,877						
Total	14,972						

owner

KP3, LLC.

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project:

**Kenmore  
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552 Kenmore Avenue  
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consultants:

structural: Basis & Assoc. Inc.  
mechanical:  
electrical:  
plumbing:  
fire protection:

Revisions:

project no:

13079.00

drawing title:

**FLOOR PLAN  
- FIFTH FLOOR**

sheet no:

Sheet #8

**A2.5**



owner  
**KP3, LLC.**  
P.O. Box 3730  
Palos Verdes, CA 90270

project  
**Kenmore  
Apartment at  
6th Street**  
552 Kenmore Avenue  
Los Angeles, CA 90010

consultants:  
structural: Basis & Assoc. Inc.  
mechanical:  
electrical:  
plumbing:  
fire protection:

Revisions:

project no:  
13079.00

drawing title:  
**FLOOR PLAN  
- SIXTH FLOOR**  
sheet no. **Sheet #9**

**A2.6**

**WALL LEGEND**

- 2 X WIL STUD INT WALL
- 2 X WIL STUD EXT WALL
- CMU WALL
- 1HR. SHAFT WALL
- 2HR. SHAFT WALL
- PARTY WALL
- ILLUM. EXIT SIGN  
W/ EMERGENCY LIGHT  
(SEE ELEC. PLAN)








**6TH FLOOR**

Summary of Residential Unit						
2Bed / 2Bath Room	3 Units					
1Bed / 1bath Room	11 Units					
Studio	4 Units					
<b>Total</b>	<b>18 Units</b>					
Residential Area						
# Unit	Use	Gross Area	Net Area	Balcony	# of Bedroom	# of Bath
# 601	R2	578	522	126	1	1
# 602	R2	574	527	63	1	1
# 603	R2	574	527	63	1	1
# 604	R2	574	527	63	1	1
# 605	R2	574	527	63	1	1
# 606	R2	817	756	161	2	2
# 607	R2	416	375	52	Studio	1
# 608	R2	431	391	52	Studio	1
# 609	R2	431	391	53	Studio	1
# 610	R2	431	391	53	Studio	1
# 611	R2	570	527	63	1	1
# 612	R2	786	723	81	1	1
# 613	R2	781	713	9	1	1
# 614	R2	779	713	9	1	1
# 615	R2	768	713	9	1	1
# 616	R2	905	842	72	2	2
# 617	R2	982	909	36	2	2
# 618	R2	778	713	32	1	1
<b>Sub Total</b>		<b>11,749</b>	<b>10,786</b>	<b>1,060</b>		
Common Area						
Area	Use	Gross Area	Net Area	Balcony		
STAIR #1		228				
ELEV #1		125				
Walkway		2,575				
Trash Room		76				
Storage		80				
<b>Sub Total</b>		<b>3,265</b>				
<b>Total</b>		<b>15,014</b>				

NEW SIXTH FLOOR PLAN  
scale: 1/8" = 1'-0"



**WALL LEGEND**

-  2 X MTL STUD INT WALL
-  2 X MTL STUD EXT WALL
-  CMU WALL
-  1HR. SHAFT WALL
-  2HR. SHAFT WALL
-  PARTY WALL
-  ELEV. EXT SIGN  
W/ EMERGENCY LIGHT  
(SEE ELEC. PLAN)

**7TH FLOOR**

Summary of Residential Unit						
28bed / 28bath Room	3 Units					
18bed / 18bath Room	11 Units					
Studio	4 Units					
Total	18 Units					
Residential Area						
# Unit	Use	Gross Area	Net Area	Balcony	# of Bedroom	# of Bath
# 701	R2	578	522	126	1	1
# 702	R2	574	527	63	1	1
# 703	R2	574	527	63	1	1
# 704	R2	574	527	63	1	1
# 705	R2	574	527	63	1	1
# 706	R2	817	756	161	2	2
# 707	R2	416	375	52	Studio	1
# 708	R2	431	391	52	Studio	1
# 709	R2	431	391	53	Studio	1
# 710	R2	431	391	53	Studio	1
# 711	R2	570	527	63	1	1
# 712	R2	786	723	81	1	1
# 713	R2	781	713	9	1	1
# 714	R2	779	713	9	1	1
# 715	R2	768	713	9	1	1
# 716	R2	905	842	72	2	2
# 717	R2	982	909	36	2	2
# 718	R2	778	713	32	1	1
Sub Total		11,749	10,786	1,060		
Common Area						
Area	Use	Gross Area	Net Area	Balcony		
STAIR #1		228				
ELEV #1		125				
Walkway		2,575				
Trash Room		76				
Storage		80				
Sub Total		3,265				
Total		15,014				



owner:  
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Los Angeles, CA 90010

consultants:  
structural: Basis & Assoc. Inc.  
mechanical:  
electrical:  
plumbing:  
fire protection:

Revisions:  
  
  
  
  
  
  
  
  
  
  
project no:  
13079.00  
  
drawing title:  
- SOUTH  
ELEVATION  
sheet no: **Sheet #15**

**A3.1**



**SOUTH ELEVATION**  
scale: 1/8" = 1'-0" **A**

**FINISHED LEGEND**

- ① STUCCO TYP1  
: LAHABRA - CRYSTAL WHITE 50 (79)/BASE 100
- ② STUCCO TYP2  
: LAHABRA - BELLE GLADE 81583 (27) / BASE 100
- ③ STUCCO TYP3  
: LAHABRA - BLUE GREY 504 (47) / BASE 200
- ④ METAL PAINT  
: BEHR - AMERICANA 570D-5
- ⑤ CONCRETE FINISHED
- ⑥ COLORED TRANSLUCENT ACRYLIC PANEL
- ⑦ TEMPERED GLASS RAILING W/ METAL HAND RAIL
- ⑧ LOUVER SHADE





NORTH ELEVATION (A)  
scale: 1/8" = 1'-0"

# FINISHED LEGEND

- ① STUCCO TYP1  
: LAHABRA - CRYSTAL WHITE 50 (79)/BASE 100
- ② STUCCO TYP2  
: LAHABRA - BELLE GLADE 81583 (27) / BASE 100
- ③ STUCCO TYP3  
: LAHABRA - BLUE GREY 504 (47) / BASE 200
- ④ METAL PAINT  
: BEHR - AMERICANA 570D-5
- ⑤ CONCRETE FINISHED
- ⑥ COLORED TRANSLUCENT ACRYLIC PANEL
- ⑦ TEMPERED GLASS RAILING W/ METAIL HAND RAIL
- ⑧ LOUVERED SHADE

owner:  
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consultants:  
structural: Basis & Assoc. Inc.  
mechanical:  
electrical:  
plumbing:  
fire protection:

Revisions:

project no:  
13079.00

drawing title:  
- NORTH  
ELEVATION  
sheet no: **Sheet #17**

**A3.3**





**KP3, LLC.**

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**Kenmore  
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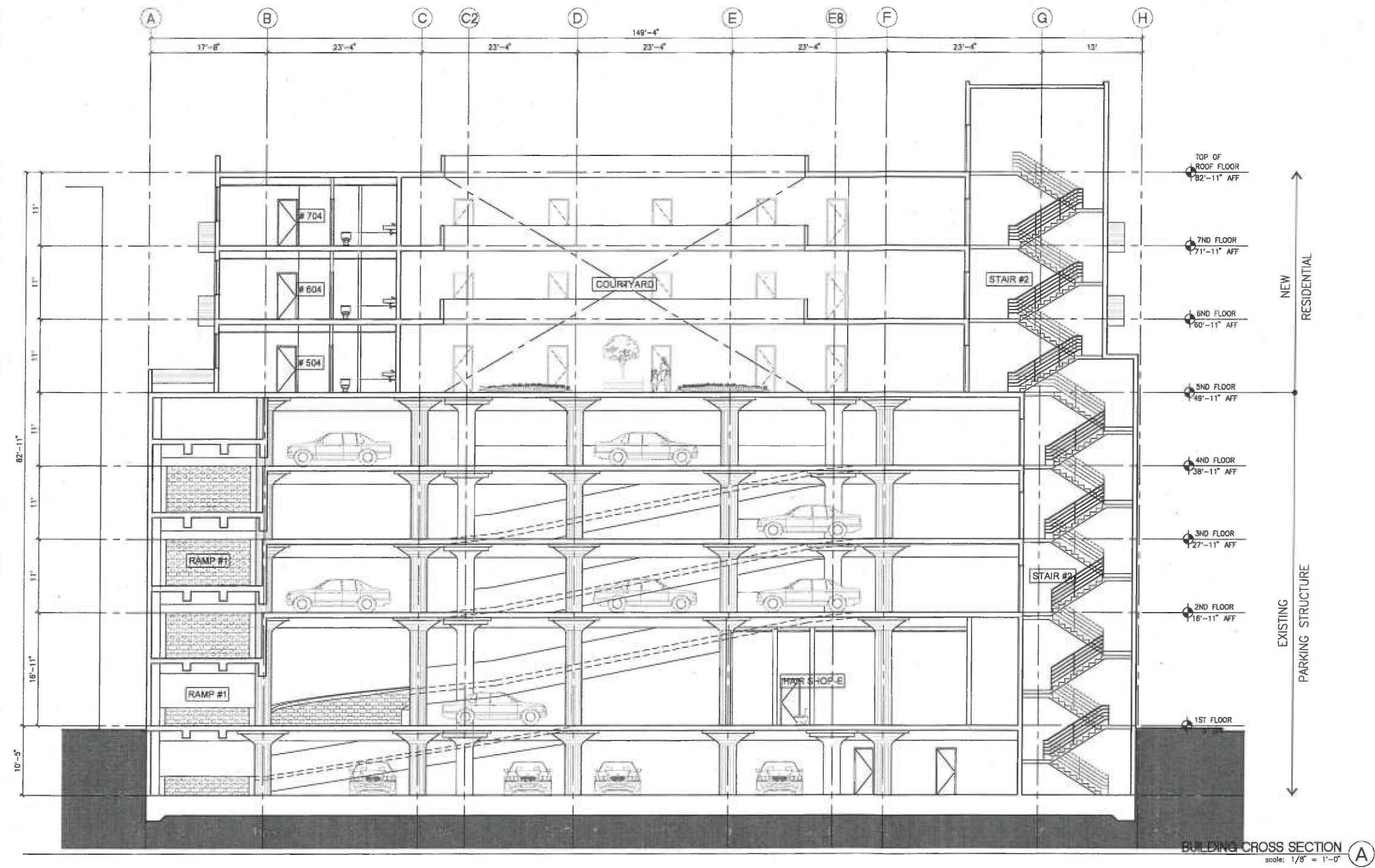
Structural: Basis & Assoc. Inc.

visions.

Project no: 13079.00

awing title:  
-BUILDING CROSS  
