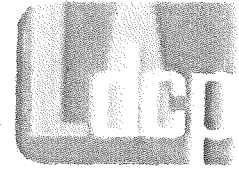




## DEPARTMENT OF CITY PLANNING RECOMMENDATION REPORT



### North Valley Area Planning Commission

<b>Date:</b>	Thursday, April 21, 2016	<b>Case No.:</b>	APCNV-2015-2385-ZC
<b>Time:</b>	After 4:30 p.m.	<b>CEQA No.:</b>	ENV-2015-2386-MND
<b>Place:</b>	Marvin Braude San Fernando Valley Constituent Services Center 6262 Van Nuys Bl., 1 <sup>st</sup> Floor Meeting Room Van Nuys, CA 91401	<b>Related Cases:</b>	CPC-1987-898-ZC; Ordinance No. 163,975
<b>Public Hearing:</b>	Monday, February 29, 2016	<b>Council District:</b>	2 – Hon. Paul Krekorian
<b>Appeal Status:</b>	Appealable if Zone Change is denied	<b>Plan Area:</b>	Sun Valley-La Tuna Canyon
<b>Expiration Date:</b>	April 28, 2016	<b>Specific Plan:</b>	None
		<b>Certified NC:</b>	North Hollywood Northeast
		<b>General Plan:</b>	Low Medium II Residential
		<b>Zone:</b>	R1-1
		<b>Applicant:</b>	11828 Runnymede LLC Attn.: Uzi Levi
		<b>Representative:</b>	Armin Gharai GA Engineering

### PROJECT

**LOCATION:** 11818 - 11828 Runnymede Street

### PROPOSED PROJECT:

The proposed project is the demolition of an existing single-family dwelling and the construction and maintenance of up to a twenty-six (26) unit apartment building on a 29,732 square-foot lot formed site with two separate lots (i.e., 11818 and 11828 Runnymede Street). The applicant is requesting a zone change from R1-1 to (T)(Q)RD1.5 which will allow a base of 19 units. An additional seven (7) units, pursuant to Density Bonus provisions under LAMC Section 12.22-A.25 allowing a 35 percent increase in density over the base number of units is permitted by right. The proposed apartment building will be three (3) stories up to a maximum height of 40 feet.

- REQUESTED ACTION:**
1. Pursuant to Section 21082.1 of the California Public Resources Code, a **Mitigated Negative Declaration** (ENV-2015-2386-MND) for the above referenced project; and
  2. Pursuant to Section 12.32 of the Los Angeles Municipal Code, a **Zone Change from R1-1 to (T)(Q)RD1.5-1**.

### RECOMMENDED ACTIONS:

1. **Approve and Recommend** that the City Council adopt the proposed project's **Mitigated Negative Declaration ENV-2015-2386-MND**;
2. **Approve and Recommend** that the City Council adopt a **Zone Change from R1-1 to (T)(Q)RD1.5-1**, subject to the attached (Q) and (T) Conditions of Approval;
3. **Adopt** the attached Findings, including the Environmental Findings including the Mitigation Monitoring Program (MMP);
4. **Advise** the applicant that, pursuant to California State Public Resources Code Section 21081.6, the City shall monitor or require evidence that mitigation conditions are implemented and maintained throughout the life of the Project and the City may require any necessary fees to cover the cost of such monitoring; and

5. **Advise** the Applicant that pursuant to the State Fish and Wildlife Code Section 711.4, a Fish and Wildlife and/or Certificate of Game Exemption is now required to be submitted to the County Clerk prior to or concurrent with the Environmental Notice and Determination (NOD) filing.

VINCENT P. BERTONI, AICP  
Director of Planning

  
\_\_\_\_\_  
Shana Bonstin  
Principal City Planner

  
\_\_\_\_\_  
Thomas Lee Glick  
City Planner  
818-374-5062

**ADVICE TO PUBLIC:** \*The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the Commission Secretariat, 200 North Spring Street, Room 530, Los Angeles, CA 90012 (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to this programs, services and activities. Sign language interpreters, Communication Access Real-Time Transcription (CART), Assistive Listening Devices, or other auxiliary aids and/or services may be provided upon request. To ensure availability, you are advised to make your request at least 72 hours prior to the meeting you wish to attend. Due to difficulties in securing Sign Language Interpreters, five or more business days notice is strongly recommended. For additional information, please contact the Commission Secretariat (Randa Hanna (213) 978-1128).

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MND and the Mitigation Monitoring Program.**

## PROJECT ANALYSIS

### Project Summary

The proposed project is the demolition of an existing single-family dwelling and the construction and maintenance of a twenty-six (26) unit apartment building on a 29,732 square-foot lot. The single lot is formed from two adjacent lots at 11818 and 11828 Runnymede Street.

The applicant is requesting a zone change from R1-1 to (T)(Q)RD1.5-1 which will allow a base number of units of 19. The applicant applied for a Zone Change from (T)(Q)RD1.5-1 and R1-1 to (T)(Q)RD1.5-1 assuming that the zoning on the 19,319 square-foot lot with the address of 11828 Runnymede Street was changed under CPC-1987-898-ZC and Ordinance No. 163,975. Under that zone change, the lot was changed to (T)(Q)RD1.5-1 under Ordinance No. 163,975 which became effective on October 2, 1988. However, that Zone Change was never effectuated and expired on October 3, 1994. To this day, the lot has remained vacant.

The applicant is permitted by right an additional seven (7) units pursuant to Density Bonus provisions under LAMC Section 12.22-A,25 allowing a 35 percent increase in density over the base number of units. The proposed apartment building will be three (3) stories up to a maximum height of 40 feet. The applicant is requesting a zone change for the entire lot consistent with the designated General Plan Land Use of Low Medium II Residential. The proposed project will provide 54 surface automobile parking spaces for residential units. No guest parking is being proposed by the applicant. The applicant will be getting the parking reductions permitted pursuant to the Code's Density Bonus provisions.

### Background

#### *Subject Property:*

The subject site is two parcels of land totaling 29,732 square feet and is zoned R1-1 Zone with a land use designation of Low Medium II Residential Density within the Sun Valley-La Tuna Canyon Community Plan Area. The subject site is rectangular with an approximate depth of 150' and approximate length of 227' fronting Runnymede Street. The site is currently developed with an abandoned single-family dwelling constructed circa 1947 on the 10,384 square-foot lot with the address 11818 Runnymede Street and a vacant parcel of land on the 19,319 square-foot lot with the address 11828 Runnymede Street. Additionally, based upon the lot size of approximately 29,732 square feet, the following table displays the range of density options for development of the existing site under the current zoning, the applicant's request, and the list of zones allowed in the range of zones under the site's current land use designation of Low Medium II Residential:

	Zoning	General Plan	Density	Entitlement
<i>By-Right Current Zoning</i>	R1-1	Low Medium II	5 dwelling units	<i>By-Right</i>
<i>Permitted by the Existing Community Plan Land Use Designation for the project site</i>	RD2	Low Medium II	15 dwelling units	Zone Change
	RD1.5	Low Medium II	19 dwelling units	Zone Change
<i>Request</i>	(T)(Q)RD1.5 And 35% Density Bonus	Low Medium II	26 dwelling units	Zone Change

Access to the site is from Runnymede Street, which is a Local Street, and is dedicated to a width of 68-feet and improved to a roadway width of 60-feet adjoining the property. The site is located approximately 300 feet west of the intersection of Lankershim Boulevard and Runnymede Street. Runnymede Street is designated as a Local Street and Lankershim Boulevard is designated as Boulevard 2, under the Los Angeles Mobility Plan 2035.

Finally, the applicant applied for a Zone Change from (T)(Q)RD1.5-1 and R1-1 to (T)(Q)RD1.5-1 assuming that the zoning on the 19,319 square-foot lot with the address of 11828 Runnymede Street was changed under CPC-1987-898-ZC and Ordinance No. 163,975. Under that zone change, the lot was changed to (T)(Q)RD1.5-1 under Ordinance No. 163,975 which became effective on October 2, 1988. However, that Zone Change was never effectuated and expired on October 3, 1994. To this day, the lot has remained vacant.

**Surrounding Land Uses (see Exhibit A-2 – Radius Map):**

The generalized surrounding land uses are primarily multi-family residential uses to the north, south, east and west with commercial uses further to the east and Industrial uses further to the south of the subject site. The adjacent uses can be summarized on the following table:

Direction	Land Uses/Improvements	Zones	General Plan Designation
North	Apartment Complex – 60 Units	RD1.5	Low Medium II Residential
South	Two multiple family building - 10 units each	RD2-1	Low Medium II Residential
West	Single-Family Dwellings; Apartments (17 units)	R1-1 and (Q)R3-1	Medium Residential and Low Medium II Residential
East	Single-Family Dwelling	R1-1	Low Medium II Residential

**Street Designations and General Circulation:**

Runnymede Street, adjoining the property on the north, is designated as a local street and is fully improved to local street standards.

**Related Cases:**

*Nearby land-use actions relevant to the subject request on the site or in the area include:*

Subject property

**Ordinance No. 163,975.** The applicant applied for a Zone Change from (T)(Q)RD1.5-1 and R1-1 to (T)(Q)RD1.5-1 assuming that the zoning on the 19,319 square-foot lot with the address of 11828 Runnymede Street was changed under CPC-1987-898-ZC and Ordinance No. 163,975. Under that zone change, the lot was changed to (T)(Q)RD1.5-1 under Ordinance No. 163,975 which became effective on October 2, 1988. However, that Zone Change was never effectuated and expired on October 3, 1994. To this day, the lot has remained vacant.

Surrounding Properties

There are no relevant cases on surrounding properties.

### **Analysis and Conclusion**

The applicant requested a zone change from R1-1 to RD1.5-1 that is consistent with the property's Community Plan designation of Low Medium II Residential which allows a range of zones including RD2 and RD1.5. The instant request for 19 units is consistent with the surrounding density. As a result, Planning Department is recommending a zone change to (T)(Q)RD1.5 which will allow the development of the site as an apartment building, but will provide for a more reasonable density consistent with the surrounding areas to the north, east, west, and south.

At the public hearing and subsequently, several residents in the surrounding single-family neighborhoods testified that the development was too dense in comparison to the area. The main concerns expressed were increased traffic, crime and parking impacts. While the concerns expressed may be reflect the neighborhood as it currently exists, the investment by the applicant in developing a new apartment building where an under-utilized lot currently sits will only augment the area. In fact, the current lot with a vacant portion and an abandoned dwelling may be part of the crime problem in the area. Additionally, the Community Plan designation of Low Medium II Residential is implemented through the development of multiple-family residential.

Many of the concerns expressed by the surrounding property owners are a function of other issues and cannot be resolved through this process. However, many of the conditions requested by the Neighborhood Council have been incorporated into this grant.

Finally, based upon a review of the surrounding area and development patterns and the context of the existing Community Plan's land use designation of Low Medium II Residential, the recommended zone change will provide for a proposed project, as conditioned, which is an appropriate infill development, that will provide a transition or buffer between the industrial uses to the south. Moreover, the development is similar in density, site planning, and style to its surroundings.

### **Conclusion**

For the reasons stated above and in the attached findings, staff recommends approval of a zone change to (T)(Q)RD1.5-1 because the zone change is consistent with the Community Plan designation of Low Medium II Residential and will permit a density consistent with immediately surrounding areas to the north, east, west, and south.

## (Q) QUALIFIED CONDITIONS OF APPROVAL

Pursuant to Section 12.32 G of the Los Angeles Municipal Code (LAMC), the following limitations are hereby imposed upon the use of the subject property, subject to the "Q" Qualified classification.

### Development Conditions:

1. **Use.** The project shall be limited to the use, restrictions/limitations, and area provisions of the RD1.5 Zone, established in Los Angeles Municipal Code Section 12.09.1.
2. **Height.** No building or structure in the project shall exceed 40 feet in height, as defined by Section 12.21.1 B.3 of the Los Angeles Municipal Code.
3. **Plot/Site Plan.** Prior to the issuance of any building permits for the subject project, detailed development plans including site and elevation plans, and including complete landscape and irrigation plans prepared by a licensed landscape architect or architect, shall be submitted for review and approval by the Department of City Planning for verification of compliance with the imposed conditions. The plans submitted to Building and Safety shall be revised in substantial conformance with this approval. Additionally, if the applicant applies for a density increase pursuant to the provisions of LAMC Section 12.22.A-25, that development shall be consistent with the plans dated **June 2015**, and labeled "**Exhibit B**", attached to the subject case file.
4. **Setbacks.** The project shall be required to provide minimum front and rear setbacks of 15 feet and minimum side yard setbacks of 6 feet. Additionally, all setbacks area shall be developed consistent with plans dated **June 2015**, and labeled "**Exhibit B**", attached to the subject case file.
5. **Landscaping (Open Areas).** All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.
6. **Parking (Resident).** The project shall provide parking in accordance with LAMC Section 12.21-A.4(a).
7. **Parking (Guest).** Per the applicant's plans, the project shall provide 1/4 parking spaces per market-rate unit. Guest parking must be individually marked for guest parking only. All guest parking spaces shall be designed in accordance with LAMC Section 12.21-A.5. Guest parking spaces cannot be tandem.
8. **Public Services (Street Improvements Not Required By DOT).** The project shall comply with the Bureau of Engineering's requirements for street dedications and improvements that will reduce traffic impacts in direct proportion to those caused by the proposed project's implementation.
9. **Solid Waste Recycling.** Recycling bins shall be provided at appropriate locations to promote recycling of paper, metal, glass, and other recyclable material. These bins shall be emptied and recycled accordingly as a part of the project's regular solid waste disposal program. Prior to the issuance of any demolition or construction permit, the applicant shall provide a copy of the receipt or contract from a waste disposal company providing services

to the project, specifying recycled waste service(s), to the satisfaction of the Department of Building and Safety. The demolition and construction contractor(s) shall only contract for waste disposal services with a company that recycles demolition and/or construction-related wastes. To facilitate on-site separation and recycling of demolition- and construction-related wastes, the contractor(s) shall provide temporary waste separation bins on-site during demolition and construction. These bins shall be emptied and the contents recycled accordingly as a part of the project's regular solid waste disposal program.

10. **Solar Reflectance Index (SRI).** The applicant shall install roofing material on the project's roof with meets an overall minimum SRI standard of 55.

### **Design Conditions**

11. At least three different textures, colors, materials, and distinctive architectural treatments shall be incorporated into the building façade on all sides of the development to add visual interest.
12. There shall be no chain link, barbed wire, or other spiked elements on the property.
13. There shall be no security bars or grates placed on windows.
14. The applicant shall install electronic security cameras at all four sides of the building to avoid the need for unsightly security grills and bars.
15. The applicant shall use white or reflective paint on rooftops and light paving materials to reflect heat away from buildings and reduce the need for mechanical cooling.
16. All rooftop equipment such as air conditioning units, antennas and communication equipment, mechanical equipment, and vents shall be screened from the public right-of-way as well as adjacent residential uses.
17. All noise and odor-generating functions shall be enclosed in structures so as not to create a nuisance for building residents or adjacent neighbors.
18. **Landscape Plan.** All landscaped areas shall be maintained in accordance with a landscape plan, including an automatic irrigation plan, prepared by a licensed landscape architect in accordance with LAMC Sections 12.40 and 12.41. The final landscape plan shall be reviewed and approved by the City of Los Angeles Department of City Planning during the building permit process.
19. **Trash.** Open trash receptacles shall be located a minimum of 50 feet from the property line of any residential zone or use. Trash receptacles located within an enclosed building or structure shall not be required to observe this minimum buffer.
20. **Perimeter.** The applicant shall provide fencing and landscaping along the perimeter of the property lines will help to minimize disruption to the surrounding multi-residential uses.