SECTION 1  
eel no. Sheet #19

## A4.1







owner:  
**KP3, LLC.**

P.O. Box 3730  
Palos Verdes, CA 90270

project:  
**Kenmore  
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Los Angeles, CA 90010

consultants:  
structural: **Basis & Assoc. Inc.**  
mechanical:  
electrical:  
plumbing:  
fire protection:

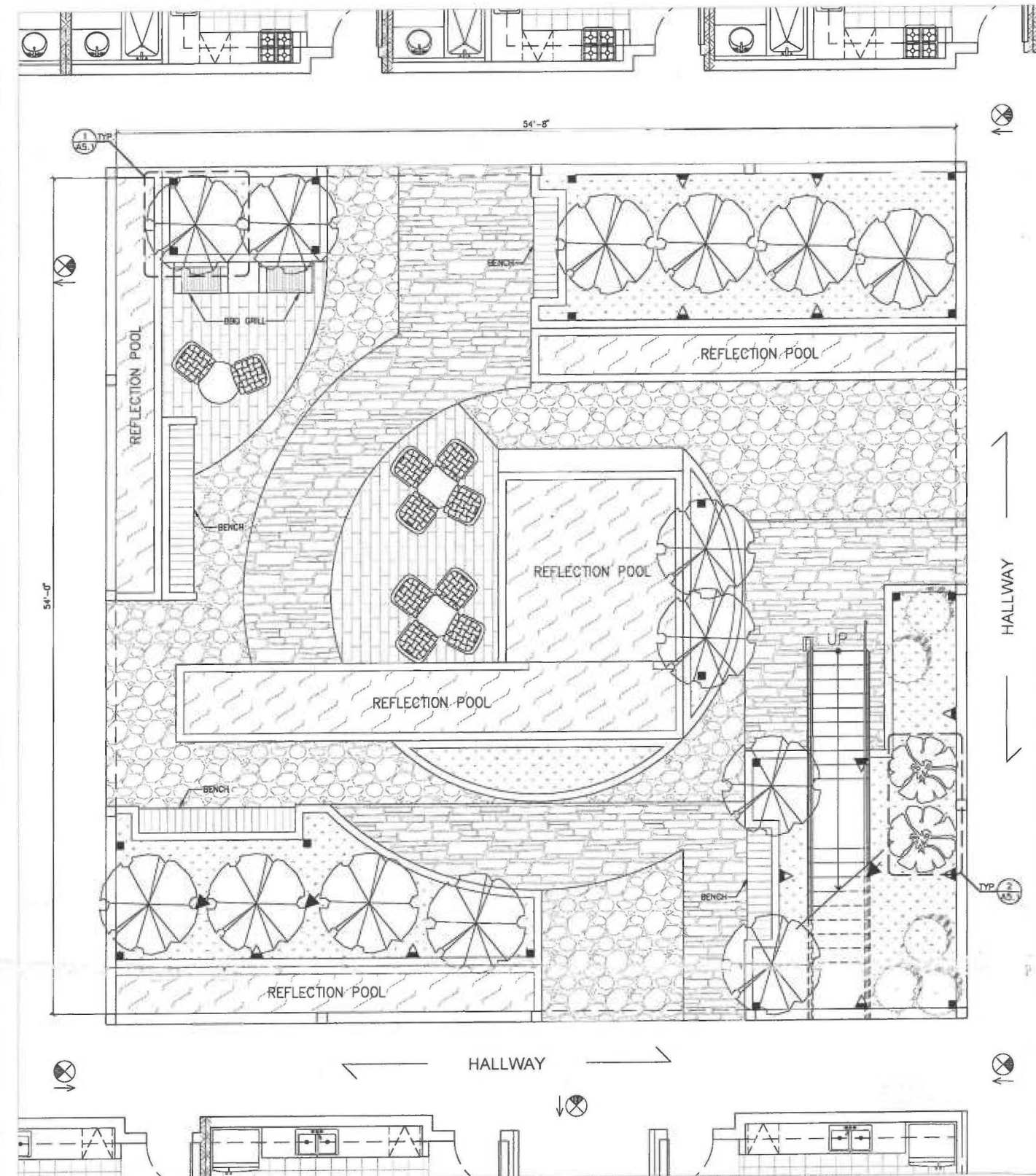
Revisions:

project no:  
13079.00

drawing title:  
**- LANDSCAPE  
PLAN**

sheet no. **Sheet #21**

**A5.1**



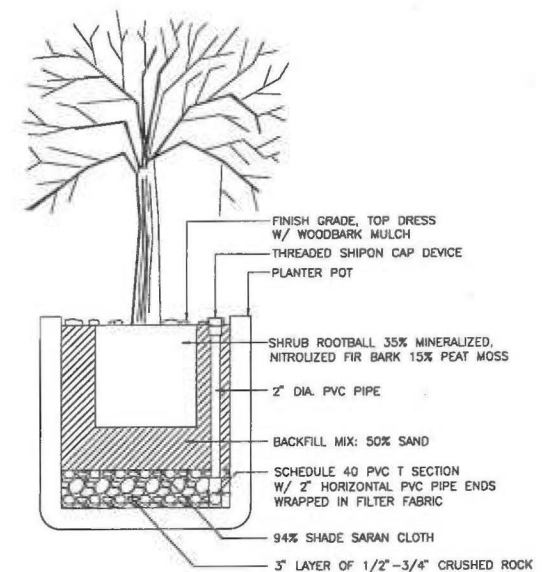
LANDSCAPE / IRRIGATION PLAN • COURTYARD  
scale: 1/4" = 1'-0" A

**LANDSCAPE LEGEND**

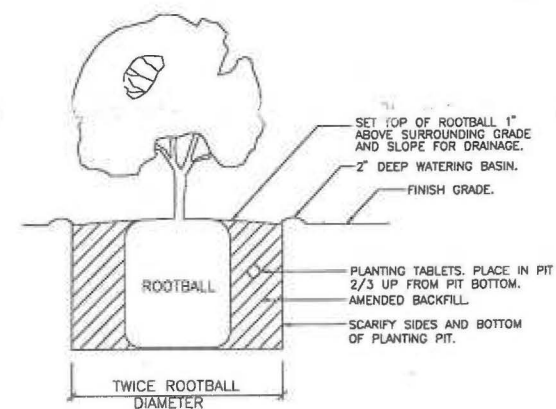
		SIZES	COUNT
	HYMENOSPORUM FLAVUM 'SWEET SHADE'	24" BOX ( 53 UNIT/4 = 14 TREES )	14
	BUXUS JAPONICA 'JAPANESE BOXWOOD'	5 GAL	5
	LIQUIDAMBER STYRACIFLUA 'PALO ALTO' AMERICAL SWEET GUM	15 GAL	2
	TRACHLOSPERUM JASMINOIDES STAR JASMIN	500	
	STONE 1 PAVING AREA		
	STONE 2 PAVING AREA		
	WOOD DECK AREA		