### **Environmental Conditions**

22. **Tree Removal (Non-Protected Trees).** Environmental impacts from project implementation may result due to the loss of significant trees on the site. However, the



potential impacts will be mitigated to a less than significant level by the following measures: Prior to the issuance of any permit, a plot plan shall be prepared indicating the location, size, type, and general condition of all existing trees on the site and within the adjacent public right(s)-of-way. All significant (8-inch or greater trunk diameter, or cumulative trunk diameter if multi-trunked, as measured 54 inches above the ground) non-protected trees on the site proposed for removal shall be replaced at a 1:1 ratio with a minimum 24-inch box tree. Net, new trees, located within the parkway of the adjacent public right(s)-of-way, may be counted toward replacement tree requirements.

- 23. Increased Noise Levels (Demolition, Grading, and Construction Activities).** The Project shall comply with the City of Los Angeles Noise Ordinance No. 144,331 and 161,574, and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible. The following shall apply:
- a. Construction and demolition shall be restricted to the hours of 7:00 am to 6:00 pm Monday through Friday and 8:00 am to 6:00 pm Saturday. No Sunday construction shall be permitted.
  - b. Demolition and construction activities shall be scheduled so as to avoid operating several pieces of equipment simultaneously, which causes high noise levels.
  - c. The Project contractor shall use power construction equipment with state-of-the-art noise shielding and muffling devices.

#### **Administrative Conditions**

- 24. Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review or approval, plans, etc., as may be required by the subject conditions, shall be provided to the Planning Department for placement in the subject file.
- 25. Code Compliance.** Area, height and use regulations of the zone classification of the subject property shall be complied with, except where herein conditions are more restrictive.
- 26. Covenant.** Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded in the County Recorder's Office. The agreement shall run with the land and shall be binding on any subsequent property owners, heirs or assign. The agreement must be submitted to the Planning Department for approval before being recorded. After recordation, a copy bearing the Recorder's number and date shall be provided to the Planning Department for attachment to the file.
- 27. Definition.** Any agencies, public officials or legislation referenced in these conditions shall mean those agencies, public officials, legislation or their successors, designees or amendment to any legislation.
- 28. Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Planning Department and any designated agency, or the agency's successor and in accordance with any stated laws or regulations, or any amendments thereto.

29. **Building Plans.** Page 1 of the grants and all the conditions of approval shall be printed on the building plans submitted to the City Planning Department and the Department of Building and Safety.
30. **Project Plan Modifications.** Any corrections and/or modifications to the Project plans made subsequent to this grant that are deemed necessary by the Department of Building and Safety, Housing Department, or other Agency for Code compliance, and which involve a change in site plan, floor area, parking, building height, yards or setbacks, building separations, or lot coverage, shall require a referral of the revised plans back to the Department of City Planning for additional review and final sign-off prior to the issuance of any building permit in connection with said plans.
31. **Mitigation Monitoring.** Pursuant to California State Public Resources Code Section 21081.6 and the California Environmental Quality Act, the applicant and any future owners, successors, heirs or assigns shall provide the Planning Department with status reports for assessing and ensuring the efficacy of the mitigation measures (environmental conditions) required herein.
- a. Within 30 days of the effective date of this land use entitlement and prior to any Planning Department clearance of the conditions of approval contained herein, the applicant shall file a Mitigation Monitoring and Reporting Program (MMRP) in a manner satisfactory to the Planning Department which defines specific reporting and/or monitoring requirements to be enforced during project implementation. Each environmental condition shall be identified as to the responsible mitigation monitor(s), the applicable enforcement agency, the applicable monitoring agency and applicable phase of project implementation as follows:
    - i. Pre-construction (prior to issuance of a building permit);
    - ii. Construction (prior to certificate of occupancy); and
    - iii. Post-construction / maintenance (post-issuance of certificate of occupancy).

In some cases, a specific mitigation measure may require compliance monitoring during more than one phase of project implementation. Such measures shall be noted within the discussion of the specific mitigation measure in the MMRP.
  - b. The applicant shall demonstrate compliance with each mitigation measure in a written report submitted to the Planning Department and the applicable enforcement agency prior to issuance of a building permit or certificate of occupancy, and, as applicable, provide periodic status reports to the Planning Department regarding compliance with post-construction / maintenance conditions.
  - c. If the environmental conditions include post-construction / maintenance mitigation measures, the applicant and all future owners, successors, heirs or assigns shall be obligated to disclose these ongoing mitigation monitoring requirements to future buyers of the subject property.
  - d. The applicant and any future owners, successors, heirs or assigns shall reimburse the Planning Department for its actual costs, reasonably and necessarily incurred, necessary to accomplish the required review of periodic status reports.

**32. Indemnification and Reimbursement of Litigation Costs.** Applicant shall do all of the following:

- a. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of in whole or in part the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- b. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of in whole or in part the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- c. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$25,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- d. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- e. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

## **CONDITIONS FOR EFFECTUATING (T) TENTATIVE CLASSIFICATION REMOVAL**

Pursuant to Section 12.32 G of the Municipal Code, the (T) Tentative Classification shall be removed, with copies of any approval or guarantees provided to the Department of City Planning for attachment to the subject planning case file.

1. **Dedication(s) and Improvement(s).** Prior to the issuance of any building permits, public improvements and dedications for streets and other rights-of-way adjoining the subject property shall be guaranteed to the satisfaction of the Bureau of Engineering, Department of Transportation, Fire Department (and other responsible City, regional and federal government agencies, as may be necessary).

Installation of tree wells with root barriers and plant street trees satisfactory to the City Engineer and the Urban Forestry Division of the Bureau of Street Services. Some tree removal in conjunction with the street improvements may require Board of Public Works approval. The applicant should contact the Urban Forestry Division for further information at (213) 847-3077.

2. **Responsibilities/Guarantees.**
  - a. As part of early consultation, plan review, and/or project permit review, the applicant/developer shall contact the responsible agencies to ensure that any necessary dedications and improvements are specifically acknowledged by the applicant/developer.
  - b. Prior to issuance of sign-offs for final site plan approval and/or project permits by the Planning Department, the applicant/developer shall provide written verification to the Planning Department from the responsible agency acknowledging the agency's consultation with the applicant/developer. The required dedications and improvements may necessitate redesign of the project. Any changes to project design required by a public agency shall be documented in writing and submitted for review by the Planning Department.
3. **Construction of necessary sewer facilities to the satisfaction of the Bureau of Engineering.** All Sewerage Facilities Charges and Bonded Sewer Fees are to be paid prior to obtaining a building permit.
4. **Construction of necessary drainage facilities to the satisfaction of the Bureau of Engineering.**
5. **Construction of tree wells and planting of street trees and parkway landscaping to the satisfaction of the Street Tree Division of the Bureau of Street Maintenance.**
6. **Preparation of a parking area and driveway plan to the satisfaction of the appropriate Valley District Office of the Bureau of Engineering and the Department of Transportation.** The driveway, parking and loading area(s) shall be developed substantially in conformance with the provisions and conditions of the subject Department of Transportation authorization. Emergency vehicular access shall be subject to the approval of the Fire Department and other responsible agencies.
7. **Installation of street lights to the satisfaction of the Bureau of Street Lighting.**
8. **That street lighting modifications be required at an intersection if there are improvements by the Department of Transportation (also for off-site improvements).**

9. Preparation of a plot plan to the satisfaction of the Fire Department.
10. Making any necessary arrangements with the appropriate cable television franchise holder to assure that cable television facilities will be installed in City rights-of-way in the same manner as is required of other facilities, pursuant to Municipal Code Section 17.05N, to the satisfaction of the Department of Telecommunications.
11. Police Department. Preparation of a plot plan in conformance with the Design Out Crime Guideline Booklet and guidelines defined in the Crime Prevention Through Environmental Design (CPTED) handbook to mitigate impacts on police services. Police recommendations may include but are not limited to secured parking, security fencing, security lighting, information signs, building design and landscaping to reduce places of potential concealment. The plans shall be to the satisfaction of LAPD Crime Prevention Section Personnel.
12. Notice: Prior to issuance of a clearance letter by the Bureau of Engineering, all engineering fees pertaining to Ordinance No. 176,077 adopted by the City Council, must be paid in full at the Development Services Division office.
13. Notice: Certificates of Occupancy for the subject property will not be issued by the City until the construction of all the public improvements (streets, sewers, storm drains, etc.), as required herein, are completed to the satisfaction of the City Engineer.
14. Covenant: Prior to the issuance of any permits relative to this matter, an agreement concerning all the information contained in these conditions shall be recorded by the property owner in the County Recorder's Office. The agreement shall run with the land and shall be binding on any subsequent owners, heirs or assigns. Further, the agreement must be submitted to the Planning Department for approval before being recorded. After recordation, a copy bearing the Recorder's number and date must be given to the City Planning Department for attachment to the subject file.
15. Recreation and Parks. Per Section 12.33 of the Los Angeles Municipal Code, the applicant shall dedicate land for park or recreational purposes or pay the applicable Quimby fees for the construction of condominiums, or Recreation and Park fees for construction of apartment buildings.

## ZONE CHANGE FINDINGS

### General Plan/Charter Findings

1. **General Plan Land Use Designation.** The subject property is located within the Sun Valley-La Tuna Canyon Community Plan Area Community Plan, updated and adopted by the City Council on August 13, 1999. The proposed property is located in the Sun Valley portion of that Community Plan. The existing Plan designates the subject property with a Low Medium II Residential Land Use. The proposed zone change to (T)(Q)RD1.5-1 is consistent with the land use designation on the plan map and thus is in substantial conformance with the purposes, intent and provisions of the General Plan as reflected in the adopted Community Plan. Approval of the requested Zone Change would keep the property in substantial conformance with surrounding General Plan Land Uses and zones.

2. **General Plan Text.** The Sun Valley – La Tuna Canyon Community Plan text includes the following relevant land use goals, objectives, policies and programs:

**GOAL 1: A SAFE, SECURE, AND HIGH QUALITY RESIDENTIAL ENVIRONMENT FOR ALL ECONOMIC, AGE, AND ETHNIC SEGMENTS OF THE COMMUNITY.**

**Objective 1-1** To provide for the preservation of existing housing and for the development of new housing to meet the diverse economic and physical needs of the existing residents and projected population of the Plan area.

**Policy 1-1.1** Designate land for single and multi-family residential development.

**Program:** The Plan Map identifies specific areas where single family and multi-family residential development is permitted.

**Objective 1-3** To preserve and enhance the varied and distinct residential character and integrity of existing single and multi-family neighborhoods.

**Policy 1-3.1** Consider factors such as neighborhood character and identity, compatibility of land uses, impacts on livability, impacts on services and public facilities, impacts on traffic levels, and environmental impacts when changes in residential densities are proposed.

**Program:** The decision-maker should adopt a finding which addresses these factors as part of any decision relating to changes in planned residential densities.

**Policy 1-3.2** Seek a high degree of architectural compatibility and landscaping for new infill development to protect the character and scale of existing residential neighborhoods.

**Objective 1-5** To promote and insure the provision of adequate housing for all persons regardless of income, age, or ethnic background.

**Policy 1-5.1** Promote greater individual choice in type, quality, and location of housing.

**Program:** Establishment of residential design standards, allocation of lands for a variety of residential densities, and the promotion of housing in mixed-use projects.

The proposed project will meet the objectives and policies of the Community Plan outlined by providing additional housing in an area with similar surrounding uses and densities. The existing Low Medium II Residential Land Use on the subject site permits the requested Zone Change RD1.5. The requested Zone Change directly contributes to the objectives of the Community Plan by providing additional housing units in appropriate and permitted location. The site is located adjacent to similarly zoned properties with the Low Medium II Residential General Plan Land Use designation.

The site is located adjacent to other Low Medium II Residential lots and along a street with primarily multi-family residential uses. The requested Zone Change will maintain the mode and character of the neighborhood and create a project that is of similar size and scale to surrounding properties.

The site is not subject to any applicable Plan footnotes, and is not otherwise located within any other specific plan.

Therefore, as conditioned, the recommended development meets the objectives of the Community Plan, is permitted in the RD1.5 Zone and is consistent with the general plan land use designation.

### **Entitlement Findings**

3. **Zone Change, L.A.M.C. Sec. 12.32-F:** The recommended zone change is in conformance with the public necessity, convenience, general welfare or good zoning practice in that:

The (T)(Q)RD1.5-1 zone is consistent with the existing Low Medium II Residential General Plan Land Use designation in that this land use category allows for a corresponding zones of RD 1.5 and RD 2. The project is convenient in location to several major streets, such as Lankershim Boulevard, and will provide improvements to the adjacent public right-of-way, and as an infill project will have adequate access to existing City services and infrastructure. There is a necessity for housing of all income levels and housing types, and the project will create more opportunity for multi-family housing in the greater vicinity.

Surrounding properties, including a portion of the subject site, are developed with multi-residential uses and the addition of units to the neighborhood is consistent with this area of Sun Valley.

Approval of the Zone Change request is recommended to allow for the development of additional housing units along a street that is currently developed with multi-family units. The requested action will not degrade or interrupt any existing single-family zones or uses and is consistent with good zoning practice. The project will contribute to the public necessity, convenience, and general welfare with adoption of the recommended conditions by providing infill development along a street that is currently designated for multi-family uses.

Conditions have been placed on the approval to ensure that the proposed project does not have a negative impact on the surrounding neighborhood. Design conditions have been imposed on the property to provide a visually interesting building at this site.

The action, as recommended, has been made contingent upon compliance with the "(T)" conditions imposed herein. Such limitations are necessary to protect the best interests of and to assure developments and improvements more compatible with surrounding properties, and to secure an appropriate development in harmony with the General Plan.

**CEQA Findings**

4. **Environmental**. The Environmental Review Section of the Planning Department issued the proposed project a Mitigated Negative Declaration ENV 2015-2386-MND on February 17, 2016. On the basis of the whole of the record before the lead agency including any comments received, the lead agency finds that there is no substantial evidence that the proposed project will have a significant effect on the environment. The attached Negative Declaration reflects the lead agency's independent judgment and analysis. The records upon which this decision is based are with the Valley Project Planning Division, Los Angeles City Planning Department, Room 430, 6262 Van Nuys Blvd., Van Nuys.



## **PUBLIC HEARING AND COMMUNICATIONS**

### **Public Hearing**

A public hearing was held at the Marvin Braude Constituent Service Center on **Monday, February 29, 2016**. The public hearing was attended by the applicant, applicant's engineer, and two neighbors. Public testimony was provided by the applicant's representative and neighbors.

### **Summary of Public Hearing Testimony**

The applicant's engineer explained the proposed project for the site and the requested Zone Change. He explained that the existing buildings are in disrepair and the property is in dire need of development and new construction. This project will benefit the surrounding community as it will provide the surrounding community with needed new housing stock.

The applicant provided a letter of support from the North Hollywood North East Neighborhood Council which supported by proposed project. However, the support letter stated that the Council reviewed the project in the context that they had a petition with over 75 signatures. The Council suggested the City consider the following conditions including:

- Due to the narrowness of Runnymede Street and existing on-street parking congestion, construction employees park their vehicles off-site.
- All lighting be shielded.
- The project shall provide a designated guest parking.
- Parking shall be provided in compliance with the Americans With Disabilities Act for at least two vehicles.
- The applicant shall provide a permanent on-site manager and that manager shall control illegal fireworks being used on the property.
- Require the applicant to provide a minimum of 4 security cameras on-site with footage available to the Los Angeles Police Department.
- Restrict the number of persons per unit.
- Use of colors and neutral tones to conform with the site plan in finishing the exterior of the building.

Ms. Sarah Ramsawack of the North Hollywood North East Neighborhood Council attended the public hearing and submitted her Neighborhood Council's letter of support and reiterated their conditions of approval.