**IRRIGATION LEGEND**

SYMBOL	MFG.	MODEL	DESCRIPTION	ARC	RADIUS	P.S.I.	G.P.M.
	RAINBIRD 5H	1806SAM	5" POP-UP SPRINKLER	180	5'	30	.20
	RAINBIRD 50	1806SAM	5" POP-UP SPRINKLER	90	5'	30	.10
	RAINBIRD 8F	1806SAM	5" POP-UP SPRINKLER	360	8'	30	1.05
	RAINBIRD	5CST-B	MPR STREAM BUBBLER		5'	30	.50

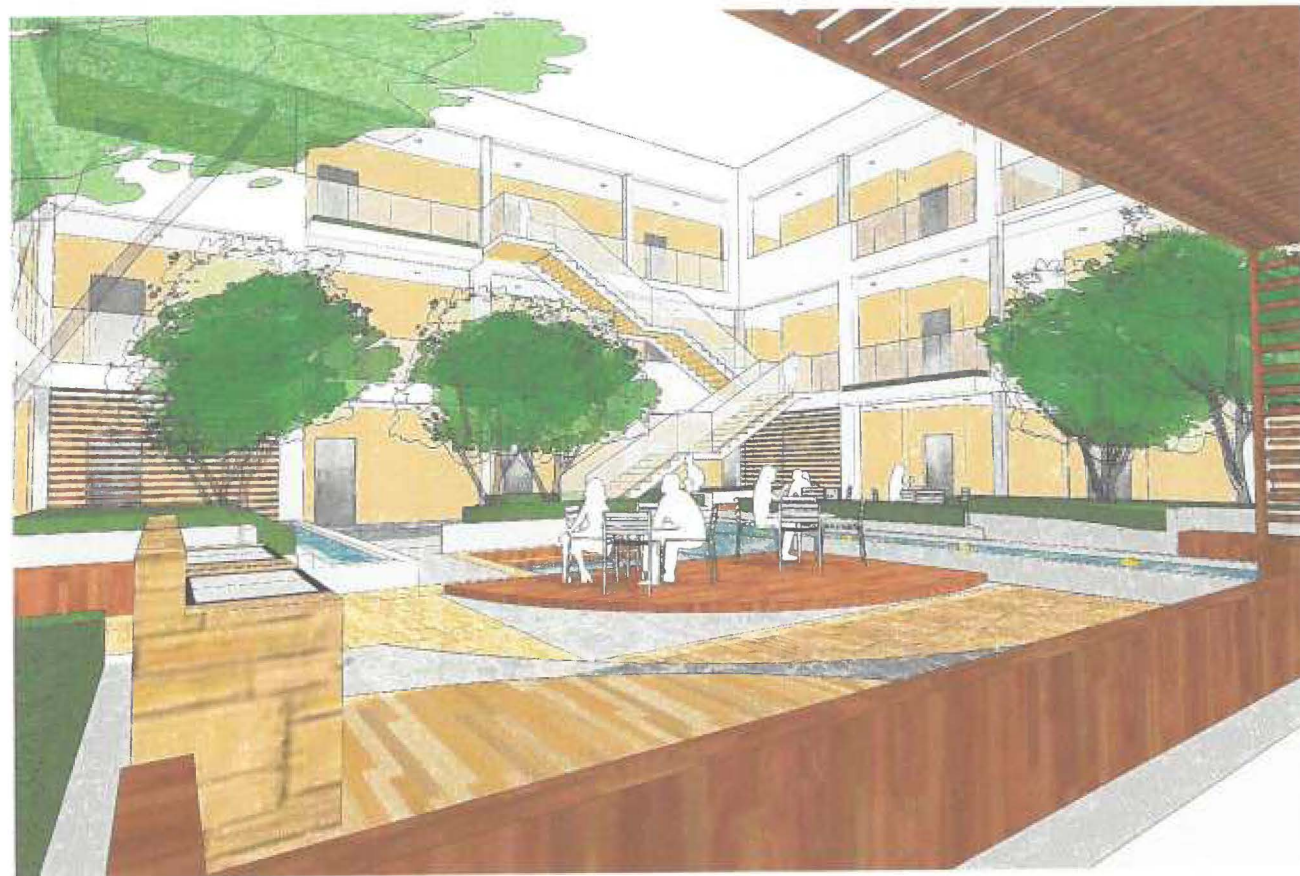


PLANTER POT W/ SYPHEN DEVICE 1  
scale: NONE



SHRUB PLANTING 2  
scale: NONE





**SBL Architecture**  
 3435 Wilshire Blvd., Suite 2170  
 Los Angeles, CA 90010  
 213.478.0088  
 213.973.4741  
 info@sblarch.com