Next, two neighbors of the project spoke against the proposed project including Danny Turner and Mariene Maseitti. Their mains concerns included the following:

- There is currently high volumes of traffic in the surrounding residential neighborhoods.
- There is a large crime rate in the area due to all of the apartments in the area.
- There is a hugh on-street parking problem due to all of the apartment in the immediate area.
- There is so much illegal dumping of trash and large items like furniture.
- There is a huge noise issue related to illegal fireworks being set off nearly every night.

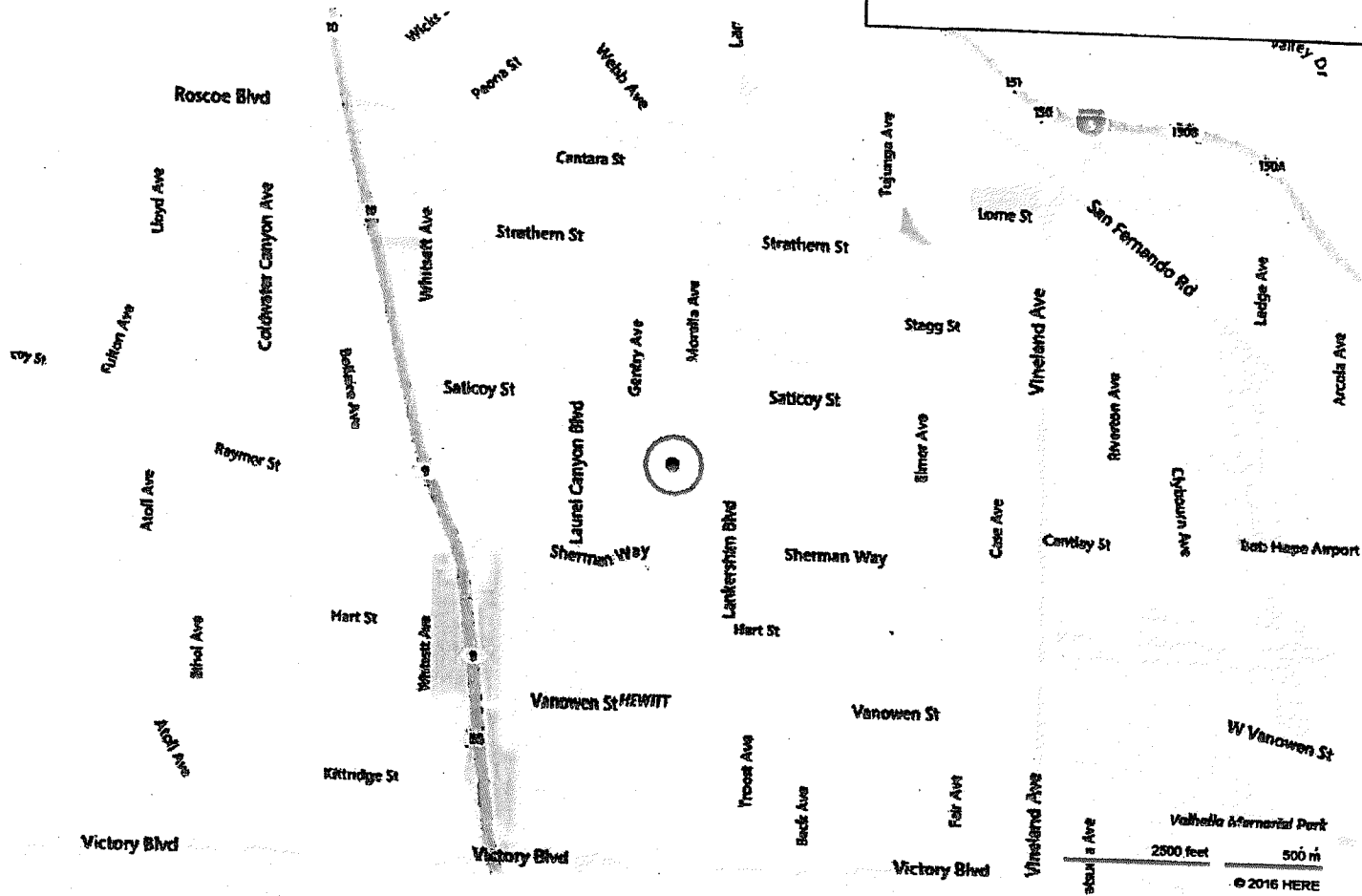
Additionally, Ms. Maseitti submitted a petition signed by approximately 75 persons opposing the proposed project.

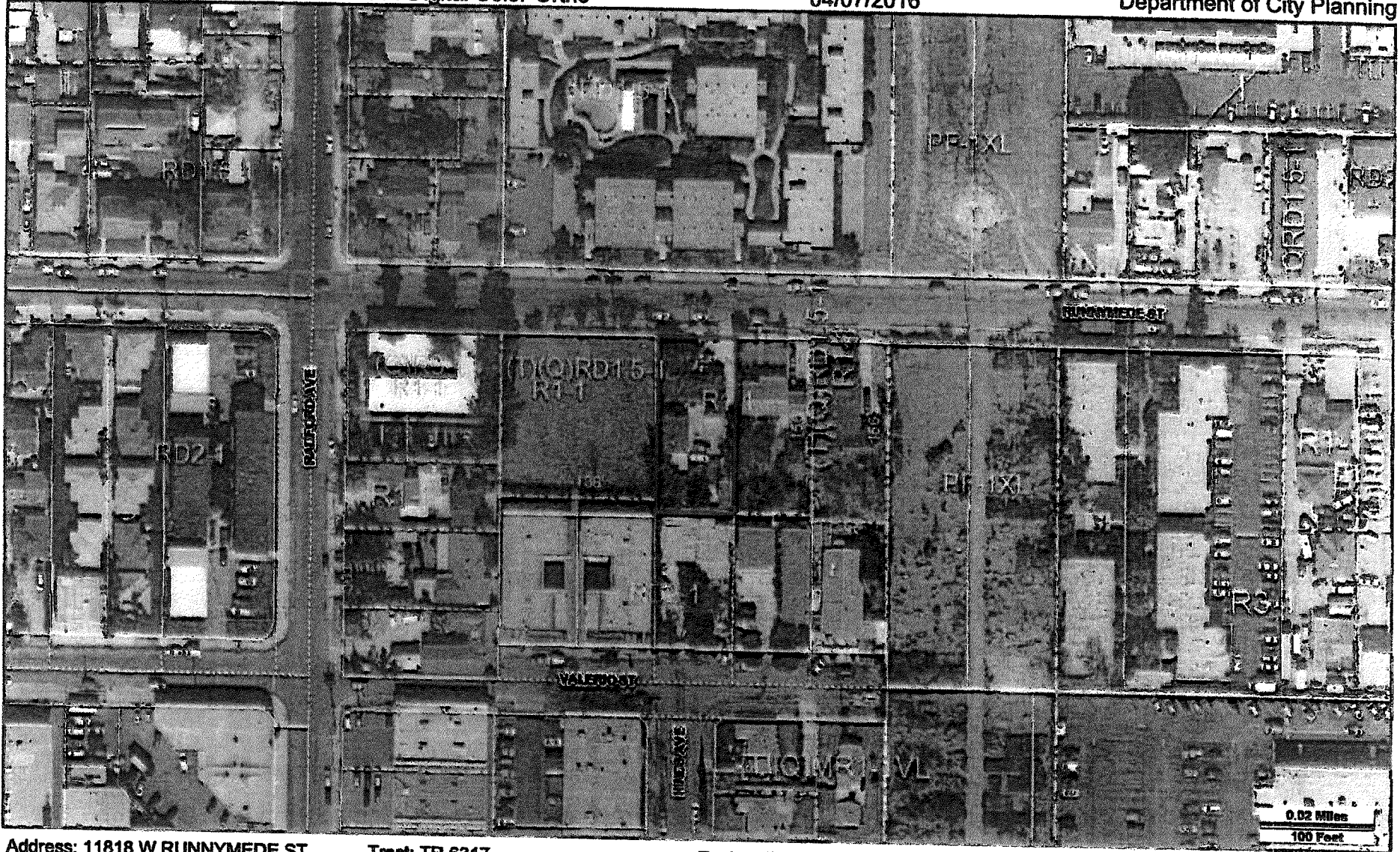
**EXHIBIT A-1**

**VICINITY MAP**  
**and**  
**AERIAL PHOTO**

11828 Runnymede St, Los Angeles, CA 91605

Type your notes here.

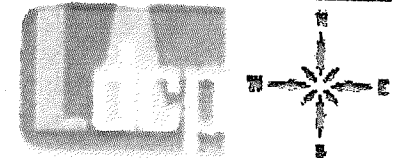




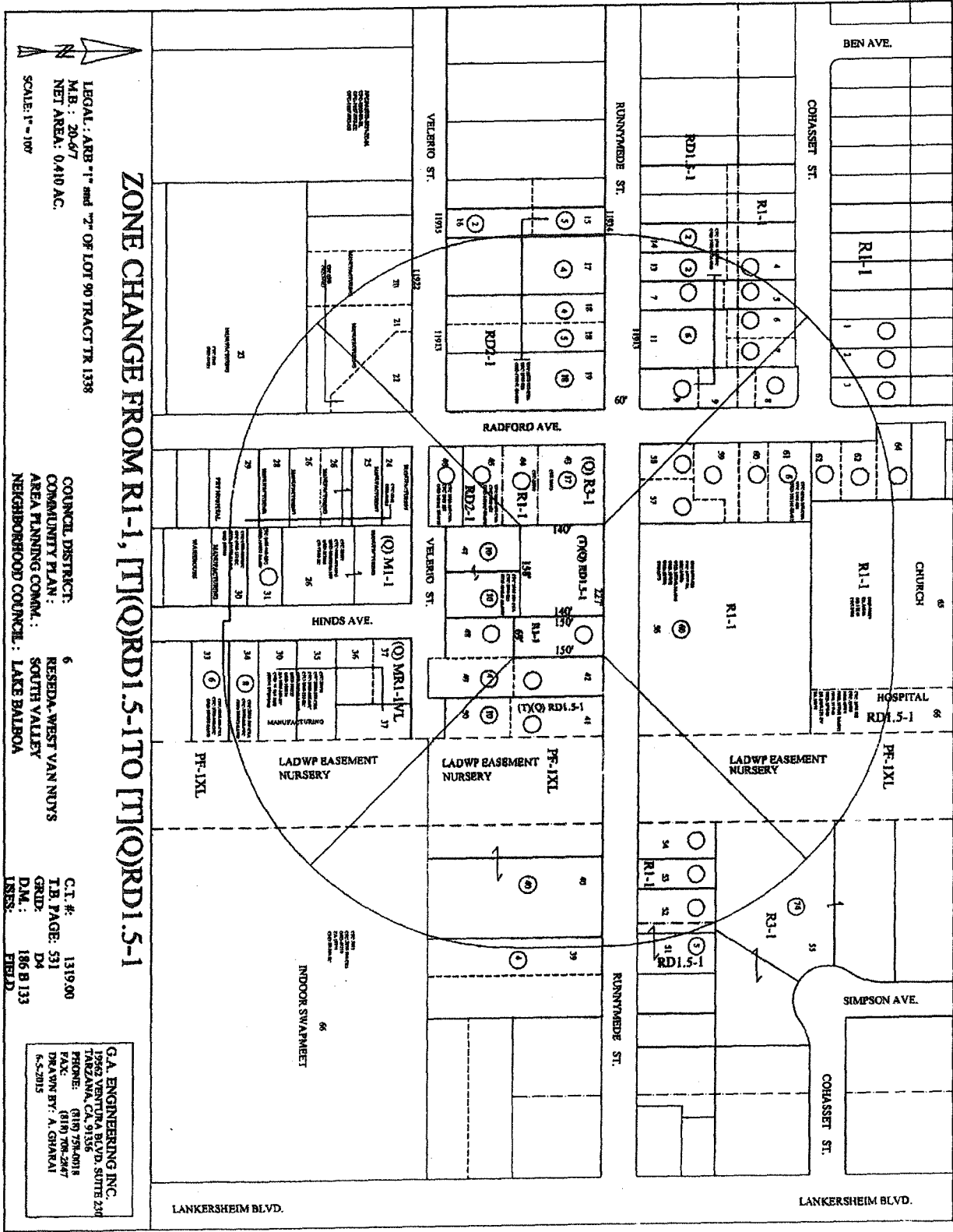
Address: 11818 W RUNNYMEDE ST  
APN: 2317017012  
PIN #: 186B169 614

Tract: TR 6317  
Block: None  
Lot: FR 16  
Arb: 1

Zoning: R1-1  
General Plan: Low Medium II Residential



**EXHIBIT A-2**  
**RADIUS MAP**



**ZONE CHANGE FROM R1-1, [T](O)RD1.5-1 TO [T](O)RD1.5-1**

LEGAL: ARB 1" and 7" OF LOT 90 TRACT TR 1338  
 M.B.: 20-67  
 NET AREA: 0.410 AC  
 SCALE: 1" = 100'

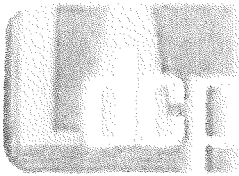
COUNCIL DISTRICT: 6  
 COMMUNITY PLAN: RESEDA WEST VAN NUYS  
 AREA PLANNING COMM.: SOUTH VALLEY  
 NEIGHBORHOOD COUNCIL: LAKE BALBOA

C.I.#: 131900  
 T.B. PAGE: 331  
 GRID: DM  
 D.M.: 186 B 133  
 LINES: FIELD

G.A. ENGINEERING INC.  
 1966 VENTURA BLVD, SUITE 200  
 TARZANA, CA. 91356  
 PHONE: (818) 758-0018  
 FAX: (818) 708-2477  
 DRAWN BY: A. GHARAI  
 6-5-2015

## **EXHIBIT A-3**

# **ZIMAS ZONING MAP AND PARCEL PROFILE**



City of Los Angeles  
Department of City Planning

3/8/2016

PARCEL PROFILE REPORT

**PROPERTY ADDRESSES**

11818 W RUNNYMEDE ST

**ZIP CODES**

91605

**RECENT ACTIVITY**

None

**CASE NUMBERS**

APCNV-2015-2385-ZC

CPC-29956

CPC-2010-589-CRA

ENV-2015-2386-MND

**Address/Legal Information**

PIN Number 186B169 614  
 Lot/Parcel Area (Calculated) 10,384.2 (sq ft)  
 Thomas Brothers Grid PAGE 532 - GRID G4  
 Assessor Parcel No. (APN) 2317017012  
 Tract TR 6317  
 Map Reference M B 75-96  
 Block None  
 Lot FR 16  
 Arb (Lot Cut Reference) 1  
 Map Sheet 186B169

**Jurisdictional Information**

Community Plan Area Sun Valley - La Tuna Canyon  
 Area Planning Commission North Valley  
 Neighborhood Council North Hollywood Northeast  
 Council District CD 2 - Paul Krekorian  
 Census Tract # 1224.10  
 LADBS District Office Van Nuys