**KP3, LLC.**

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 Palos Verdes, CA 90270

**Kenmore  
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 Los Angeles, CA 90010

**Basis & Assoc. Inc.**

13079.00

- COURTYARD

Sheet #22

**A5.2**



# SUN STUDY

## SUMMER



## SPRING/FALL



## WINTER



KP3, LLC.

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Palos Verdes, CA 90270

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Los Angeles, CA 90010

Basis & Assoc. Inc.

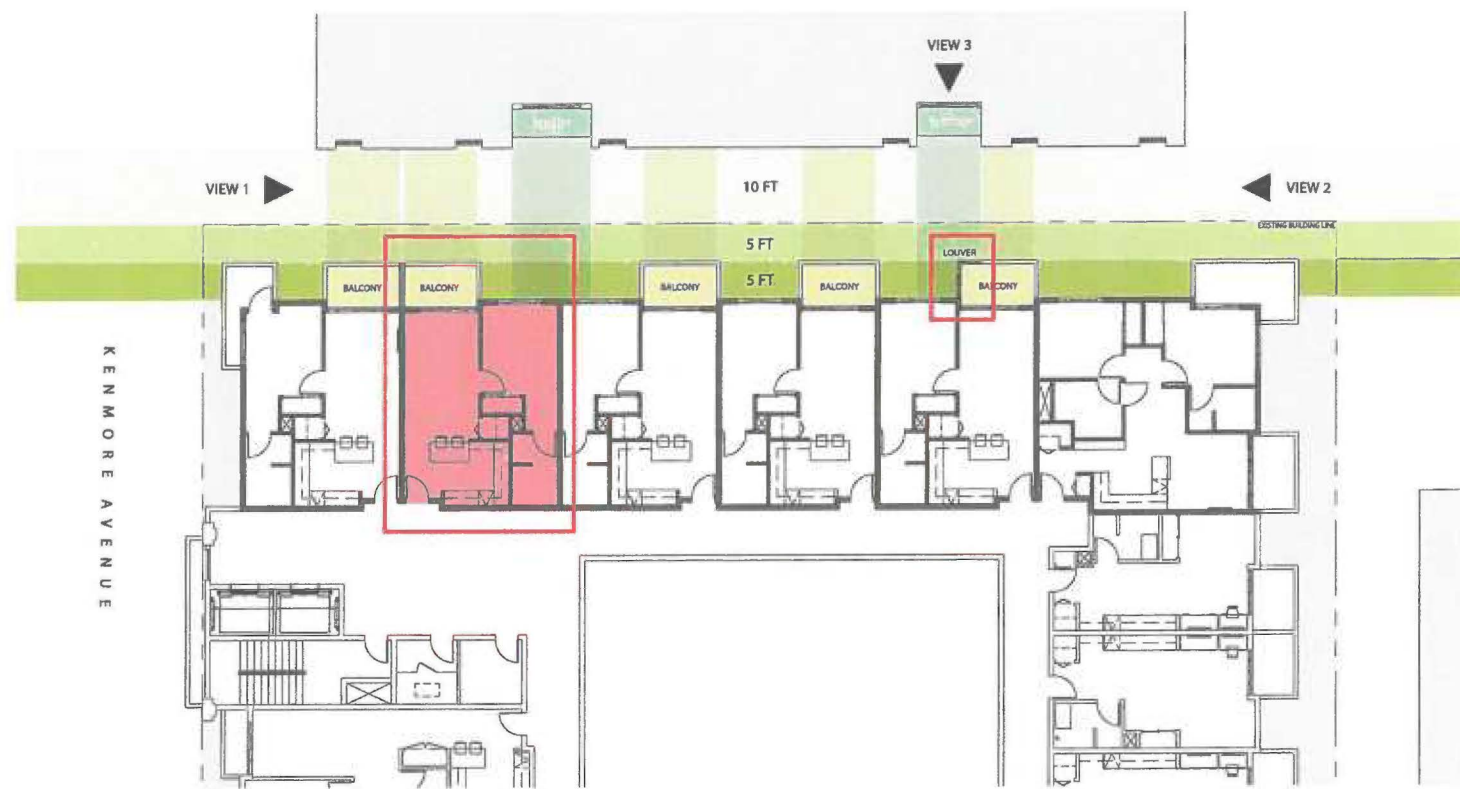
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- SUNSTUDY