**Planning and Zoning Information**

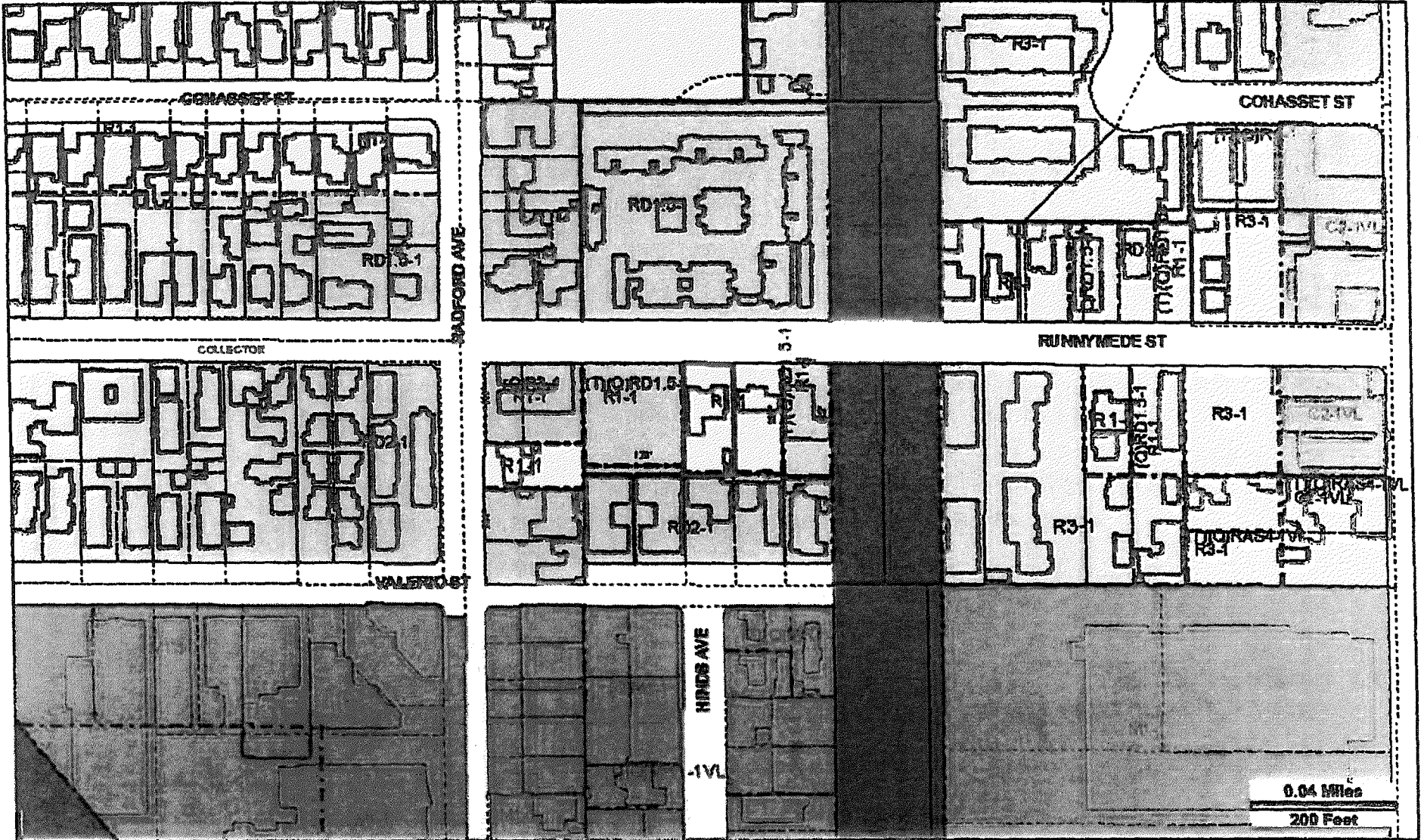
Special Notes None  
 Zoning R1-1  
 Zoning Information (ZI) ZI-2374 LOS ANGELES STATE ENTERPRISE ZONE  
 General Plan Land Use Low Medium II Residential  
 General Plan Footnote(s) Yes  
 Hillside Area (Zoning Code) No  
 Baseline Hillside Ordinance No  
 Baseline Mansionization Ordinance Yes  
 Specific Plan Area None  
 Special Land Use / Zoning None  
 Design Review Board No  
 Historic Preservation Review No  
 Historic Preservation Overlay Zone None  
 Other Historic Designations None  
 Other Historic Survey Information None  
 Mills Act Contract None  
 POD - Pedestrian Oriented Districts None  
 CDO - Community Design Overlay None  
 NSO - Neighborhood Stabilization Overlay No  
 Sign District No  
 Streetscape No  
 Adaptive Reuse Incentive Area None  
 Ellis Act Property No  
 Rent Stabilization Ordinance (RSO) No  
 CRA - Community Redevelopment Agency None  
 Central City Parking No  
 Downtown Parking No  
 Building Line None

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at [zimas.lacity.org](http://zimas.lacity.org)  
 (\*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.



Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	45.00000000
Maximum Magnitude	6.90000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No
<b>Economic Development Areas</b>	
Business Improvement District	None
Promise Zone	No
Renewal Community	No
Revitalization Zone	Valley
State Enterprise Zone	LOS ANGELES STATE ENTERPRISE ZONE
Targeted Neighborhood Initiative	None
<b>Public Safety</b>	
<b>Police Information</b>	
Bureau	Valley
Division / Station	North Hollywood
Reporting District	1504
<b>Fire Information</b>	
Bureau	Valley
Batallion	14
District / Fire Station	89
Red Flag Restricted Parking	No

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at [zimas.lacity.org](http://zimas.lacity.org)  
 (\*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.



Address: 11818 W RUNNYMEDE ST

APN: 2317017012

PIN #: 186B169 614

Tract: TR 6317

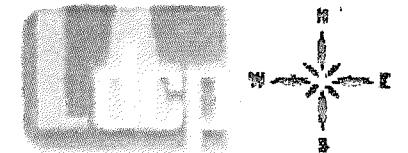
Block: None

Lot: FR 16

Arb: 1
































Zoning: R1-1

General Plan: Low Medium II Residential



# CIRCULATION





































## STREET

-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)
-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway




## FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off-Ramp
-  Railroad
-  Scenic Freeway Highway

## MISC. LINES






























-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor

## SCHOOLS/PARKS WITH 500 FT. BUFFER

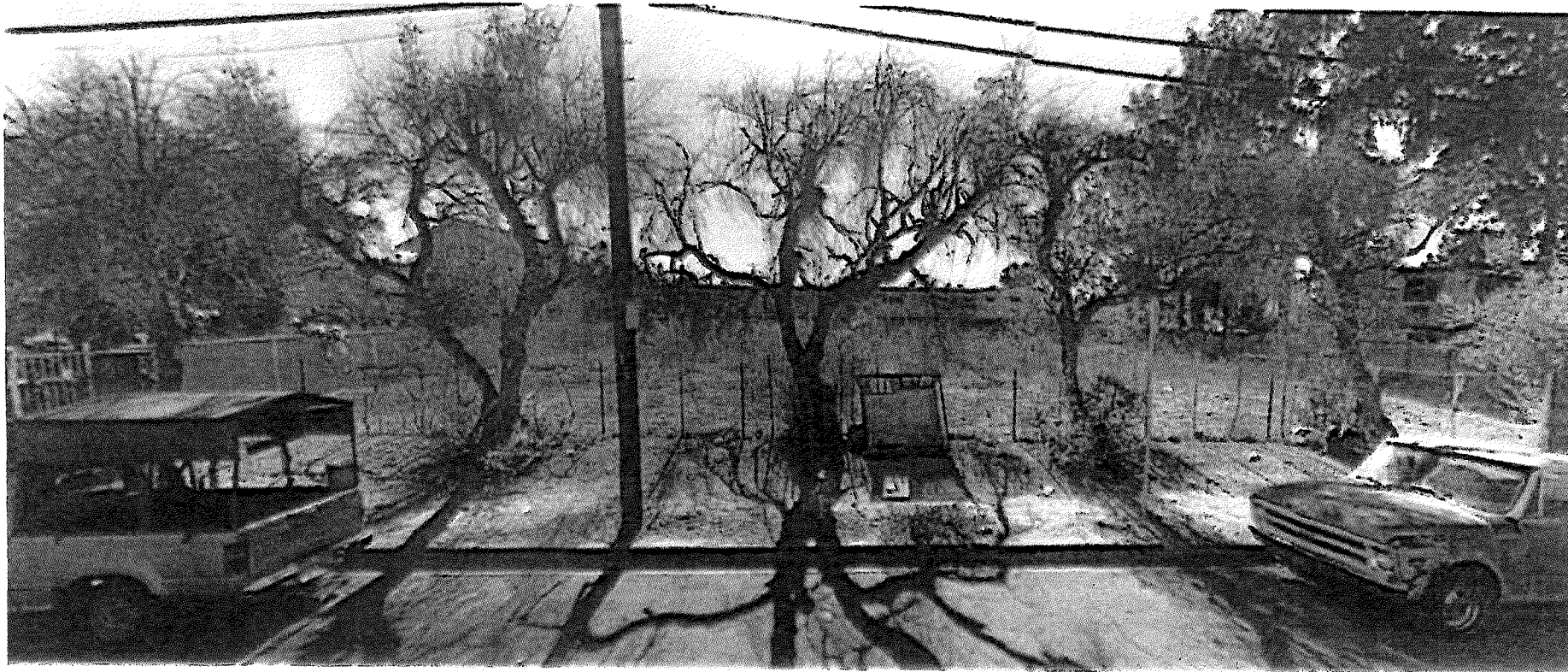
-  Existing School/Park Site
-  Planned School/Park Site
-  Inside 500 Ft. Buffer

- |  |  |
|--|--|
|  Aquatic Facilities   |  Opportunity School               |
|  Beaches              |  Other Facilities                 |
|  Charter School       |  Park / Recreation Centers        |
|  Child Care Centers   |  Parks                            |
|  Elementary School    |  Performing / Visual Arts Centers |
|  Golf Course          |  Recreation Centers               |
|  High School          |  Span School                      |
|  Historic Sites       |  Special Education School         |
|  Horticulture/Gardens |  Senior Citizen Centers           |
|  Middle School        |  Skate Parks                      |

## OTHER SYMBOLS

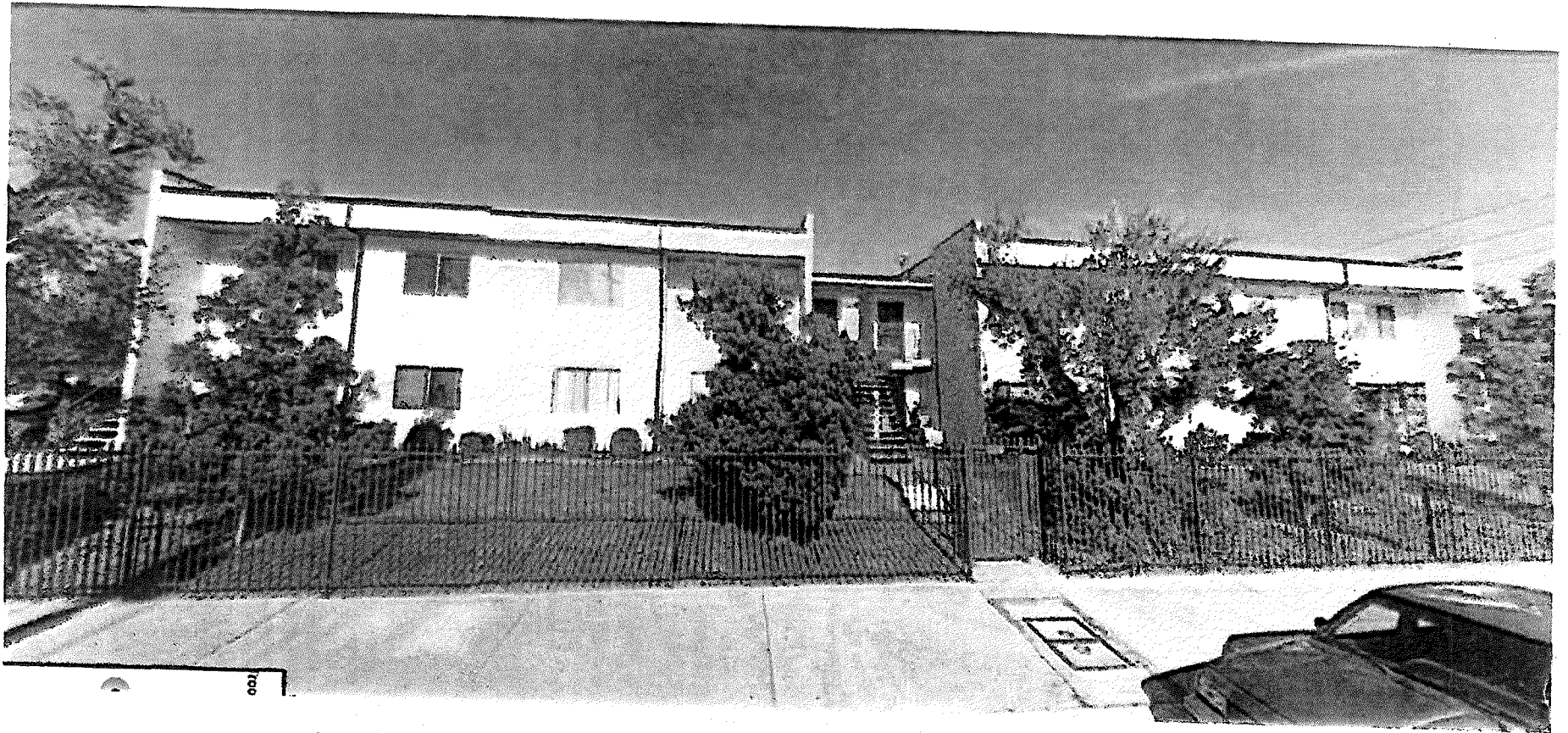
- |  |   |  |
|--|---|--|
|  Lot Line               |  Airport Hazard Zone   |  Flood Zone                          |
|  Tract Line             |  Census Tract          |  Hazardous Waste                     |
|  Lot Cut                |  Coastal Zone          |  High Wind Zone                      |
|  Easement               |  Council District      |  Hillside Grading                    |
|  Zone Boundary          |  LADBS District Office |  Historic Preservation Overlay Zone  |
|  Building Line          |  Downtown Parking      |  Specific Plan Area                  |
|  Lot Split              |  Fault Zone            |  Very High Fire Hazard Severity Zone |
|  Community Driveway     |  Fire District No. 1   |  Oil Wells                           |
|  Tract Map              |   |  |
|  Parcel Map             |   |  |
|  Lot Ties               |   |  |
|  Building Outlines 2014 |   |  |
|  Building Outlines 2008 |   |  |