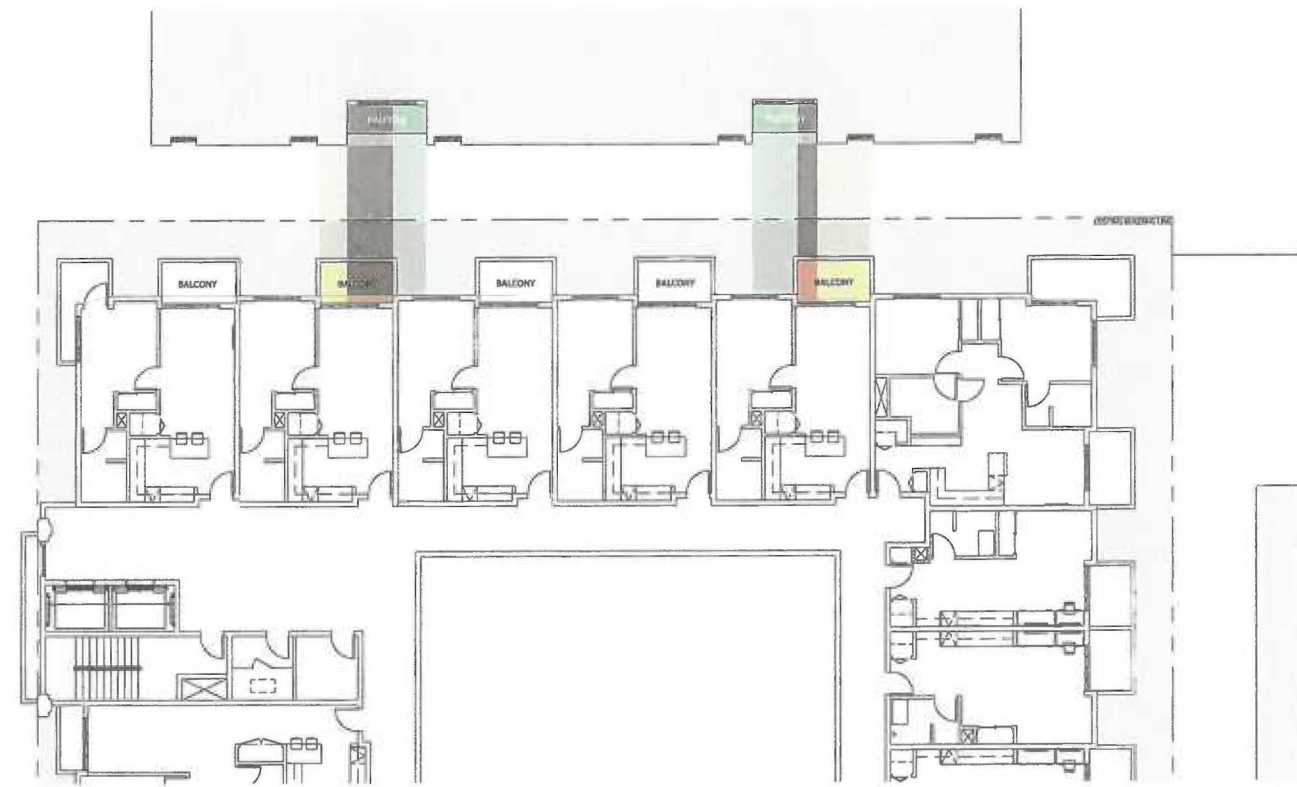
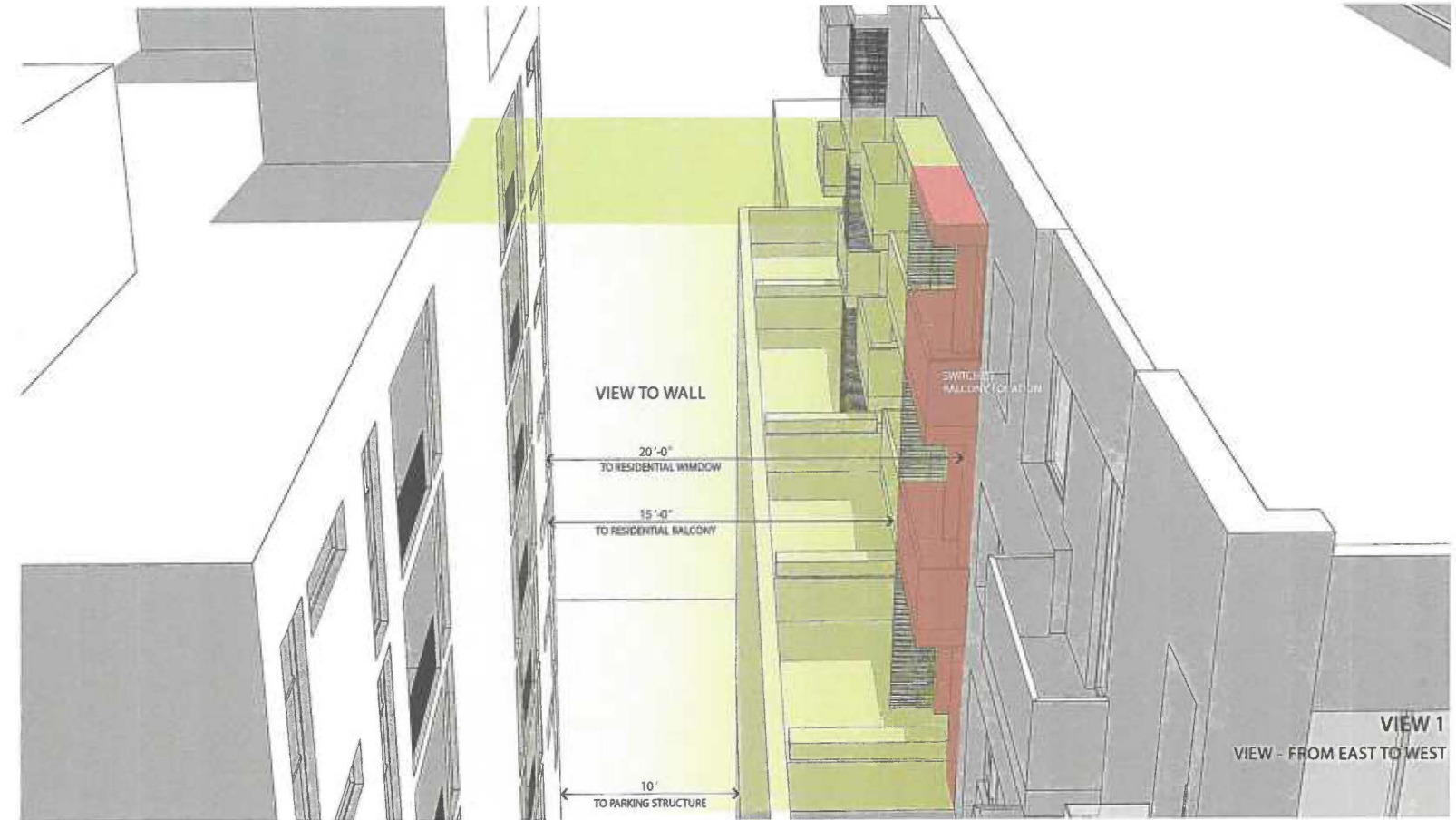
Sheet #23

**A5.3**

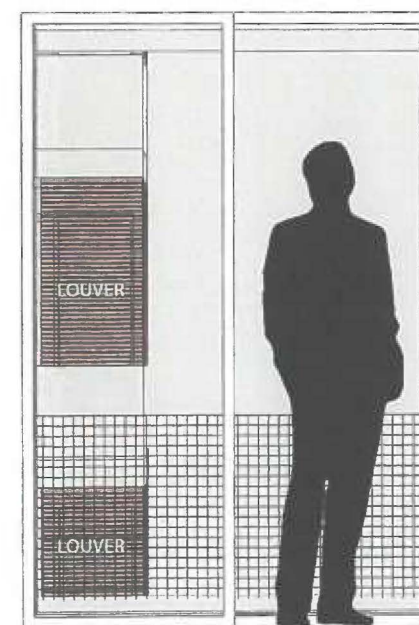




VIEW PRIVACY DIAGRAM PLAN - AFTER



VIEW PRIVACY DIAGRAM PLAN - BEFORE



VIEW 3  
INSIDE VIEW FROM THE NORTH BUILDING