**EXHIBIT A-4**  
**SITE PHOTOS**

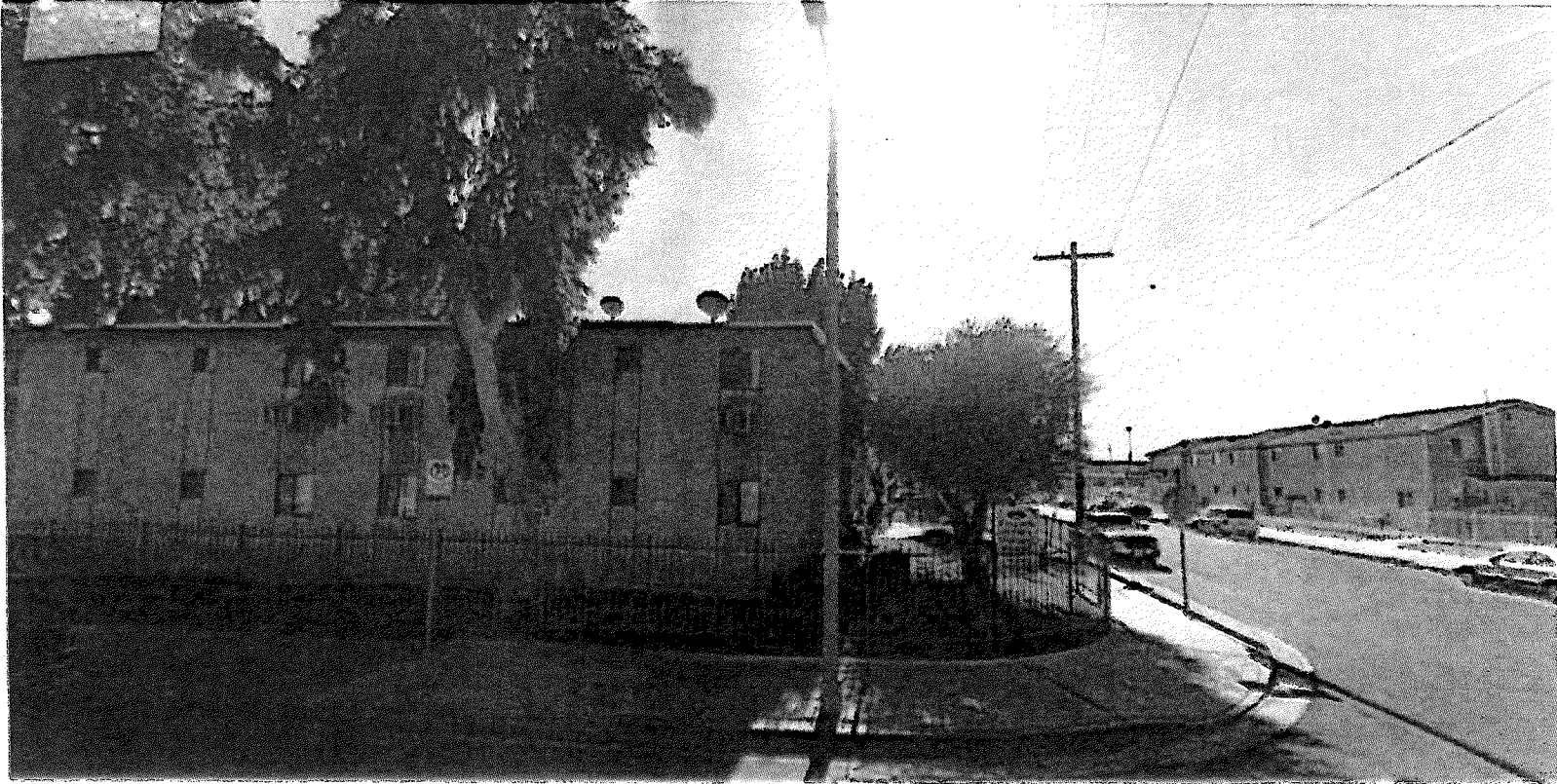


**Look South into the site from Runnymede Street**



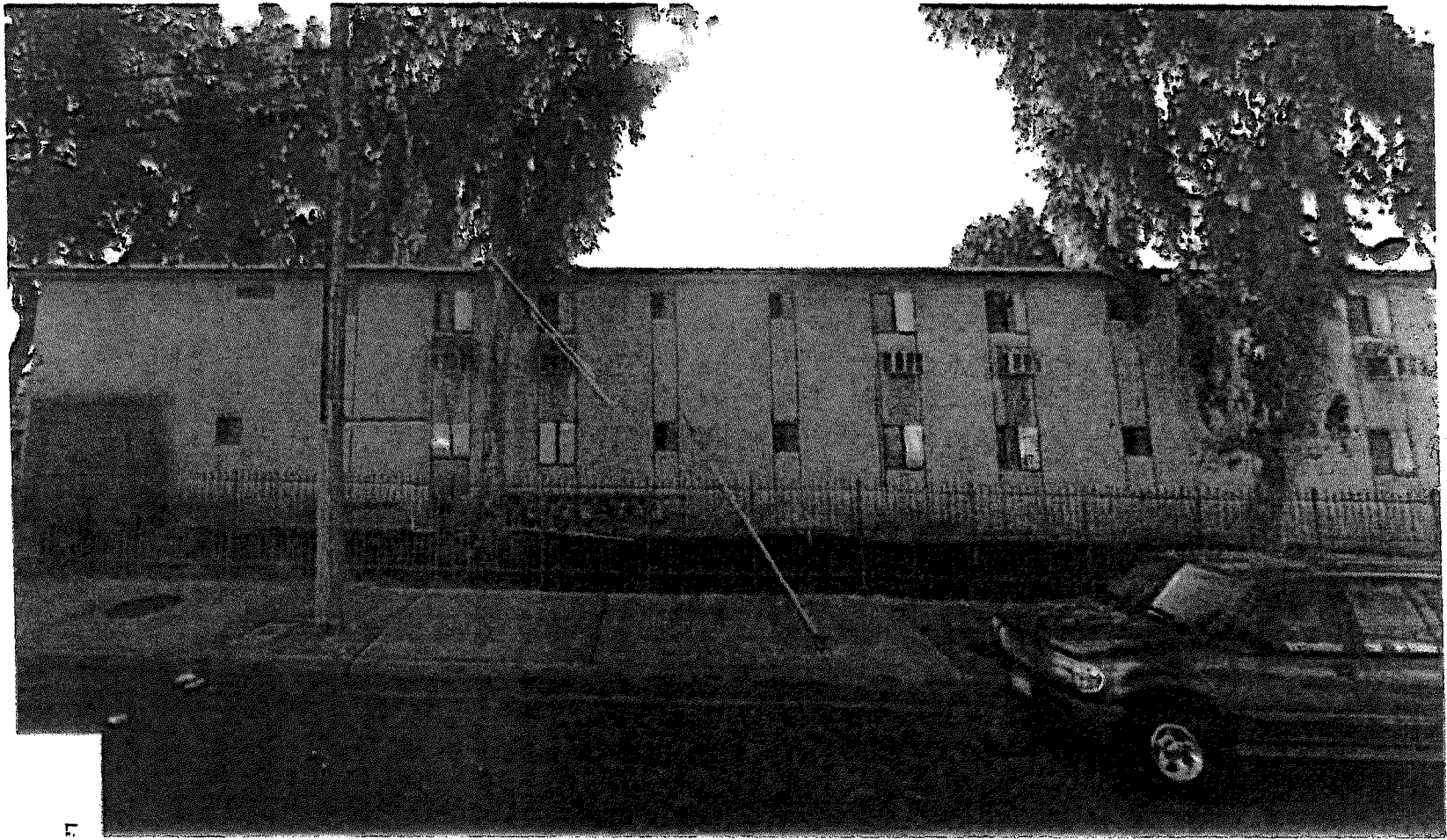


Looking North across the street from project site on Runnymede Street



**Corner of Radford Street and Runnymede Street west of the project site**





Looking South from Runnymede Street west of the project site

**EXHIBIT B**

**PROJECT PLANS**

# 11828 W RUNNYMEDE ST, NORTH HOLLYWOOD CA 91605

**PROJECT ADDRESS**  
11828 W RUNNYMEDE ST, CA 91605

**PROJECT OWNER**  
11828 W RUNNYMEDE ST, CA 91605

**DESIGN & STRUCTURE ENGINEER**  
G.A. ENGINEERING 19562  
VENTURA Blvd, Suite 230  
TARZANA, CA, 91356  
Phone: (818) 758-0018

**PUBLIC WORKS PLANS:**

**SURVEY:**  
5842 ERIWANDA AVENUE, UNIT NO. 8, TARZANA CA 91356  
Phone: (818) 482-8332, E-mail: lmsurvey@ymail.com

**GEOTECHNICAL ENGINEER**

**ARCHITECTURAL**

SHEET	TITLE
A-0	COVER SHEET
A-00	SURVEY
A-1	SITE PLAN
A-2	BASEMENT FLOOR
A-3	FIRST FLOOR
A-4	SECOND FLOOR
A-5	THIRD FLOOR
A-6	FOURTH FLOOR
A-7	FIFTH FLOOR PLAN
A-8	ROOF PLAN
A-9	SOUTHWEST ELEVATIONS
A-10	NORTHEAST ELEVATIONS
A-11	SECTIONS
A-12	
A-13	
A-14	
A-16	
DA-1	
DA-4	
N-1(08)	
N-2	
N-3	
L-1	
<b>STRUCTURAL</b>	
S-0	
S-1	
S-2	
S-3	
S-4	
S-5	
S-6	
S-7	
S-8	
S-9	
S-10	
S-11	
S-12	
S-13	
S-14	
S-15	
S-16	
S-17	
S-18	
S-19	
S-20	
<b>GRADING AND DRAINAGE</b>	
G-0	
G-1	
G-2	
G-3	
G-4	
G-5	

**PROJECT DATA**

ADDRESS:	11828 W RUNNYMEDE ST, CA 91605
PROJECT SCOPE:	27 UNITS APARTMENT BUILDING, 3-STORY RESIDENTIAL-GARAGE
LEGAL DESCRIPTION:	PORTION OF LOT FR18 & FR17 OF TRACT NO. 6317, S RECORDED IN M.B.75-98
ASSESSOR PARCEL NO. (APHN):	2317-017-013 / 2317-017-012
BUILDING CODE:	2015 CBC AS AMENDED BY CITY OF LOS ANGELES
EXISTING ZONE:	D, (D) RD 1.8-1 / RT-1
GENERAL PLAN LAND USE:	LOW MEDIUM D RESIDENTIAL
COMMUNITY PLAN AREA:	SUN VALLEY - LA TUNA CANYON
AREA PLANNING COMMISSION:	NORTH VALLEY
TYPE OF CONSTRUCTION:	1 ST FLOOR, TYPE V-A GARAGE+RESIDENTIAL FULLY SPRINKLERED 2ND AND 3RD FLOORS, TYPE V-A, FULLY SPRINKLERED THROUGHOUT
LOT AREA:	16,319.3 SQFT + 10,384.2 SQFT + 26,703.8 SQFT
PROPOSED BUILDING HEIGHT:	36' FEET
OCCUPANCY GROUP:	R-2 / S-2 PARKING
BUILDING SETBACKS:	FRONT YARD : 15 FEET SIDE YARD : 6 FEET REAR YARD : 15 FEET
STORIES/BUILDING CODE:	3-STORY TYPE VA

**PARKING CALCULATION**

PARKING REQUIRED PER LAHC 12.22.23 (AFFORDABLE HOUSING), PARKING GIVEN 1

NO. OF UNITS	NO. OF AUTO UNITS	TOTAL
1-BDRM	0	0
2-BDRM	14	28
3-BDRM	13	26
TOTAL	27	54

PROVIDE \* (3) BIKER-TRAILER BICYCLE PARKING  
\* (1) LOW-TOUR BICYCLE PARKING

**PARKING PROVIDED**

TYPE	PARKING NO.
BIKERS/ TRAILERS	3
CONCRETE	27
TOTAL AUTO PARKING PROVIDED	34
BIKES/ TRAILER BICYCLE PARKING	3
LOW TOUR BICYCLE PARKING	27
TOTAL BICYCLE PARKING	30
TOTAL PARKING SPACES	64

**AREA SUMMARY (LABC)**

STORY	OCC.	USE	A	B	C	D	A-B-C	A-B-C-D
			GROSS AREA (SQ FT OR SQ YD)	AREA EXCLUDED UNDER LAHC	NET AREA (SQ FT)	AREA EXCLUDED UNDER LAHC	NET AREA (SQ FT)	NET AREA (SQ FT)
FIRST	S-2	PARKING	16,400	0	16,400	0	16,400	16,400
SECOND	R-2	RESIDENTIAL	6,000	280	5,720	0	5,720	6,000
THIRD	R-2	RESIDENTIAL	16,400	400	16,000	0	16,000	16,400
TOTAL	S-2		38,800	680	38,120	0	38,120	38,800

**DENSITY CALCULATION:**

GROSS AREA: 29,703.8 SQUARE FEET  
 RD1.8: 1 UNIT PER 1500 SQUARE FEET  
 29,703.8 / 1500 = 19.8  
 RECOMMENDED SLOTTED MODIFICATION FOR ONE UNIT TO BE 1200 SQFT (145)  
 19 UNITS + 1 UNIT = 20 UNITS  
 32.5% DENSITY INCREASE DUE AFFORDABLE HOUSING  
 32.5% X 20 = 6.5 = 7 UNITS  
 TOTAL UNITS: 20 + 7 = 27 UNITS  
 100% ALLOCATED TO VERY LOW INCOME UNITS  
 100% X 20 = 2 UNITS

UNIT	BDRM	AREA SQFT	UNIT	BDRM	AREA SQFT	UNIT	BDRM	AREA SQFT
101	3	1,250	201	2	1,075	301	2	1,075
102	3	1,350	202	3	1,500	302	3	1,500
103	3	1,700	203	2	1,100	303	2	1,100
104			204	2	1,090	304	2	1,090
*05			205	3	1,350	305	3	1,350
106			206	2	1,115	306	2	1,115
107			207	2	1,015	307	2	1,015
108			208	2	1,050	308	2	1,050
109			209	2	1,170	309	2	1,170
110			210	3	1,750	210		
111			211	3	1,718	211		
112			212	3	1,718	212		
113			213	3	1,718	213		
114			214	3	1,718	214		
115			215	3	1,718	215		
UNITS			19 UNITS			8 UNITS		

**SCHOOL DISTRICT ASSESSABLE**

STORY	USE	AREA (SQ.FT.)
FIRST	BIKERS/ TRAILER	6,000
SECOND	BIKERS/ TRAILER	16,400
THIRD	BIKERS/ TRAILER	16,400
TOTAL		38,800

**ATTACHMENT A**

APPLICANT: \_\_\_\_\_  
 OFFICE OF LAND USE PERMITS  
 CITY OF LOS ANGELES  
 1200 WEST 5TH STREET, 12TH FLOOR, LOS ANGELES, CA 90012  
 (213) 473-2222

**ATTACHMENT A**

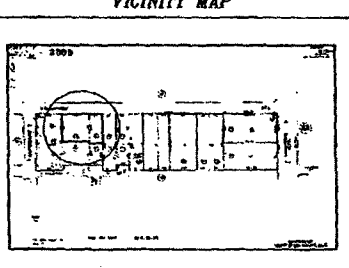
This is the responsibility of the contractor to obtain all necessary permits from the appropriate agencies and to comply with all applicable laws, codes, and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations.

**ATTN. OWNERS/CONTRACTORS:**

It is the responsibility of the contractor to obtain all permits and to comply with all applicable laws, codes, and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations.

**NOTE**

- OBTAIN SEPARATE APPLICATION FOR THE FOLLOWING ITEMS:  
GRADING WORK, RETAINING WALLS, BLOCK FENCE WALLS, FIRE SPRINKLER SYSTEMS, A SEPARATE STRUCTURE, ELECTRICAL, MECHANICAL, PLUMBING WORK, SHOWING AND DEMOLITION.
- THIS PROJECT IS 100% PRIVATELY FUNDED.
- PROVIDE MANUAL APPROVED FIRE ALARM.
- NO GUEST PARKING PROVIDED OR RECEIVED.



**G.A. ENGINEERING**  
 19562 VENTURA BLVD, SUITE 230  
 TARZANA, CALIFORNIA 91356  
 (818) 758-0018  
 FAX: (818) 758-3807

**OWNER**  
 11828 W RUNNYMEDE ST  
 CA, 91605  
 PHONE: 818-335-7655

**PROJECT**  
 11828 W RUNNYMEDE ST  
 CA, 91605

**DRAWING TITLE**  
 COVER SHEET

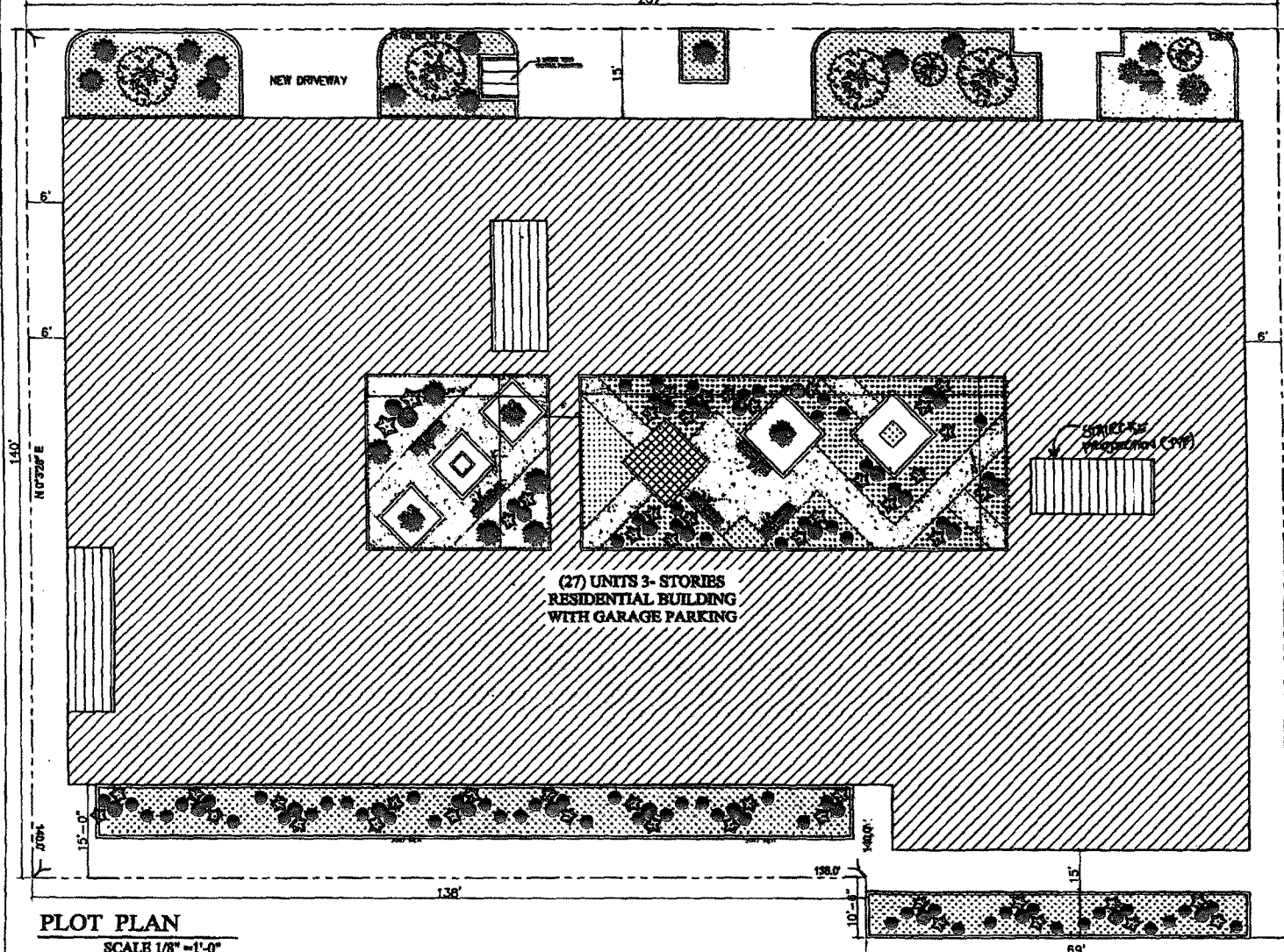
DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

**A-0**

APCNV 2015-2385

# RUNNYMEDE STREET

207



(27) UNITS 3- STORIES  
RESIDENTIAL BUILDING  
WITH GARAGE PARKING

## LEGEND

- ① BUILDING ENTRANCE
- ② 3-STORIES BUILDING WITH PARKING GARAGE
- ③ WALKWAY
- ④ NEW DRIVEWAY
- ⑤ LANDSCAPING
- ⑥ PLANTER
- ⑦ FOR IRRIGATION CONTROLLER (4.304.1) REFER TO H-1 60 SHEET
- ⑧ BALCONY

### NOTE:

1- The construction shall not exceed a six-foot clear and unobstructed space to any utility or power distribution facilities (power poles, pull boxes, transformers, vaults, conduits, valves, meters, apparatuses, etc.) or in the vicinity of the same. The construction shall not be within ten feet of any power lines whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.

2- "DOUBLE STOPPING" OF STALLS SHALL BE PER ZONING CODE SECTION 12.21(A), CHART No. 3

3- FOR PROJECTS THAT INCLUDE LANDSCAPE WORK THE LANDSCAPE CERTIFICATION FROM 0909-12 SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL. SEE GRADING PLANS FOR DRAINAGE.

4- FOR UNKNOWN BOX NOTES REFER TO H- SHEETS

G.A. ENGINEERING  
1425 NORTH BROADWAY, SUITE 200  
DANA POINT, CA 92629  
PHONE: (949) 349-3339  
FAX: (949) 349-3337

OWNER  
11828 RUNNYMEDE LLC  
PHONE: 818-355-7664

PROJECT  
11828 W RUNNYMEDE ST  
CA, 91605

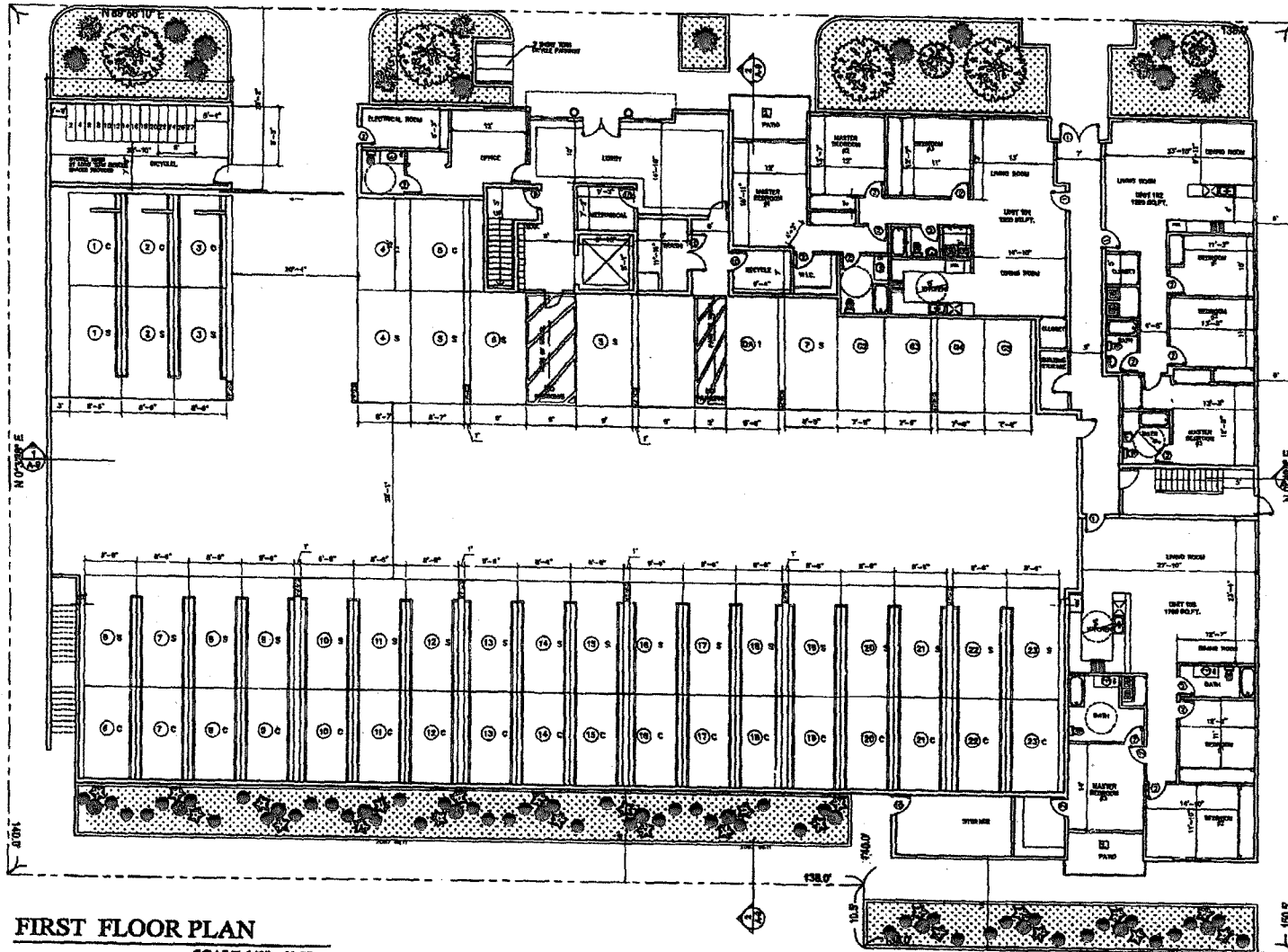
DRAWING TITLE  
PLOT PLAN

DATE: APRIL 2018  
SCALE: 1/8"=1'-0"  
DRAWN BY: [blank]  
CHECKED BY: [blank]  
APPROVED BY: [blank]  
JOB #: 18-004  
SHEET:

**PLOT PLAN**  
SCALE 1/8" = 1'-0"



# RUNNYMEDE STREET



**FIRST FLOOR PLAN**

SCALE 1/8" = 1'-0"

## LEGEND

- ===== 2 HOUR RATED STC 90
- 1 HOUR RATED STC 90
- ◆ HARD WIRE SMOKE DETECTOR W/ BATTERY BACK-UP
- ◇ CARBON MONOXIDE & HARD WIRE SMOKE DETECTOR W/ BATTERY BACK-UP
- ⊗ MECHANICAL VENT, 7 1/2" AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "CHECKY STAIN" W/ HUMIDISTAT
- ⊕ GROUND-FAULT CIRCUIT-INTERUPTER
- ⊗ 1" AND 3/4" METAL RIVER ROOF, DIRECTLY TO OUTSIDE THROUGH ROOF ELBOW FROM DRIVE
- ⊗ EXIST. SIGN
- ⊗ WATER CURTAIN
- ⊗ WATER HEAVY
- ⊗ CLASS "T" STANDPIPE
- ⊗ BALCONY W/ CROSSFIELD PRODUCTS CORR. DECK-OR-TEN COATING (100002200) OR EQUAL, 100-COR-1757 TYPE
- ⊗ LANDSCAPING SQUARE FEET
- ⊗ 210000 FIRE EXTINGUISHER W/ SOU- WOODEN CABINET, INSTALL MAX. 48" AFF. TO THE TOP
- ⊗ ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET N-1000
- ⊗ ELEVATOR OAR TO ACCOMMODATE AIRPLANE STRUCTURE PER SECTION 706.2 WITH 24" RADIUS WITH NO LESS THAN 5' RADIUS CORNERS.

## NOTES

1. "TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED PER SECTION 3306. OBTAIN PUBLIC WORKS APPROVAL (3201.3, 3202.3.4, 3306).
2. "DOUBLE STRIPING OF STALLS BE PER ZONING CODE SECTION 12.21AS, CHART No 5"
3. ELEVATOR LOBBY DOOR PROVIDED PER SECTION 706.14.1-EXCEPTION 3.



**G.A. ENGINEERING**  
 10000 LAKESIDE BLVD. SUITE 200  
 LAKESIDE, CALIFORNIA 91309  
 PHONE: (818) 708-2818  
 FAX: (818) 708-2822

**OWNER**  
 UZI LEVY  
 7155 BALBOA BLVD. SUITE 100  
 LAKES BALBOA, CA 91406  
 PHONE: 818-335-1656

**PROJECT**  
 1928 W RUNNYMEDE ST  
 CA. 91605

**DRAWING TITLE**  
 FIRST FLOOR PLAN

DATE: APRIL 2010  
 DRAWN BY: G.A. ENGINEERING  
 CHECKED BY: G.A. ENGINEERING  
 APPROVED BY: G.A. ENGINEERING  
 SHEET NO: 1 OF 1  
**A-2**

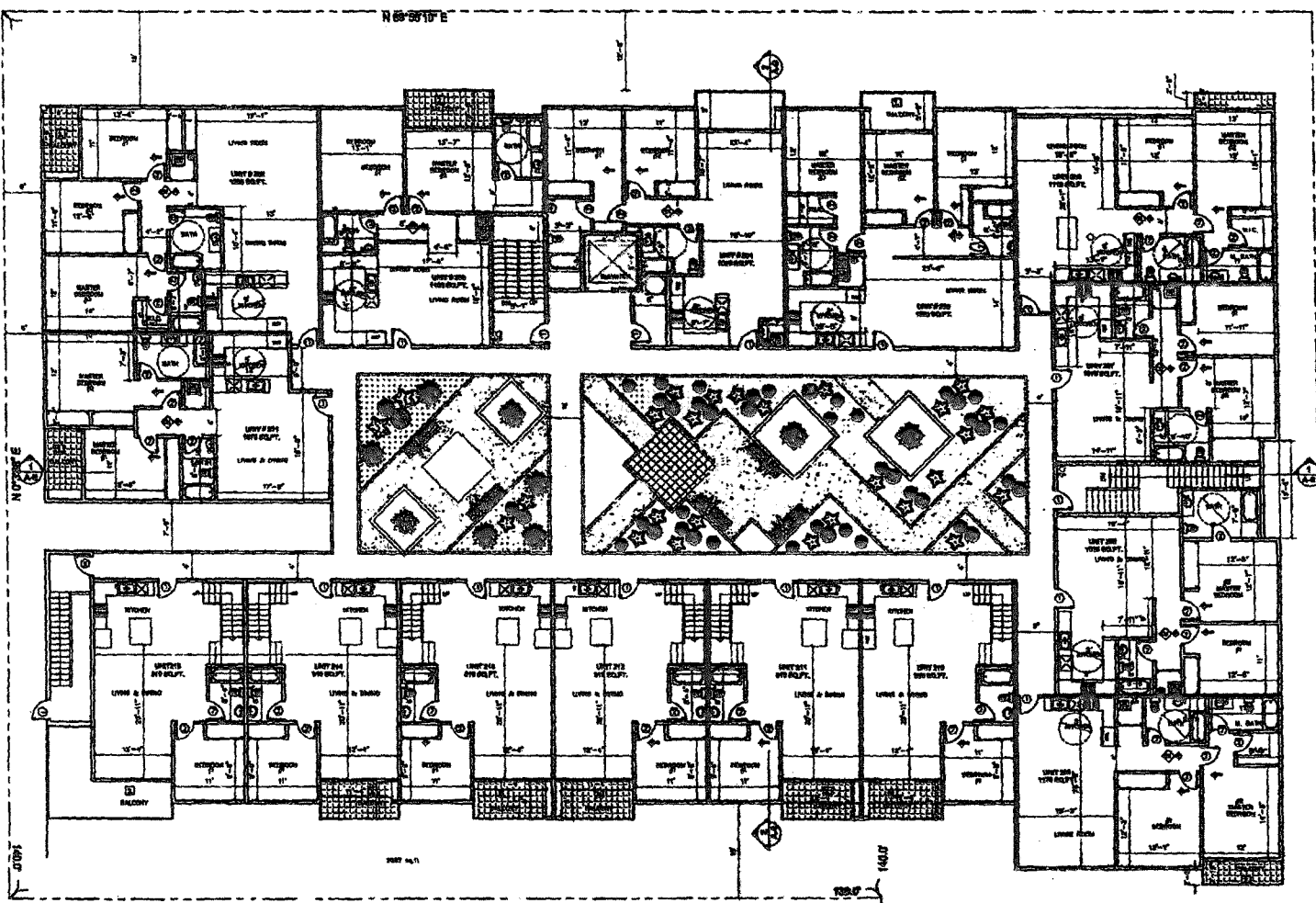
# RUNNYMEDE STREET

## LEGEND

- WALL
- 2 HOUR RATED FIRE DOOR
- 1 HOUR RATED FIRE DOOR
- HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- CARBON MONOXIDE & HARD WIRED SMOKE DETECTOR W/ BATTERY BACK-UP
- MECHANICAL VENT, 7 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE, ENERGY STACK W/ RAINWATER
- GROUND-FAULT CIRCUIT-INTERRUPTER
- FIRE METAL DRIVER VENT, DIRECTLY TO OUTSIDE, HOODED W/ LENGTH W/ TWO ELBOWS FROM DEVICE
- DRY RISER
- WATER CONTROL
- MOTOR ACTUATOR
- CLASS 1 TRANSFORMER
- BALCONY W/ CROSSHATCHED PRODUCTS COMP. FOR 2-1/2" CONCRETE (MINIMUM) OR EQUAL, 100-PSI TYPE
- LANDSCAPE SQUARE FEET
- STAINLESS STEEL FIRE EXTINGUISHER, 1/2 GALLON - REDUCED PRESSURE, INSTALL 36" MIN. OFF THE TOP
- ELECTRICAL VEHICLE SUPPLY WIRING FOR FUTURE, REFER TO SHEET 1-1(20)
- ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRUCTURE PER SECTION 708.14, WITH 50" MIN. W/ NO LESS THAN 8" RADIUS CORNERS

## NOTES

1. TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED PER SECTION 3306. OBTAIN PUBLIC WORKS APPROVAL (3201.5.3202.3.4.3306).
2. DOUBLE STRIPING OF STALLS BE PER ZONING CODE SECTION 12.21AS, CHART No5
3. ELEVATOR LOBBY DOOR PROVIDED PER SECTION 708.14.1-EXCEPTION 3.



**SECOND FLOOR PLAN**  
SCALE 1/8" = 1'-0"

**G.A. ENGINEERING**  
LICENSED ARCHITECT & ENGINEER  
7550 BALBOA BOULEVARD, SUITE 100  
LA JOLLA, CALIFORNIA 92037  
TEL: (619) 451-2200  
FAX: (619) 451-2201

NO.	DATE	DESCRIPTION

**OWNER**  
UTILETY  
7550 BALBOA BOULEVARD, SUITE 100  
LA JOLLA, CALIFORNIA 92037  
PHONE: 619-451-1656

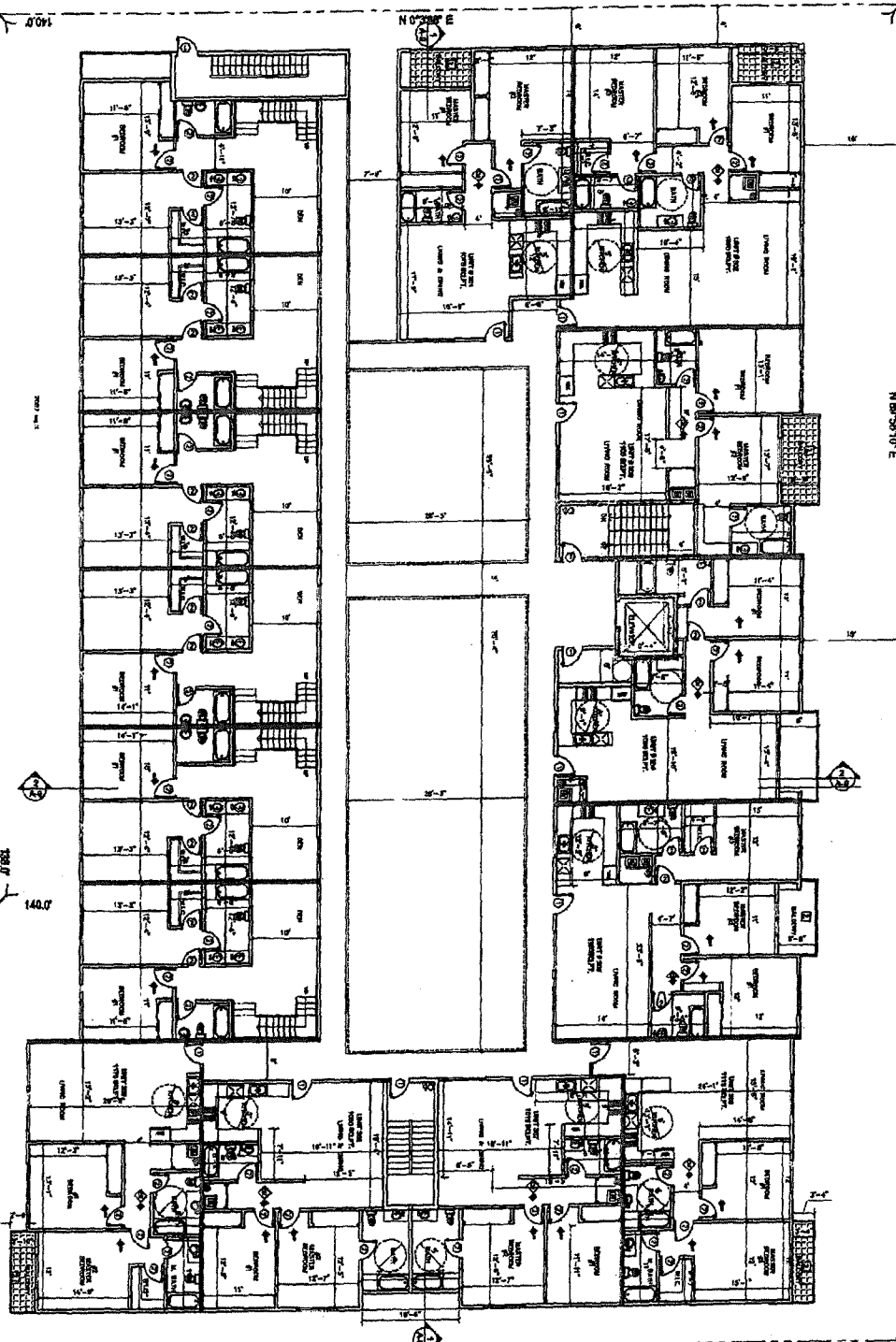
**PROJECT**  
11828 W. RUNNYMEDE ST  
CA, 91068

**DRAWING TITLE**  
SECOND FLOOR PLAN

DATE: 04/15/2010  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: 1/8" = 1'-0"  
SHEET NO. 10 OF 10

**A-3**

RUNNYMEDE STREET



THIRD FLOOR PLAN

SCALE 1/8" = 1'-0"

LEGEND

- 1. 2' HIGH KITCHEN ISLAND
- 2. 1' HIGH KITCHEN ISLAND
- 3. 1' HIGH KITCHEN ISLAND
- 4. 1' HIGH KITCHEN ISLAND
- 5. 1' HIGH KITCHEN ISLAND
- 6. 1' HIGH KITCHEN ISLAND
- 7. 1' HIGH KITCHEN ISLAND
- 8. 1' HIGH KITCHEN ISLAND
- 9. 1' HIGH KITCHEN ISLAND
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- 94. 1' HIGH KITCHEN ISLAND
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- 97. 1' HIGH KITCHEN ISLAND
- 98. 1' HIGH KITCHEN ISLAND
- 99. 1' HIGH KITCHEN ISLAND
- 100. 1' HIGH KITCHEN ISLAND

NOTES

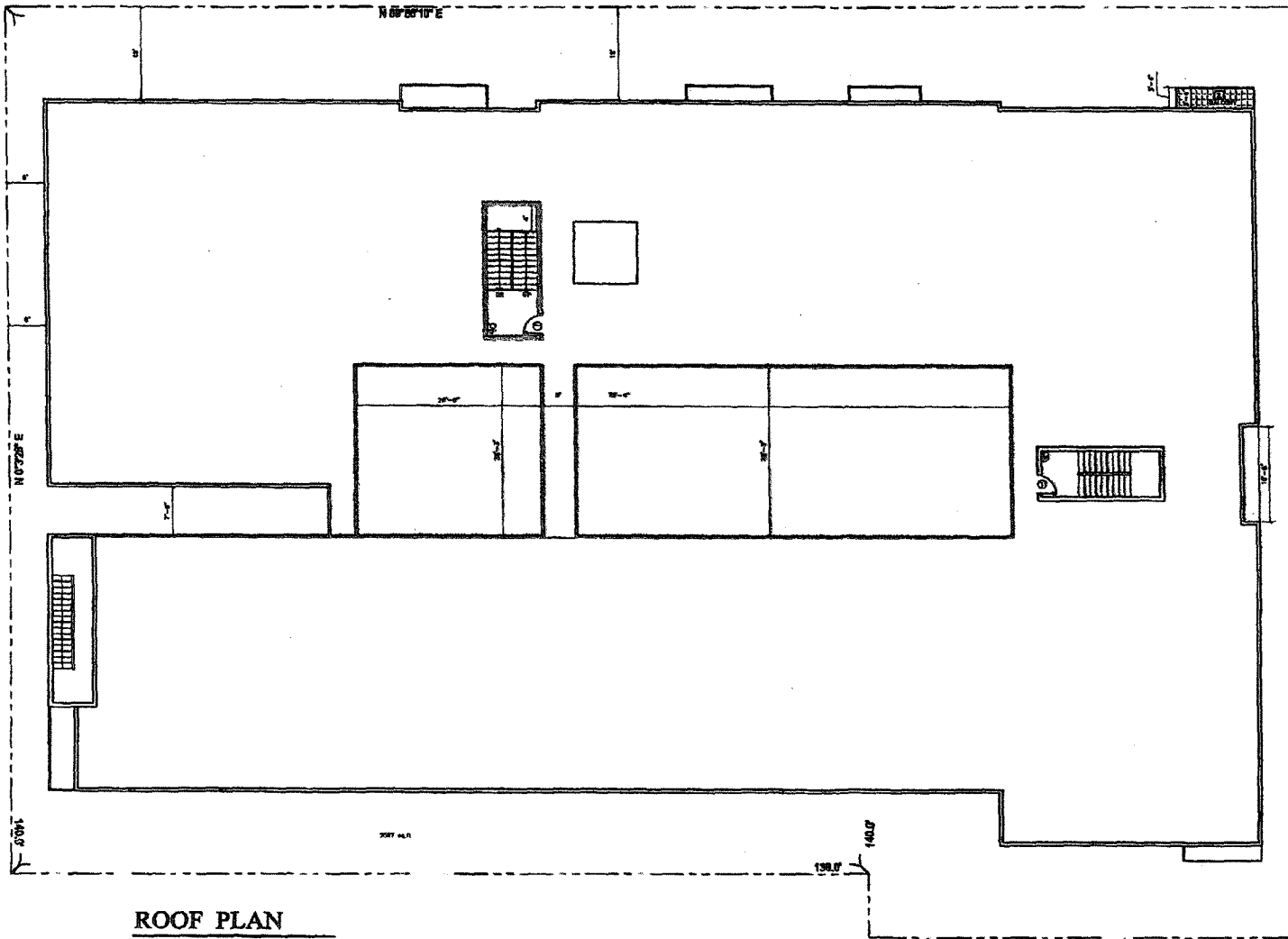
1. TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED PER SECTION 12.21.05, CHART NO. 12.21.05.A.1.3.002.3.A.1.3.003.
2. TEMPORARY STRIPING OF STALLS BE PER ZONING CODE SECTION 12.21.05, CHART NO. 12.21.05.A.1.3.002.3.A.1.3.003.
3. ELEVATOR LOBBY FLOOR PROVIDED PER SECTION 706.14.1 - EXEMPTION 3.



DRAWING TITLE	THIRD FLOOR PLAN	PROJECT	11828 W RUNNYMEDE ST CA, 91605	OWNER	UZZI LEVY 7355 BALBOA BLVD, SUITE 100 LAKH BALBOA, CA 91406 PHONE: 818-335-7656	G.A. ENGINEERING 15082 VENTURA BLVD-SUITE 230 CANTONIA, CALIFORNIA 91506 Phone: (916) 706-0518 Fax: (916) 706-0330 Tel: (916) 706-2847
	DATE		ISSUED		REVISION	



# RUNNYMEDE STREET



**ROOF PLAN**  
SCALE 1/8" = 1'-0"

## LEGEND

- ===== WALL
- ===== 2 HOUR RATED STC 50
- ===== 1 HOUR RATED STC 50
- ⊕ HANG WIRE BACK DETECTOR W/ BATTERY BACK-UP
- ⊕ CARBON MONOXIDE & HARD WIRE SMOKE DETECTOR W/ BATTERY BACK-UP
- ⊕ MECHANICAL VENT, 1 1/2 AIR CHANGE PER HOUR, DIRECTLY TO THE OUTSIDE "ENERGY STAR" W/ THERMOSTAT
- ⊕ DRINKING FOUNTAIN-REFLECTED
- ⊕ 4" DIA. METAL RIFER VENT, DIRECTLY TO OUTSIDE THROUGH CEILING W/ TWO 0.5000 THICK WETS
- ⊕ EXT. DOOR
- ⊕ WATER CURTAIN
- ⊕ WATER HEATER
- ⊕ CLASS 1 STANDPIPE
- 1. GALVANNE W/ EPDM/VELPA PRODUCTS CORP. 654-D-TEX COATING (CORROZED) IN EQUAL, EC-15K-1757 TYPE
- ⊕ LANDSCAPING 300LIVE FEET
- ⊕ SAVING FOR EXTINGUISHER W/ 100# RECESSED CABINET, INSTALL MAX. 48" AFF. TO THE TOP
- ⊕ ELECTRICAL WORKS SUPPLY WIND FOR FUTURE, REFER TO SHEET W-1000
- ⊕ ELEVATOR DOOR TO ACCOMMODATE AMBULANCE STRUCTURE PER SECTION 708.14.1 WITH 24"x24" WITH NO LESS THAN 8' RADIUS CORNER.

## NOTES

1. TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED PER SECTION 3306. OBTAIN PUBLIC WORKS APPROVAL (3201.3, 3202.3, 4.3306).
2. "DOUBLE STRIPING OF STALLS BE PER ZONING CODE SECTION 12.21A5, CHART No5"
3. ELEVATOR LOBBY DOOR PROVIDED PER SECTION 708.14.1-EXCEPTION 3.



**G.A. ENGINEERING**  
10000 WOODBURN AVENUE SUITE 200  
DUBLIN, CALIFORNIA 94568  
Tel: (916) 253-2200  
Fax: (916) 253-2207

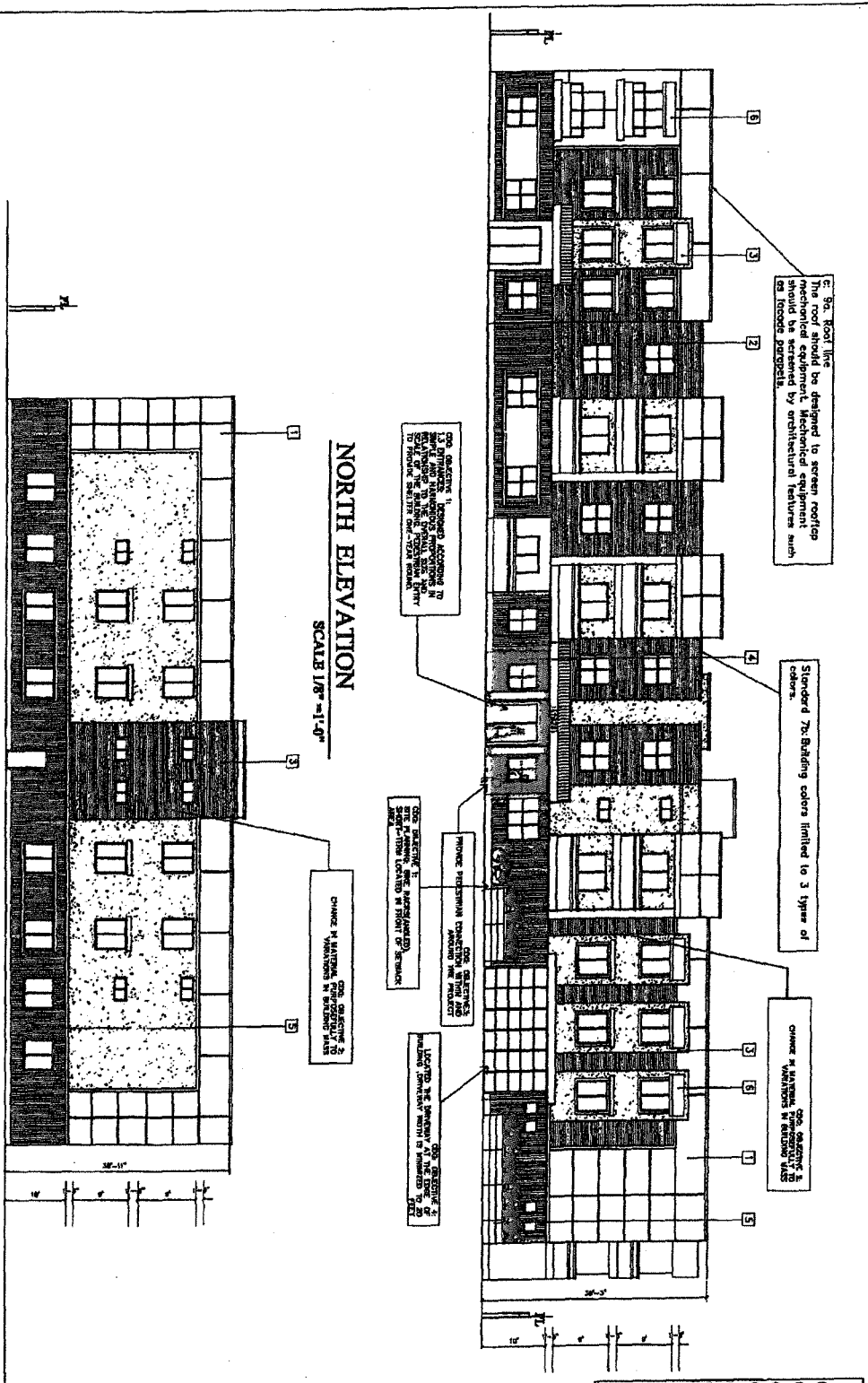
**OWNER**  
LUZ LEVY  
7552 PALM BLVD SUITE 100  
LAKE BALBOA, CA 91406  
PHONE: 818-355-7656

**PROJECT**  
11828 W RUNNYMEDE ST  
CA 91601

**DRAWING TITLES**  
ROOF PLAN

DATE: APRIL 2016  
SCALE: 1/8"=1'-0"  
SHEET NO.:  
PROJECT NO.:  
DRAWN BY:  
CHECKED BY:  
DATE: 11-1-16  
DRAWN: A-5





1. 3rd floor flat roof to be designed to screen rooftop mechanical equipment. Mechanical equipment should be screened by architectural features such as facade panels.

2. Standard 7th Building colors limited to 3 types of colors.

3. Change in material presentation in existing glass.

4. Change in material presentation in existing glass.

5. Change in material presentation in existing glass.

6. Change in material presentation in existing glass.

- ELEVATION KEY NOTES:**
- 1) STUCCO COLOR - EPO SHELL (BLACK 100)
  - 2) STUCCO COLOR - LIGHT GREY (BLACK 200)
  - 3) STUCCO COLOR - LIGHT GREY (BLACK 200)
  - 4) UNDERCOAT
  - 5) STUCCO COLOR WITH RETICULAR
  - 6) COLOR
  - 7) 1/2" STUCCO OVER FACED BRICK WITH LIGHT GREY STUCCO UNDERCOAT
  - 8) STUCCO COLOR - LIGHT GREY (BLACK 200)
  - 9) STUCCO COLOR - LIGHT GREY (BLACK 200)

**NORTH ELEVATION**

SCALE 1/8" = 1'-0"

**EAST ELEVATION**

SCALE 1/8" = 1'-0"

<b>DRAWING TITLE</b>		<b>PROJECT</b>	<b>OWNER</b>	<b>G.A. ENGINEERING</b> 1852 VENTURA BLVD. SUITE 230 FARMERSVILLE, CALIFORNIA 91325 (818) 353-7632 FAX (818) 353-7633 CELL (818) 353-7634
NORTH ELEVATION EAST ELEVATION		11828 W RUNNYMEDE ST CA, 91605	UZI LEVY 7355 BALBOGA BLVD, SUITE 100 LAKE BALBOGA, CA 91406 PHONE: 818-355-7636	

**c. Roof Deck**

1. Flat roof is provided to allow usage of the roof top for recreational area and also installation of mechanical equipment.
2. No end of slope where roof pitches are provided in this project.
3. Height of the building is similar to the apartment building immediately to the north.
4. 3 1/2 feet high fascia panels to be designed in work at ground level to protect the roof deck and to screen the roof top mechanical equipment.

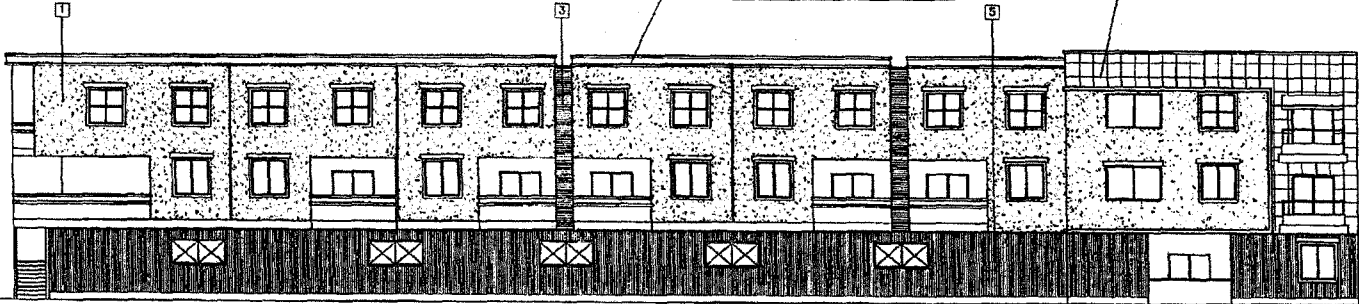
**CCR OBJECTIVE 2:**  
CHANGE IN MATERIAL PURPOSEFULLY TO VARIATIONS IN BUILDING MASS

**ELEVATION KEY NOTES:**

- ① STUCCO COLOR EGG SHELL (BASE 100)
- ② STUCCO COLOR LIGHT GRAY (BASE 200)
- ③ STUCCO COLOR DARK GRAY
- ④ LEDGERSTONE
- ⑤ STUCCO COLOR WITH TEXTURED
- ⑥ CANOPY

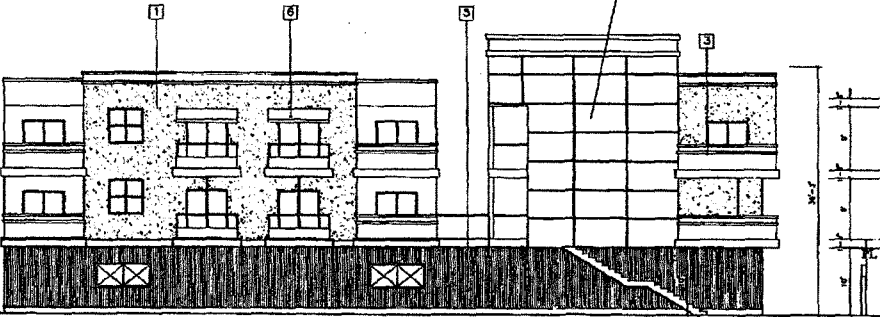
7/8" STUCCO OVER PAPER BACK WIRE MESH  
\* PROVIDE 2-LAYERS OF GRADE " D " PAPER OVER PLTWG.

**NOTE:**  
APPROVED AIRS CRACKING COATING.  
Henkelon Panno 2000 - LATE  
2000-1 Three-Coat-Eth-Crack  
Coating LADP 25000-1



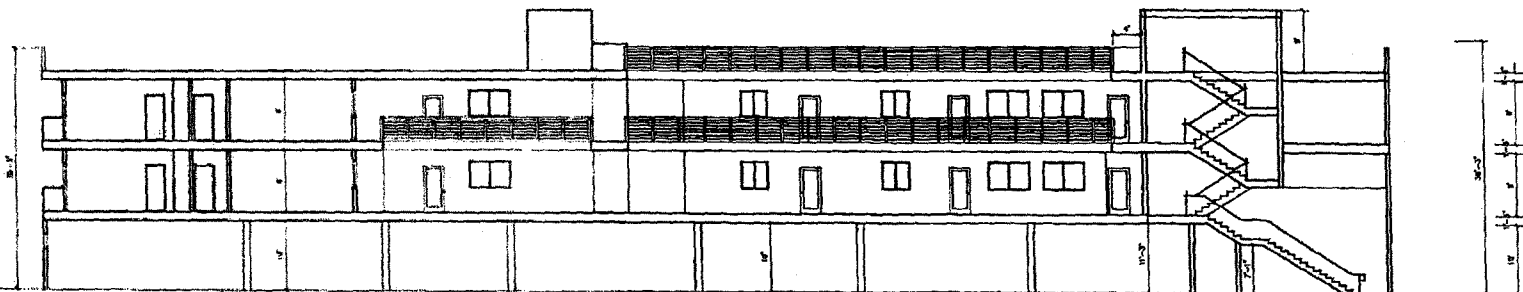
**SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"

**CCR OBJECTIVE 2:**  
CHANGE IN MATERIAL PURPOSEFULLY TO VARIATIONS IN BUILDING MASS.

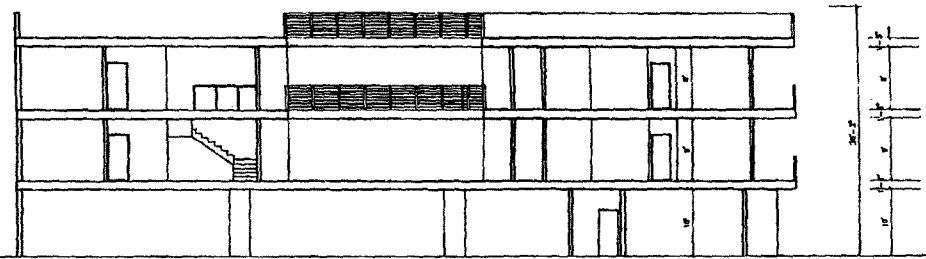


**WEST ELEVATION**  
SCALE 1/8" = 1'-0"

<b>OWNER</b>	UZILAYA 7532 BALBOA BLVD. SUITE 100 LAKE BALBOA, CA 91406 PHONE: 818-355-7656
<b>PROJECT</b>	11228 W RUNNEMEDES ST CA, 91605
<b>DRAWING TITLE</b>	SOUTH ELEVATION WEST ELEVATION
<b>DATE</b>	APRIL 2018
<b>SCALE</b>	1/8" = 1'-0"
<b>DESIGNER</b>	
<b>APPROVED BY</b>	
<b>DATE</b>	
<b>SCALE</b>	
<b>A-7</b>	



**SECTION -1**  
SCALE 1/8" = 1'-0"



**SECTION -2**  
SCALE 1/8" = 1'-0"

OWNER	7355 BALBOA BLVD, SUITE 100 LAKE BALBOA, CA 91406 PHONE: 818-332-7656
PROJECT	11828 W RINDYMADE ST CA, 91605
DRAWING TITLE	SECTIONS
DATE	APR. 2011
SCALE	1/8" = 1'-0"
PROJECT NO.	
DESIGNER	
CHECKED	
DATE	
BY	

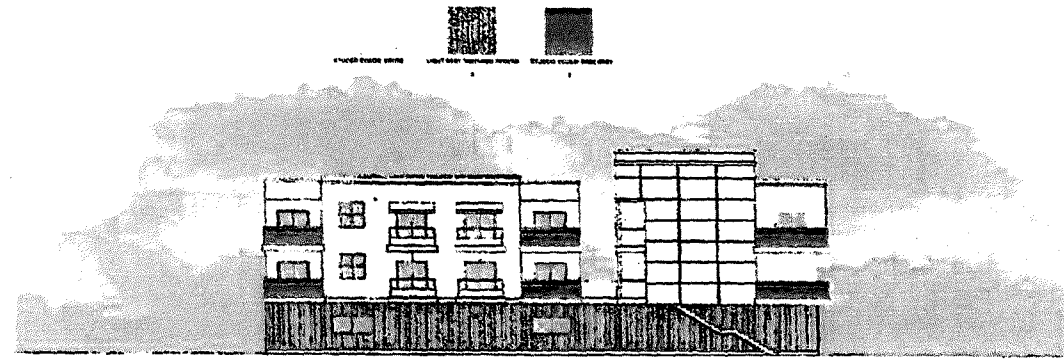


NORTH ELEVATION

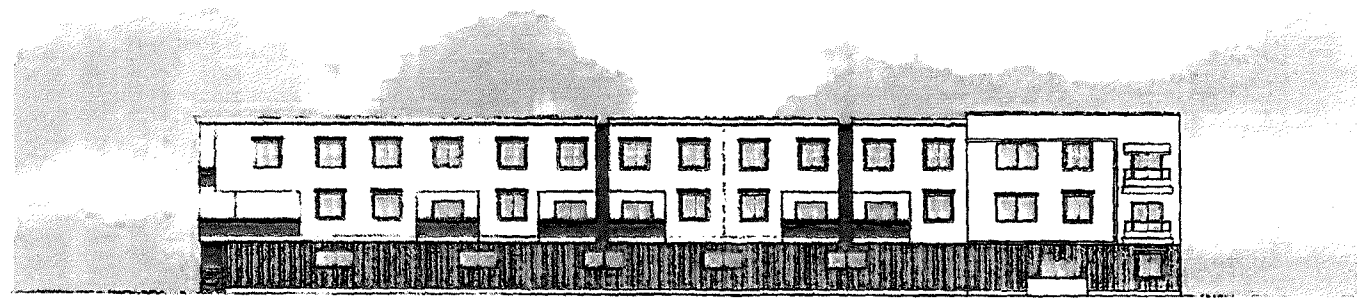


EAST ELEVATION

<p><b>G.A. ENGINEERING</b>          10555 WILSON BLVD., SUITE 200          DUBLIN, CALIFORNIA 94568          Phone: (916) 792-0818          Fax: (916) 792-2300</p>	
<p><b>OWNER</b>          UZILBY          7155 BALBOA BLVD., SUITE 100          LAKE BALBOA, CA 91406          PHONE: 313-335-7656</p>	<p><b>PROJECT</b>          11228 W BURNHAMERS ST          CA, 91406</p>
<p><b>DRAWING TITLE</b>          COLORED ELEVATION          NORTHEAST ELEVATIONS</p>	<p>DATE: _____          DRAWN BY: _____          CHECKED BY: _____          SCALE: _____</p>



WEST ELEVATION



SOUTH ELEVATION

G.A. ENGINEERING  
 10001 LINDEN GARDENS DR  
 LINDEN, CALIFORNIA 91760  
 Phone: (919) 794-4218  
 Fax: (919) 794-2847

OWNER  
 UZILEVY  
 7355 BALBOA BLVD, SUITE 100  
 LAKE BALBOA, CA 91406  
 PHONE: 818-331-7636

PROJECT  
 11821 W BUNNYGARDEN ST  
 CA, 91601

DRAWING TITLE  
 COLORED ELEVATION  
 SOUTH & WEST ELEVATIONS

DATE	DESCRIPTION